

City of Palm Coast, Florida Agenda Item

Agenda Date: June 17, 2026

Agenda Item: D.3

Department	COMMUNITY DEVELOPMENT	Amount
Division	PLANNING	Org/Account #
Subject:	GPR 2 TECHNICAL SITE PLAN - TIER 2, APPLICATION # 6590	
Presenter:	Michael Hanson, A.I.C.P, Senior Planner	
Attachments:	<ol style="list-style-type: none">1. Staff Report2. Development Order3. Map Series4. Application, Corp ID, Owner Authorization, Cover Letter, and Applicant Analysis5. Boundary Survey and Title Opinion6. Site Plan7. Architectural Elevations and Floor Plans8. Landscape Plan9. Traffic Report10. Environmental and Cultural Resources Report	
Background:	<p>The applicant has submitted a Technical Site Plan Tier 2 application to develop two industrial warehouse buildings each measuring approximately ±40,980 square feet each for a combined total of ±81,960 square feet of building development. Each warehouse is planned to be internally partitioned into eight ±5,000 square feet units, so that the owner will have flexibility to lease out industrial warehouse spaces to potentially house multiple business tenants. At this time, any potential tenants have not been revealed to the City; however, any potential tenant will still be subject to the approved uses for the Light Industrial and Warehousing (IND-1) zoning district, and the industrial performance measures found in the LDC under section 4.14. The site is an undeveloped parcel of land measuring approximately ±7.45 acres. The property owner purchased the property from Palm Coast Industrial Equities LLC in March 2025 as part of their holdings under GPR1 LLC. In March 2026, the property owner reorganized their holding of the subject property by transferring ownership to a subsidiary of theirs known as GPR2 LLC.</p>	
This is a quasi judicial item, please disclose any ex parte communication.		

Recommended Action:

STAFF RECOMMENDS THAT THE PLANNING AND LAND DEVELOPMENT REGULATION BOARD (PLDRB) FIND THE PROJECT IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE (LDC), AND THE COMPREHENSIVE PLAN; AND APPROVE THE TECHNICAL SITE PLAN – TIER 2 FOR GPR 2, APPLICATION NO. 6590.



**COMMUNITY DEVELOPMENT DEPARTMENT
TECHNICAL SITE PLAN - TIER 2
STAFF REPORT FOR JUNE 17, 2026
PLANNING AND LAND DEVELOPMENT REGULATION BOARD**

OVERVIEW

Project Name:	GPR 2 Technical Site Plan – Tier 2
Application Number:	AR # 6590
Property Owner:	GPR2 LLC
Applicant:	Harry Newkirk, P.E. Newkirk Engineering
Size of subject property:	±7.45 acres
Location:	North side of Commerce Boulevard approximately a quarter mile west of its intersection with Pine Lakes Parkway.
Address:	5 Commerce Boulevard Palm Coast, Florida 32164
Current FLUM designation:	Industrial
Current Zoning designation:	Light Industrial and Warehousing (IND-1)
Current Use:	Vacant
Parcel ID #:	07-11-31-5112-00000-0030

REQUESTED ACTION

Staff recommends that the Planning and Land Development Regulation Board (PLDRB) find the project in compliance with the Land Development Code (LDC), and the Comprehensive Plan; and approve the Technical Site Plan – Tier 2 for GPR 2, Application No. 6590.

BACKGROUND/SITE HISTORY

The applicant has submitted a Technical Site Plan Tier 2 application to develop two industrial warehouse buildings each measuring approximately ±40,980 square feet each for a combined total of ±81,960 square feet of building development. Each warehouse is planned to be internally partitioned into eight ±5,000 square feet units, so that the owner will have flexibility to lease out industrial warehouse spaces to potentially house multiple business tenants. At this time, any potential tenants have not been revealed to the City; however, any potential tenant will still be subject to the approved uses for the Light Industrial and Warehousing (IND-1) zoning district, and the industrial performance measures found in the LDC under section 4.14.

The site is an undeveloped parcel of land measuring approximately ±7.45 acres. The property owner purchased the property from Palm Coast Industrial Equities LLC in March 2025 as part of their holdings under GPR1 LLC. In March 2026, the property owner reorganized their holding of the subject property by transferring ownership to a subsidiary of theirs known as GPR2 LLC.

LAND USE AND ZONING INFORMATION

The subject site is designated Industrial on the Future Land Use Map and is zoned as IND-1 on the Official Zoning map. The proposed use is allowed within the IND-1 zoning district. The following table summarizes the general land use and zoning information:

SURROUNDING ZONING AND FLUM CATEGORIES

Direction	FLUM Category	Zoning District
North	Mixed Use, Conservation	General Commercial (COM-2)
East	Industrial	IND-1
South	Industrial	IND-1
West	Industrial	IND-1

SITE DEVELOPMENT REQUIREMENTS

Site development for the property must be in accordance with the requirements of the City of Palm Coast's Land Development Code, and the City's Comprehensive Plan. The following table summarizes the basic development standards and how the proposed development project complies with these standards. The provided numbers are pulled from the applicant's Civil Engineering documents.

Criteria	Required	Provided
Minimum Development Site Area	20,000 sq. ft.	±324,334 sq. ft.
Maximum Impervious Surface Ratio	0.70	±0.49
Maximum Floor Area Ratio	0.35	±0.25
Maximum Building Height	65 feet	±26 feet
Minimum Building Setbacks	Commerce Boulevard: 25 feet Interior Side/Rear: 10 feet	±28.7 feet ±20 feet
Minimum Parking ¹ : 1:750 SF	110 parking spaces including 5 accessible spaces	115 spaces including 6 accessible spaces

¹ The Land Development Code allows for the maximum parking to be 120 percent of the required parking. The requested amount of parking spaces include a ±4.5 percent bonus over the required parking and meets the 120 percent limit. The applicant proposes an additional accessible parking space. The LDC, Comprehensive Plan, State Statutes, or Federal American Disabilities Act requirements do not have a maximum cap to the number of accessible parking spaces, so staff accepts the additional accessible parking space above the required number of spaces.

TECHNICAL SITE PLAN PROCESS

The Technical Site Plan review application process is specified in Chapter 2, Section 2.11 of the Unified Land Development Code (LDC). This review process is intended to ensure that site development takes place in an orderly and efficient manner through a process that provides adequate review based on the size and complexity of the proposed development. The purpose of detailed site plan review is to ensure compliance with all development regulations; therefore, the level of detail shall be that of construction plans and technical specifications. The review is based not only on conformance to Code, but also conformance with any applicable approved master plan or Special Exception. Approval of the construction plans and technical specifications represents the final development order. Therefore, approval of a Technical Site Plan Development Order authorizes an applicant to apply for a building permit.

The application incorporates a review/approval process coordinated by and through City staff, the PLDRB and City Council based upon the scale of development. As provided in Table 2-1 of Sec. 2.04 of the LDC, nonresidential projects ranging from 40,000 to 100,000 square feet of gross floor area are classified as Moderate or Tier 2 projects. The approval authority of this project is the PLDRB, which shall base their determination for approval or denial on the criteria found in LDC Sec. 2.05.05.

ANALYSIS BASED ON UNIFIED LAND DEVELOPMENT CODE CHAPTER 2, SECTION 2.05.05

Prior to approval of a Development Order for a Technical Site Plan, the proposed project must be evaluated for conformance with the requirements of LDC Chapter 2, Section 2.05.05, which provides criteria that must be met to issue approval. The proposed project has been evaluated against the review criteria as directed by the LDC, which states: *When reviewing a development order application, the approval authority shall determine whether sufficient factual data was presented in order to render a decision. The decision to issue a development order shall be based upon the following, including but not limited to:*

A. The proposed development must not be in conflict with or contrary to the public interest;

Planning Staff Finding: The proposed development is not in conflict with or contrary to the public interest, as the site's specified land use is consistent with the Comprehensive Plan's Future Land Use Element and the Land Development Code. The proposed use is compatible with the surrounding developmental pattern. The subject property and surrounding properties adjacent to Commerce Boulevard were platted as the Pine Lakes Industrial Park. It is designated as Industrial on the Future Land Use Map and zoned IND-1. The property is one of the last parcels within the plat that has not been developed.

B. The proposed development must be consistent with the provisions of the Land Development Code and the Comprehensive Plan;

Planning Staff Finding: The proposed development is ±81,960 square feet of warehousing and flex spaces distributed over two buildings and would potentially allow up to 16 different businesses to be sited within the proposed buildings. The proposed max height is ±26 feet in height. The request will be consistent with all applicable portions of the LDC and the Comprehensive Plan. The LDC states that the purpose of the IND-1 (Light and Warehousing Industrial) District is to provide areas for restricted industrial and warehouse uses of low to moderate intensities with minimal potential for off-site impacts. This district utilizes performance

standards, found under LDC. Section 4.14, to ensure that impacts are controlled. The proposed warehouse use is a use permitted by right in IND-1. The applicant reached out to the City's Economic Development team to get guidance on the project submittal. The following are a selection of goals, policies and objectives from the Comprehensive Plan that the project supports:

- **Chapter 1, Future Land Use Element: Objective 1.1.4 Discourage Urban Sprawl** – Promote compact and contiguous development, a mixture of land uses, and discourage urban sprawl.
- **Chapter 1, Future Land Use Element: Policy 1.1.4.3**
Land use patterns will be required to be efficient and not disproportionately increase the cost of providing and maintaining public facilities, as well as providing housing and transportation strategies that will foster energy conservation.
- **Chapter 1, Future Land Use Element: Policy 1.3.1.3** - The City shall encourage development to locate in the areas where public facilities, infrastructure, and services are available. Where there are deficiencies and where appropriate, the City shall require the developer to provide or extend the facilities as necessary to accommodate development provided such provision or extension is consistent with state law. Applicable impact fees shall be used by the City consistent with State law to offset the costs of the City providing facilities.
- **Chapter 11, Economic Development Element: Policy 11.1.1.2** - Prioritize the creation of opportunities for, expansion of, and retention of industry sectors that support the creation of a resilient and diverse economy and tax base by recruiting investments in targeted industries related to Advanced Manufacturing, Corporate Headquarters, Aviation & Aerospace, Logistics & Warehousing, and Healthcare Training & Research.
- **Chapter 11, Economic Development Element: Policy 11.1.1.5** – Establish a site development process that ensures the City has an inventory of shovel-ready economic employment center sites ready to meet the needs of potential business and industry.

C. The proposed development must not impose a significant financial liability or hardship for the City;

Planning Staff Findings: The public infrastructure needed to support the project is already in place or close to the site and any extensions or connections to utilities will be provided by the developer at the developer's expense and not impose a significant financial liability on the city. The property owner will be required to maintain their own on-site infrastructure.

D. The proposed development must not create an unreasonable hazard, or nuisance, or constitute a threat to the general health, welfare, or safety of the City's inhabitants;

Planning Staff Finding: The City's technical review team analyzed the project's submittal and ensured that it met all applicable code requirements so that the proposed development does not pose an unreasonable hazard, nuisance, or constitute a threat to the general health, welfare, or safety of the City's inhabitants.

E. The proposed development must comply with all other applicable local, state and federal laws, statutes, ordinances, regulations, or codes;

Planning Staff Finding: The applicant's application for Technical Site Plan has been reviewed by the City's technical review team to ensure compliance with the Land Development Code, the

Comprehensive Plan, the Florida Building Code, the Florida Fire Prevention Code, and all other applicable state and federal regulations. This project shall be required to maintain compliance with all applicable codes and regulations. Further following the potential approval of the Technical Site Plan application, the project will be required to submit for a Site Development Permit before breaking ground, and a Building Permit. Finally, the development will require a Certificate of Occupancy prior to being opened to the public.

SUMMARY OF FINDINGS

Staff finds that the proposed development complies with the requirements of the Land Development Code and Comprehensive Plan. It further meets the review criteria for technical site plans found under LDC Sec. 2.05.05.

PUBLIC PARTICIPATION

Neighborhood meetings are not required for Technical Site Plan applications. Additionally, Technical Site Plan applications, including Tiers 2 and 3, do not require newspaper notification or the posting of the orange signs along the project's frontage.

RECOMMENDATION

Staff recommends that the Planning and Land Development Regulation Board (PLDRB) find the project in compliance with the Land Development Code, and the Comprehensive Plan; and approve the Technical Site Plan – Tier 2 for GPR 2, Application No. 6590.

Prepared By:
Community Development Department
City of Palm Coast
160 Lake Avenue, Suite 135
Palm Coast, FL 32164

Reserved for Recording Information:

Return To:
City Clerk
City of Palm Coast
160 Lake Avenue, Suite 225
Palm Coast, FL 32164

CITY OF PALM COAST
TECHNICAL SITE PLAN TIER 2
DEVELOPMENT ORDER APPROVAL
GPR 2- PINE LAKES INDUSTRIAL PARK LOT 3

On June 17, 2026, the City of Palm Coast issued this Development Order relating to and touching and concerning the following described property:

SITES NO.3 AND NO.4, AMENDED SUBDIVISION MAP OF WYNNFIELD SECTION 27, RESERVED PARCELS 3-3 AND 3-4 IN PINE LAKES INDUSTRIAL PARK, A SUBDIVISION ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN MAP BOOK 27, PAGES 1 AND 2 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

(The afore described property description has been provided to the City of Palm Coast by the owner of the afore described property.)

FINDINGS OF FACT

**Property Owner: PALM COAST INDUSTRIAL EQUITIES LLC
24 CHURCH STREET
MONTCLAIR, NJ 07042**

Project Name: GPR 2- PINE LAKES INDUSTRIAL PARK LOT 3

Project No.: 2026020010

Application Type: TECHNICAL SITE PLAN TIER 2

Application No. 6590

**Requested Development Approval: Site Plan Approval for Warehouse
(in accordance with stamped approved plans)**

Zoning Classification: IND-1
FLUM: Industrial
Parcel #'s:07-11-31-5112-00000-0030
Address #: 5 Commerce Blvd.
Parcel Acreage:7.446
Site S.F.: 324,334

SITE DEVELOPMENT DATA

Building Use: Warehouse
Bldg Height: 26'
Total Bldg Square Footage: 81,960
Number of Bldgs: 2
Total Units: 16

Bldgs Numbers:	S.F. per Bldg:	Units per Bldg:
2	40,980	8

Parking Provided: Standard Spaces: 115 ; Accessible Spaces: 6
Loading Spaces: 4
Bicycle Parking Spaces: 2
Impervious Surface Ratio (ISR): 15%
Pervious/Open Space:85%
Floor Area Ratio (FAR): .25

CONCLUSIONS OF LAW

The Development Approval sought is consistent with the *City of Palm Coast Comprehensive Plan* and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances as set forth in the Code of Ordinances of the City of Palm Coast.

The Owners have expressly agreed to be bound by and subject to the development conditions and commitments stated below and have covenanted and agreed to have such conditions and commitments run with, follow, and perpetually burden the afore described property.

ORDER

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

(1) The afore mentioned application for Development Approval is **GRANTED**.

(2) All development of the property shall fully comply with all of the codes and ordinances in effect in the City of Palm Coast at the time of issuance of a development order and/or development permit, including but not limited to, all impact fee ordinances.

(3) Issuance of a Development Permit or Development Order by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

(4) This Development Order touches and concerns the afore described property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or in part by action of the City of Palm Coast by virtue of a document of equal dignity herewith. The Owners have expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Development Order shall be found to be invalid or illegal then the entire Development Order shall be null and void.

(6) The Development Order shall remain valid for a period of twelve (12) months from the date of issuance. If construction has not commenced or is not continuing in good faith to conclusion during this valid period, this Development Order will expire. The Development Order may be extended, upon request, during the period of three (3) months before the expiration of the valid period. Staff may approve an extension not to exceed twelve (12) months. A maximum of three (3) extensions may be granted.

(7) **No construction of any TYPE shall commence until a mandatory pre-construction meeting has been conducted with City Staff.**

(8) **Utility fees and applicable agreements shall be executed prior to issuance of a Site Development permit.**

(9) All required federal, state, county, and/or local permits shall be acquired prior to

construction.

(10) All projects located in Special Flood Hazard Area "A" or "AE" zone(s) shall meet Chapter 10.02, Unified Land Development Code and Chapter 15, Code of Ordinances regarding Flood Damage Protection regulations. These building(s) and associated utilities will require elevation certificates at all three stages (construction drawing, building under construction and final construction) at building permit.

(11) This Development Order satisfies the concurrency requirements for transportation, parks & recreation and fire. This Development Order is limited to the land uses and associated development as listed below:

Description: Warehouse ; BLDG SF: 81.960

Concurrency shall remain valid with the life of this Development Order.

Done and Ordered on the date first written above.

**As approved and authorized for execution by the
Planning Land Development Regulation Board of the City of Palm Coast, at their
regularly scheduled meeting of June 17, 2026.**

Attest:

City of Palm Coast, Florida

Irene Schaefer, Recording Secretary

Sandra Shank, Chairperson

_____ Sign and Record

Development Order Affidavit

OWNER'S CONSENT AND COVENANT:

Project Name: GPR 2- PINE LAKES INDUSTRIAL PARK LOT 3
Application Type: TECHNICAL SITE PLAN TIER 2
Application No.: 6590

COMES NOW, PALM COAST INDUSTRIAL EQUITIES LLC , the Owner on behalf of itself and its successors, assigns and transferees of any nature, whatsoever, and consents to and agrees with the covenants to perform and fully abide by the provisions, terms, and conditions, and commitments set forth in this Development Order. Affiant states that he/she accepts the findings, as outlined in this Development Order, and further states that he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing the said Development Order for GPR 2- PINE LAKES INDUSTRIAL PARK LOT 3:

PALM COAST INDUSTRIAL EQUITIES LLC
24 CHURCH STREET
MONTCLAIR, NJ 07042

Authorized Signer

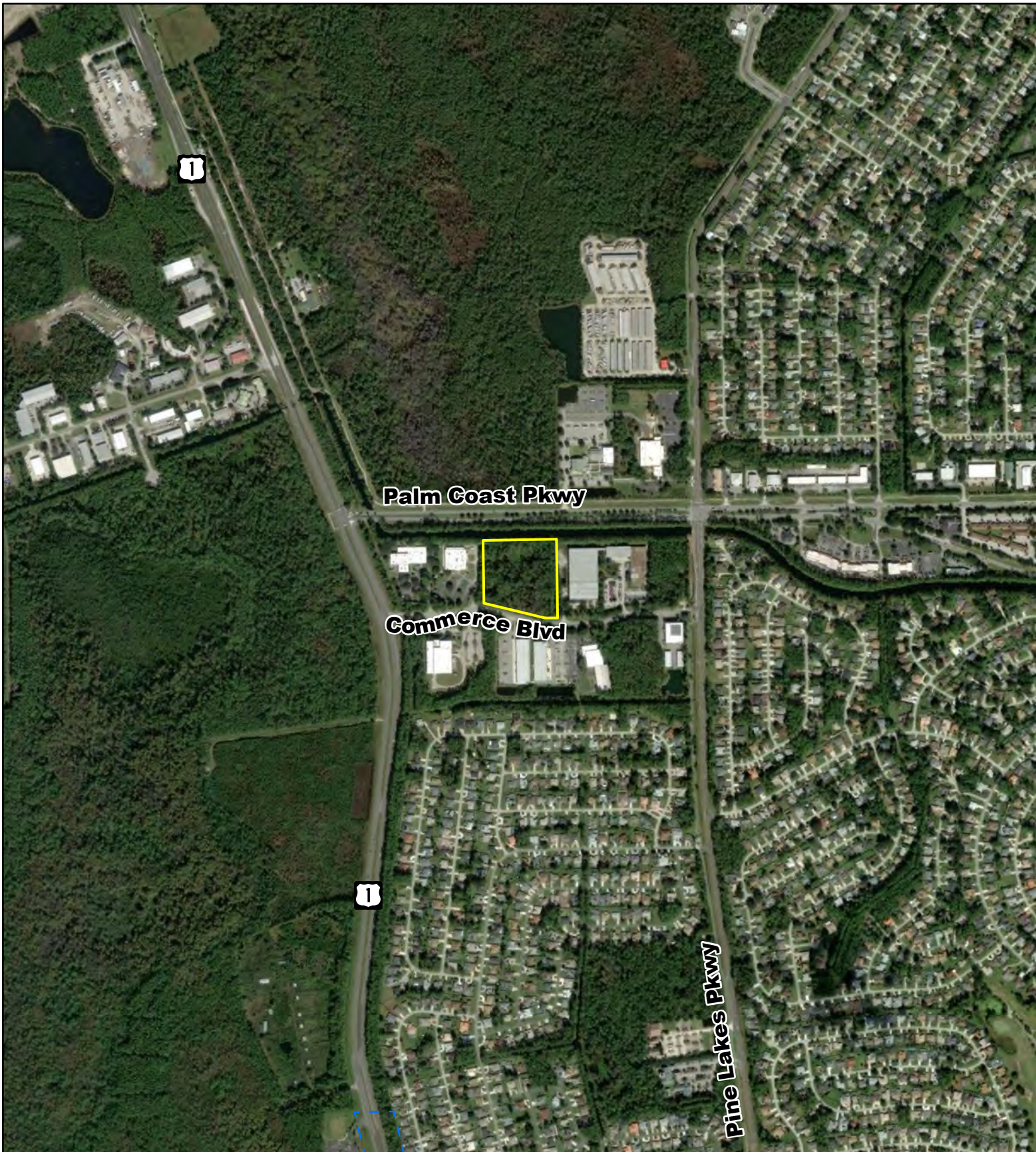
ACKNOWLEDGEMENT

STATE OF _____
COUNTY OF _____



The foregoing instrument was acknowledged before me, by means of _ physical presence or _ online notarization, this _____ day of _____, 2026, by _____ of PALM COAST INDUSTRIAL EQUITIES LLC who is personally known to me or has produced _____ (type of identification) as identification and did/did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this _____ day of _____, 2026.

Notary Public



Distant Aerial

-  Palm Coast City Limits
-  Subject Property



0 1,000 Feet





Map Provided by the Planning Division

Date: 6/2/2026



Close Up Aerial

-  Palm Coast City Limits
-  Subject Property










Map Provided by the Planning Division

Date: 6/2/2026



Future Land Use Map

-  Palm Coast City Limits
-  Subject Property
- Palm Coast FLUM**
-  Canals
-  Industrial
-  Conservation
-  Mixed Use
-  Residential



Map Provided by the Planning Division

Date: 6/2/2026



Zoning Map

- | | | |
|------------------------|------------------------------------|-----------------------------------|
| Palm Coast City Limits | Palm Coast Zoning Districts | PSP |
| Subject Property | COM-2 | SFR-2 |
| | EST-1 | SFR-3 |
| | IND-1 | MPD, MPD pre 11-16-08 designation |



Map Provided by the Planning Division

Date: 6/2/2026

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City of PALM COAST

GENERAL - APPLICATION

	DATE 02/12/2026
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APPLICATION TYPE	TECHNICAL SITE PLAN TIER 2
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PROJECT NAME	GPR 2		
LOCATION OF SUBJECT PROPERTY (PHYSICAL ADDRESS)	11 COMMERCE BLVD UNIT UNIT 4 PALM COAST FL 32137		
PROPERTY APPRAISER'S PARCEL NUMBER	07-11-31-5112-00000-0050		
LEGAL DESCRIPTION	<small>PINE LAKES INDUSTRIAL PARK SITES 3 THRU 6 OR 244/316 OR 462/1669 OR 462/1869 OR 492/1320 OR 531/1830 OR 723/1537-BLA OR 815/ 1105 OR 1712/1120-BLA OR 553/1539 OR 554/1662 OR 567/1610-CD OR 1010/1324 OR 211</small>		
SUBDIVISION NAME	PINE LAKES INDUSTRIAL PARK		
SECTION	07	BLOCK	00000
		LOT	0050
PROPERTY ACRES	3.7102	PROPERTY SQ FT	161618
FUTURE LAND USE MAP DESIGNATION		EXISTING ZONE DISTRICT	I
OVERLAY DISTRICT			
COMMUNITY PANEL NUMBER	120684	MAP PANEL DATE	06/06/2018
FLOOD ZONE	A		
PRESENT USE OF PROPERTY	INDUSTRIAL		

DESCRIPTION OF REQUEST / PROPOSED DEVELOPMENT (MAY ATTACH ADDITIONAL SHEETS)
Industrial project consisting of two 40,980 sf warehouse building

PROPOSED NUMBER OF LOTS	IS THERE EXISTING MORTGAGE? No
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City of PALM COAST

OWNER	APPLICANT / AGENT
Name: PALM COAST INDUSTRIAL EQUITIES LLC	Name: HARRY NEWKIRK
Mailing Address: 24 CHURCH STREET ATTN SCOTT GLAUBERG MONTCLAIR, NJ 07042	Mailing Address: 1230 N US HIGHWAY 1, SUITE 3 ORMOND BEACH, FL 32174
Phone Number: (386) 238-1570	Phone Number: (376) 872-7794
E-mail Address: GROBERTS@CCIDAYTONA.COM	E-mail Address: HARRY@NEWKIRK-ENGINEERING.COM
MORTGAGE HOLDER	ENGINEER OR PROFESSIONAL
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:
ARCHITECT	TRAFFIC ENGINEER
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:
SURVEYOR	LANDSCAPE ARCHITECT
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:
ATTORNEY	
Name:	
Mailing Address:	
Phone Number:	
E-mail Address:	

APPLICANT / OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning

APPLICANT / OWNER'S ELECTRONIC SUBMISSION STATEMENT: Under penalty of perjury, I declare that all the information contained in this development application is true and correct. By signing this Electronic Submission Form, I consent to use electronic communications, electronic records, and electronic signatures rather than paper documents for the form(s) provided on this web site. I understand that my electronic signature is legally binding, as stated by [2016 Florida Statutes Title XXXIX Chapter 668 Section 50](#)

Signature of Property Owner or Applicant

HARRY NEWKIRK

AFFIDAVIT OF CORPORATE IDENTITY/AUTHORITY

STATE OF Florida

COUNTY OF Volusia

COMES NOW, Gary Roberts, being first duly sworn, who deposes and says:

(1) That he/she is the Manager, an officer of GPR1, LLC corporation existing under the laws of the State of Florida.

(2) That he/she is authorized to execute the following deeds or instruments on behalf of the above named corporation: GPR1, LLC relating to the following described real property: 07-11-31-5112-00000-0030

(3) That this affidavit is ~~made to induce~~ the City of Palm Coast to accept the above described property.

Signature of owner OR person authorized to represent this application

[Handwritten Signature]
Signature

Signature

GARY ROBERTS
Print

Print

NOTARY: This instrument was acknowledged before me on this by means of physical presence

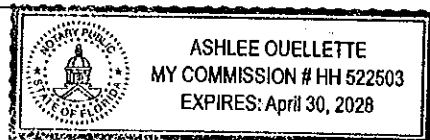
or online notarization 20 day of January, 2020 by

Gary Roberts who is/are personally known to me, or who has/have produced _____ as identification.

[Handwritten Signature]

(SEAL)

Signature of Notary Public, State of Florida



Property Owner Letter of Authorization
*****IF APPLICANT IS NOT THE PROPERTY OWNER*****

Dear Planning Manager,

I/We, GPR1, LLC being the
(All property owners)

current property owner(s) of the property legally described as

Parcel # 07-11-31-5112-00000-0030 and also described as

Subdivision _____, Section _____, Block _____, Lot _____.

Street address 5 Commerce Boulevard, Palm Coast, FL 32164

Do hereby designate and authorize Harry Newkirk, PE, President of Newkirk Engineering, Inc.
(name of authorized agent)

representing GPR1, LLC
(All property owners)

To sign on my/our behalf, as my/our agent to submit an application for a

Site Plan
(type of application)

Or execute a Development Order for the property described above.

[Handwritten Signature]
Signature of property owner

Signature of property owner

GARY ROBERTS
Print Name

Print Name

NOTARY: This instrument was acknowledged before me on this by means of physical presence

or online notarization 20 day of January, 2020 by

Gary Roberts who is/are personally known to me, or who
has/have produced _____ as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida





NEWKIRK ENGINEERING, INC.

CIVIL ENGINEERING - TRANSPORTATION - CEI - LANDSCAPE ARCHITECTURE

1230 N US HWY 1, SUITE 3, ORMOND BEACH, FLORIDA 32174 386-872-7794

February 3, 2026

Ms. Damaris Ramirez

Site Development Coordinator II
City of Palm Coast
160 Lake Avenue
Palm Coast, FL 32164

**Re: GPR 2
Project Narrative**

Dear Ms. Ramirez:

The Applicant, GPR 2 LLC, proposes a light industrial development consisting of two (2) buildings, each containing 40,980 square feet of gross floor area, for a total building area of 81,960 square feet. Both buildings will include truck wells designed to accommodate loading and unloading operations associated with light industrial uses.

The project site encompasses approximately 7.445 acres. Of this total, approximately 3.732 acres, or 49.9 percent of the site, will consist of impervious surface, including building footprints, parking areas, drive aisles, loading areas, and sidewalks. The remaining site area will consist of landscaped areas, stormwater management facilities, and required buffers.

Primary access to the site will be provided from Commerce Boulevard by two (2) full-access driveway connections. Internal vehicular circulation will be accommodated through a looped interior drive design that provides continuous circulation for passenger vehicles, service vehicles, and emergency access. The internal circulation system is designed to accommodate truck movements to and from the loading areas while minimizing conflicts with parking and pedestrian areas.

Parking will be provided in accordance with applicable land development regulations. A total of 110 parking spaces is required for the proposed use, and 125 parking spaces are proposed, exceeding the minimum requirement. Parking areas will be paved and striped and will include designated accessible parking spaces in compliance with applicable accessibility standards.

Stormwater management for the project will be provided through a treatment train approach designed to meet applicable water quality and quantity requirements. The system will consist of a dry retention pond and an exfiltration system, which will provide primary treatment and volume control, discharging to a wet detention pond system for additional treatment and attenuation prior to outfall. The stormwater system is designed to accommodate on-site runoff while maintaining post-development discharge rates consistent with regulatory requirements.

Potable water service will be provided by connection to the existing 16-inch water main located within the Commerce Boulevard right-of-way. Each building will be served by four (4) separate 1-inch potable water meters to allow for individual tenant metering. On-site water distribution will

be extended to serve domestic use, fire protection, and any ancillary site features requiring potable water service.

Fire protection will be provided through connection to the public water system. Each building will be served by a 6-inch fire main routed to the building fire riser room. In addition, a 4-inch fire line will be provided to the fire department connection for each building, designed in accordance with applicable fire code and local fire authority requirements. Fire access and circulation have been coordinated with the site layout to ensure adequate emergency response.

Sanitary sewer service will be provided by connection to the existing gravity sewer main system located within the Commerce Boulevard right-of-way. On-site sanitary sewer infrastructure will collect wastewater from each building and convey it to the public system in accordance with applicable utility standards.

Solid waste service will be provided on site through the installation of two (2) double dumpsters. Dumpster locations will be designed to provide convenient access for collection vehicles while minimizing impacts to internal circulation, parking, and adjacent properties. Enclosures and screening will be provided as required by local regulations.

If you have any questions or need additional information, please feel free to call or email me at Harry@Newkirk-Engineering.com.

Sincerely,

NEWKIRK ENGINEERING, INC.

Harry Newkirk, PE No. 62971

President/CEO of NEI



NEWKIRK ENGINEERING, INC.

CIVIL ENGINEERING - TRANSPORTATION - CEI - LANDSCAPE ARCHITECTURE

1230 N US HWY 1, SUITE 3, ORMOND BEACH, FLORIDA 32174 386-872-7794

March 31, 2026

Michael Hanson, Project Manager

City of Palm Coast
160 Lake Avenue
Palm Coast, FL 32164
(386) 986-3736

**Re: GPR 2 – Pine Lakes Industrial Park Lot 3
Technical Site Plan Tier 2, Application #6590
LDC Zoning Analysis Letter**

Dear Mr. Hanson,

The proposed development has been reviewed for compliance with the approval criteria set forth in Section 2.05.05 and the Industrial Use Performance Standards in accordance with Section 4.14.02 and Table 4-5 of the City of Palm Coast Land Development Code. Sufficient factual and technical data has been provided to support the findings below.

A. Not in Conflict with or Contrary to the Public Interest

The proposed industrial warehouse development is consistent with the established development pattern along Commerce Boulevard and within the surrounding IND-1 zoning district. The project supports economic development by providing flexible industrial space for employment-generating uses. The site design incorporates appropriate infrastructure, access, stormwater management, and buffering, ensuring compatibility with adjacent properties and protection of the public interest.

The project is classified as **Light Industrial & Warehousing (IND-1)** and will comply with all applicable performance standards of Section 4.14.02 and Table 4-5. Proof of compliance and all required permits will be obtained as required by the Code.

Industrial Use Performance Standards Compliance – IND-1

- **Lighting:**
All exterior lighting is designed and will be installed in accordance with Chapter 9 of the Land Development Code. A detailed lighting plan has been provided during permitting demonstrating compliance with illumination levels, shielding, and prevention of light trespass.
- **Sound:**
A statement of compliance is hereby provided confirming that the proposed use will meet the sound level limits established in Table 4-5, as measured at the property line. Sound levels will not exceed:
 - 75 dBA for industrial areas (7:00 AM – 10:00 PM and 10:00 PM – 7:00 AM),
 - 65 dBA (daytime) / 60 dBA (nighttime) for adjacent commercial areas, and

- 60 dBA for residential areas.
All equipment and operations will be designed and managed to remain within these thresholds.

- **Water Consumption:**

The project will be served by existing municipal water infrastructure. A Consumptive Use Permit (CUP) is not required for this development. All water use will comply with applicable SJRWMD, FDEP and City of Palm Coast requirements.

- **Hazardous / Regulated Waste Management:**

The proposed development will comply with all applicable State and Federal regulations, including Chapter 62-730, Florida Administrative Code. The project will not operate as a prohibited Large Quantity Generator under IND-1 standards. Any hazardous or regulated waste generated will be properly managed, stored, and disposed of in accordance with applicable regulations. Best Management Practices (BMPs) will be implemented to prevent potential discharges, and secondary containment will be provided where required. A statement of compliance is hereby provided.

- **Electrical / Electromagnetic Interference:**

The proposed use will not cause, create, or contribute to electrical or electromagnetic interference affecting adjacent properties, equipment, or communications systems. A statement of compliance is hereby provided.

- **Air Quality:**

The proposed use will comply with all applicable Florida Department of Environmental Protection (FDEP) air quality regulations. The facility is anticipated to operate below thresholds requiring a Title V permit and will meet IND-1 criteria, including:

- Emissions less than 100 tons per year of regulated pollutants,
- Emissions less than 10 tons per year of any single hazardous air pollutant (HAP), and
- Emissions less than 25 tons per year of combined HAPs.

Dust control BMPs will be implemented during construction and operation, and airborne discharges will be minimized to prevent objectionable odors. A statement of compliance is hereby provided, and any required FDEP permits will be obtained if applicable.

- **Storage of Hazardous or Regulated Chemicals:**

Any storage of hazardous or regulated chemicals will comply with the IND-1 limitation of less than 25,000 gallons on-site. All materials will be properly contained, labeled, and stored in accordance with FDEP and EPA regulations. Secondary containment and spill prevention measures will be implemented as required, and an SPCC Plan will be prepared if applicable. A statement of compliance is hereby provided.

- **Fire Prevention Standards:**

Fire protection will be provided in accordance with City and Fire Marshal requirements. Buildings will be equipped with fire sprinkler systems, and fire hydrants are provided on-site to ensure adequate fire flow and emergency access, as shown on the approved site plan.

- **Radioactive Materials:**

No radioactive materials are proposed as part of this development. The project will comply with all applicable IND-1 prohibitions. A statement of compliance is hereby provided.

- **New Septic Systems:**

No septic systems are proposed. The development will be served by public utilities.

B. Consistency with the Comprehensive Plan and LDC

The proposed development is consistent with the City of Palm Coast Comprehensive Plan and complies with all applicable provisions of the Land Development Code. The use is permitted within the IND-1 zoning district, and the site design meets applicable requirements for parking, access, drainage, utilities, and pedestrian connectivity. The project has been designed in accordance with accepted engineering standards and regulatory criteria.

C. No Significant Financial Liability or Hardship to the City

The development will not impose a financial burden on the City. All required infrastructure improvements, including internal roadways, utilities, stormwater systems, and site improvements, will be constructed by the developer in accordance with City standards. The project will contribute to the local tax base and economic activity without requiring additional public expenditures beyond typical service provisions.

D. No Unreasonable Hazard, Nuisance, or Threat to Public Health, Safety, or Welfare

The project has been engineered to ensure safe and efficient operation. Vehicular circulation, including truck access and loading areas, is accommodated on-site, minimizing impacts to public roadways. Stormwater management systems are designed to meet regulatory requirements and prevent off-site impacts.

The proposed use will comply with all Industrial Performance Standards under Section 4.14.02, including those related to noise, lighting, air quality, hazardous materials, and operational impacts. As such, the development will not create a nuisance or hazard and will not adversely affect the health, safety, or welfare of the surrounding community.

E. Compliance with Applicable Laws and Regulations

The proposed development will comply with all applicable local, state, and federal laws, including but not limited to the City of Palm Coast Land Development Code, Florida Building Code, Florida Department of Environmental Protection (FDEP) regulations, and SJRWMD criteria. All required permits will be obtained prior to construction and operation.

Conclusion

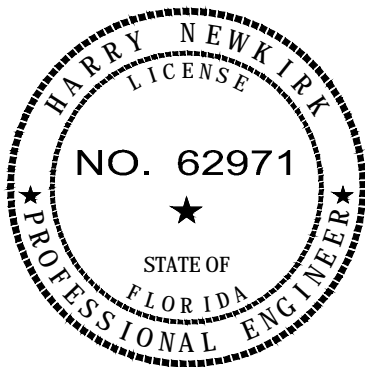
Based on the above, the proposed development complies with the approval criteria of Section 2.05.05 and the Industrial Use Performance Standards of Section 4.14.02 and Table 4-5 for Light Industrial & Warehousing (IND-1).

It is the professional opinion of the undersigned Florida Professional Engineer that the project meets all applicable requirements, will not adversely impact the public interest, and is appropriate for approval.

If you have any questions or need additional information, please feel free to call or email me at harry@newkirk-engineering.com.

Sincerely,

NEWKIRK ENGINEERING, INC.

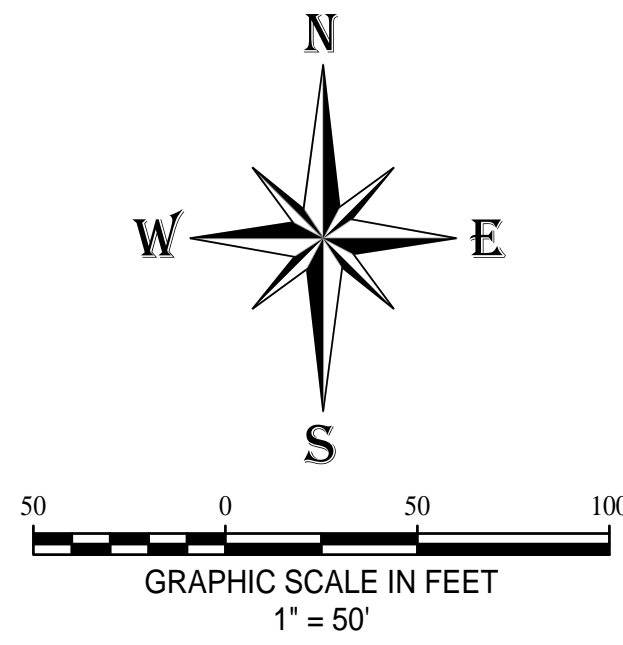


**HARRY H. NEWKIRK,
P.E. FL. REG. NO. 62971**

Harry Newkirk, PE #62971
President/CEO of Newkirk Engineering, Inc.

#5 COMMERCE BOULEVARD

PALM COAST, FLORIDA

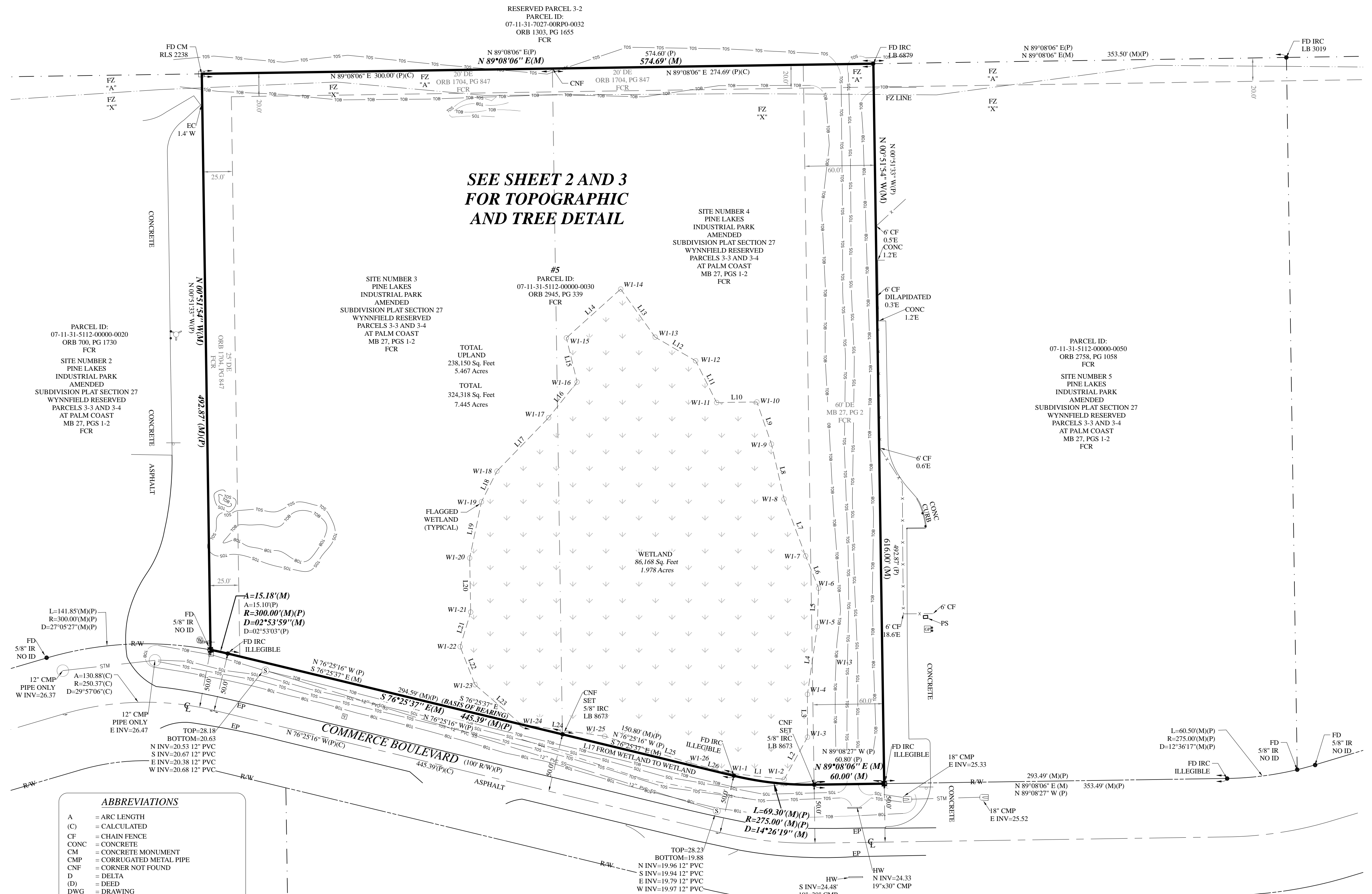


LEGAL DESCRIPTION:

SITES NO.3 AND NO.4, AMENDED SUBDIVISION MAP OF WYNNFIELD SECTION 27, RESERVED PARCELS 3-3 AND 3-4 IN PINE LAKES INDUSTRIAL PARK, A SUBDIVISION ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN MAP BOOK 27, PAGES 1 AND 2 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

GENERAL NOTES:

- BEARING STRUCTURE BASED ON NAD 83, FLORIDA STATE PLANE, EAST ZONE, U.S. SURVEY FOOT WITH THE BEARING ALONG THE NORTH RIGHT-OF-WAY LINE OF COMMERCE BOULEVARD BEING S 76° 25' 37" E. (FOR ANGLE MEASUREMENT ONLY).
- LEGAL DESCRIPTION PER ORB 2945, PG 339 PUBLIC RECORDS OF FLAGLER COUNTY, FL. NO TITLE WORK PROVIDED TO THIS SURVEYOR.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 50' OR SMALLER. ANY USE OF THIS FILE AT A SCALE LARGER THAN STATED, SHALL BE AT THE USER'S OWN RISK.
- RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS (P), WHEN DIFFERS FROM MEASURED (M).
- FLOOD PLANE CERTIFICATION ACCORDING TO THE FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) F.I.R.M (FEDERAL INSURANCE RATE MAP), COMMUNITY OF PALM COAST, FLORIDA NUMBER 120684, PANEL NUMBER 12035 C 0120 E, DATED: JUNE 06, 2018. THE PROPERTY APPEARS TO BE IN FLOOD ZONE "X", AND ZONE "A" (NO FLOOD ELEVATION DETERMINED)
- DATA SOURCES:
ELEVATIONS REFER TO (NAVD) NORTH AMERICAN VERTICAL DATUM 1988 FEET AND DECIMAL PART THEREOF. BENCHMARK REFERENCE NAVD DATUM OF 1988. BENCHMARK IS A NATIONAL GEODETIC SURVEY DESIGNATION: D 482. ELEVATION = 35.90 FEET.
- HISTORY REFERENCE TO PREVIOUS SURVEY OR HELPER SURVEYS, LINEAGE OF DATA HORIZONTAL DATA REFERENCES, DATE OF ORIGINAL PLAT.
A.) OFFICIAL RECORDS BOOK 2945, PAGE 339, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
B.) OFFICIAL RECORDS BOOK 1704, PAGE 847, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA
C.) OFFICIAL RECORDS BOOK 700, PAGE 1730, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA
D.) OFFICIAL RECORDS BOOK 2758, PAGE 1058, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA
E.) OFFICIAL RECORDS BOOK 1303, PAGE 11655, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA
F.) AMENDED SUBDIVISION MAP OF WYNNFIELD SECTION 27, RESERVED PARCELS 3-3 AND 3-4 IN PINE LAKES INDUSTRIAL PARK, AS RECORDED IN MAP BOOK 27, PAGE 1 AND 2 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- THE BOUNDARY LINES SHOWN ARE COMPRISED FROM THE SAID INFORMATION ALONG WITH EXISTING MONUMENTATION FOUND IN THE FIELD. SURVEY DOES NOT DETERMINE OR REFLECT OWNERSHIP THERE MAY BE OTHER INFORMATION NOT ON RECORD OR PROVIDED, SUCH AS: DEEDS OR SURVEY HELPERS FROM OTHERS THAT ARE NOT ON RECORD TO A1A SURVEYING SERVICES, LLC AT THE TIME OF SURVEY. A1A SURVEYING ATTEMPTS TO CONTACT LOCAL SURVEYORS FOR HELPER SURVEYS. SEE LIMITATIONS.
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN, PER FIELD VISIBLE LOCATIONS OR MARKINGS.
- LIMITATIONS:
A.) THE CLIENT AND/OR THEIR LEGAL REPRESENTATIVE(S) IS REQUIRED PER FLORIDA STATUTE RULE 5J-17.052(2)(D)(4) AND THE ALTA REQUIREMENTS THAT ALL RECORDED INSTRUMENTS (EASEMENTS, RIGHT-OF-WAY(S) & ETC.) THAT APPLIES TO THIS SURVEY MUST BE PROVIDED TO THIS SURVEYOR. SOME INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAY(S) AND OR OWNERSHIP HAVE BEEN FURNISHED TO THE SURVEYOR, PER TITLE COMMITMENT. THERE MAY BE ADDITIONAL RECORDINGS NOT PROVIDED TO THIS SURVEYOR THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY OR A PREVIOUS SURVEY BY OTHERS NOT ON RECORD THAT WERE NOT PROVIDED AT THE TIME OF THIS SURVEY. THIS SURVEYOR RETAINS THE RIGHT TO REVISE HIS OR HER SURVEY WHEN SAID DOCUMENTATION IS PRESENTED.
B.) IT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THIS SURVEYOR AND THE FIRM FROM WHICH IS FORMULATED ON HIS / HER BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH, DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. FURTHERMORE, THIS SURVEYOR AND FIRM DOES NOT ASSUME RESPONSIBILITY AND SHALL NOT BE LIABLE FOR CLAIMS ARISING FROM ERRONEOUS OR INCORRECT INFORMATION FURNISHED BY THE OWNER, LENDER, OR OWNER'S CONTRACTORS OR OTHERS WHICH IS USED AS A BASIS TO FORMULATE THIS SURVEYOR'S OPINION.
C.) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY PER FLORIDA STATUTE CHAPTER RULE 5J-17.051(3)(5)(6).
D.) THE ACCEPTANCE OF THIS SURVEY IS CERTIFIED FOR THE EXCLUSIVE USE OF NAMES SHOWN HEREON SHALL CONSTITUTE FULFILLMENT OF MY CONTRACTUAL OBLIGATION. "ORIGINAL" AS DEFINED HEREON REFERS TO THE SIGNED AND SEALED GRAPHIC REPRESENTATION OF THE FIELD SURVEY. CAD FILES ARE NOT THE SURVEY AND THERE MAY BE A SURCHARGE FOR THEM.
E.) TAX PARCEL IDENTIFICATION NUMBERS, ADJACENT OWNERS NAME AND ADDRESS WHEN SHOWN, IS TAKEN FROM SAID COUNTY PROPERTY WEB SITE.
F.) TREE INFORMATION:
TREES AS SHOWN ON THE SURVEY IS FOR THE LOCATION AND DIAMETER TAKEN APPROXIMATELY 4 TO 4 1/2 FEET ABOVE GROUND LEVEL (APPROXIMATELY CHEST HEIGHT). THE TREE IDENTIFICATION SHOWN IS USUALLY A COMMONLY KNOWN NAME. HOWEVER, THE ACCURACY OF THE SPECIES OF SAID IDENTIFICATION SHOULD BE IDENTIFIED AND CONSULTED BY AN ARBORIST OR ANY OTHER PROFESSIONAL LICENSED TO IDENTIFY TREES (LANDSCAPE ARCHITECT, ENVIRONMENTALIST, ETC.). IDENTIFICATION IS OUT OF THE EXPERTISE OF A FLORIDA SURVEYOR OR MAPPER, UNLESS THEY POSSESS SUCH CERTIFICATES.
- TOPOGRAPHIC SURVEY:
1.) CONTOURS ARE ON ONE FOOT INTERVALS, INTERPOLATED BETWEEN GRIDS, VISIBLE GRADE BREAKS, ALONG WITH RANDOM GROUND ELEVATIONS.
2.) OFF-SITE TOPOGRAPHIC INFORMATION SHOWN IS BASED ON THE REQUEST BY THE CLIENT AND OR THE CLIENTS AGENT, BEING AN ARCHITECT OR ENGINEER.
- PIPE SIZE, MATERIAL AND INVERTS OF SEWER AND DRAINAGE STRUCTURES WERE OBTAINED WHERE ACCESSIBLE. DUE TO THE NATURE OF OBTAINING THE DATA WHERE THE STRUCTURES ARE IN USE AND THE ACTUAL INVERTS ARE OBSCURED, THE INFORMATION OBTAINED MAY BE THE BEST APPROXIMATION OF THE TRUE MEASUREMENTS. IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE DIAMETER AND MATERIAL UTILIZING AS-BUILD DRAWINGS OR OTHER RESOURCES PRIOR TO CONSTRUCTION.
- IN INSTANCES WHERE THE STRUCTURES ARE FULL OF WATER OR EFFLUENT AND THE INVERTS WERE OBSCURED, THE BOTTOM OF THE STRUCTURE WAS OBTAINED.
- UNITS OF MEASUREMENT ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF. WELL IDENTIFIED FEATURES IN THIS SURVEY WERE FIELD MEASURED TO A HORIZONTAL POSITIONAL ACCURACY OF 0.05'. THE ELEVATIONS ON IMPERVIOUS SURFACES WERE FIELD MEASURED TO 0.03' AND ON GROUND SURFACES TO 0.1'.



ABBREVIATIONS

A	= ARC LENGTH
(C)	= CALCULATED
CF	= CHAIN FENCE
CONC	= CONCRETE
CM	= CONCRETE MONUMENT
CMP	= CORRUGATED METAL PIPE
CNF	= CORNER NOT FOUND
D	= DELTA
(D)	= DEED
DWG	= DRAWING
DE	= DRAINAGE EASEMENT
EC	= EDGE OF CONCRETE
EP	= EDGE OF PAVEMENT
FCR	= FLAGLER COUNTY RECORDS
FD	= FOUND
FEMA	= FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	= FLOOD INSURANCE RATE MAP
FL	= FLOOD ZONE
GP	= GATE PAD
HW	= HEAD WALL
ID	= IDENTIFICATION
INC	= INCORPORATED
INV	= INVERT
IP	= IRON PIPE
IPC	= IRON PIPE AND CAP
IR	= IRON ROD
IRC	= IRON ROD AND CAP
LB	= LICENSED BUSINESS
LC	= LICENSED CORPORATION
LLC	= LIMITED LIABILITY COMPANY
LS	= LICENSED SURVEYOR
(M)	= MEASURED
MB	= MAP BOOK
NAV D	= NORTH AMERICAN VERTICAL DATUM
NR	= NON-RADIAL
ORB	= OFFICIAL RECORDS BOOK
(P)	= PLAT
PG	= PAGE
PSM	= PROFESSIONAL SURVEYOR AND MAPPER
PS	= PROPANE SERVICE
R	= RADIUS
RLS	= REGISTERED LICENSE SURVEYOR
R/W	= RIGHT-OF-WAY
TOW	= TOP OF WATER

LEGEND

	BACK FLOW PREVENTER VALVE
	BOLLARD (UNLESS NOTED)
	CATCH BASIN
	CENTER LINE
	CONCRETE MONUMENT
	FIRE HYDRANT
	GATE PAD
	IRON ROD AND CAP (AS NOTED)
	MITERED END SECTION
	SANITARY MANHOLE
	SIGN (UNLESS NOTED)
	TELEPHONE RISER
	WELL

LINE TYPE LEGEND

	CHAIN LINK FENCE
	TOP OF BANK
	TOE OF SLOPE

WETLAND LINE TABLE

LINE	BEARING	DISTANCE
L1	S 83° 38' 55" E	46.34'
L2	N 28° 54' 56" E	41.18'
L3	N 00° 04' 09" W	36.69'
L4	N 08° 18' 35" E	58.40'
L5	N 01° 53' 59" E	33.01'
L6	N 21° 53' 11" W	29.68'
L7	S 48° 03' 25" W	62.16'
L8	N 12° 56' 56" W	48.18'
L9	N 19° 05' 47" W	38.10'
L10	S 89° 10' 51" W	34.45'
L11	N 26° 41' 36" W	39.95'
L12	N 59° 40' 22" W	40.15'
L13	N 35° 37' 57" W	50.57'
L14	S 48° 03' 25" W	62.16'
L15	S 13° 38' 46" E	38.86'
L16	S 38° 36' 04" W	39.09'
L17	S 44° 03' 41" W	63.54'
L18	S 26° 46' 39" W	29.41'
L19	S 11° 50' 46" W	49.13'
L20	S 01° 03' 40" E	46.24'
L21	S 16° 49' 11" W	30.98'
L22	S 21° 15' 51" E	34.86'
L23	S 49° 23' 48" E	52.25'
L24	S 81° 57' 06" E	71.97'
L25	S 72° 35' 25" E	75.52'
L26	S 75° 38' 57" E	36.70'

- ### REVISIONS:
- Revised Wetland...09/25/25 BR
 - Revised Wetland...02/06/26 BR
 - Revised Wetland...03/20/26 BR

CERTIFIED TO:

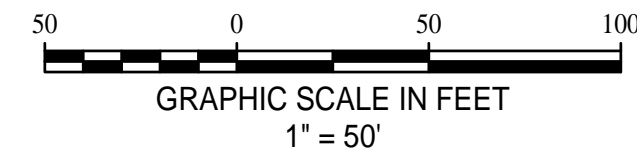
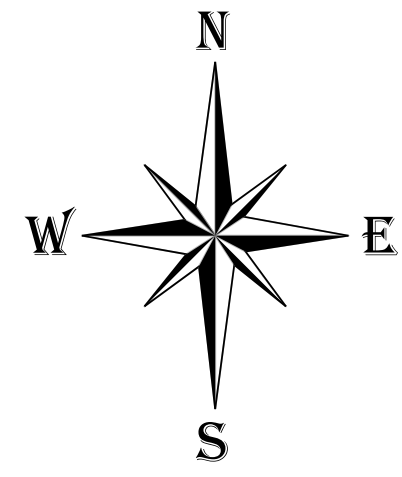
SITE ADDRESS:	5 Commerce Boulevard Palm Coast, Florida
TYPE OF SURVEY:	Boundary, Tree & Topographic
PROJECT NUMBER:	25-90
Field Work by:	TE Date: 09/26/25
Field Book:	45 Page: 64-66,73
Office Work by:	DH Date: 08/28/25
Scale:	1" = 50'



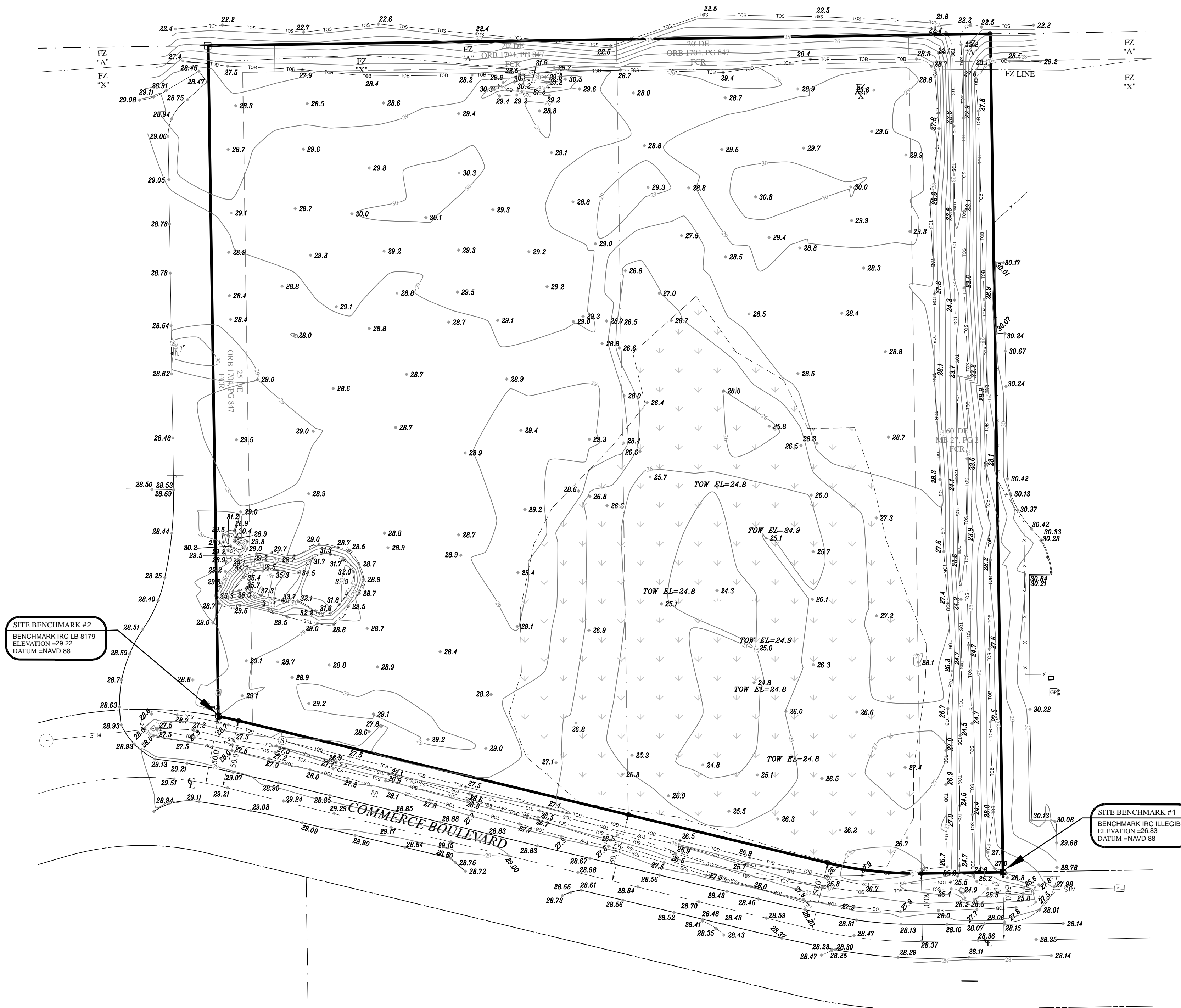
SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 3 TOGETHER SEE SHEET 3 OF 3 FOR SURVEYOR'S SIGNATURE

#5 COMMERCE BOULEVARD

PALM COAST, FLORIDA



TOPOGRAPHIC
INFORMATION
SEE SHEET 1 OF 3
FOR
ABBREVIATIONS &
LEGENDS



LEGEND

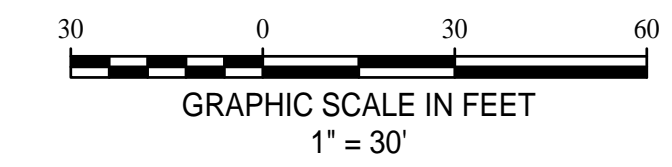
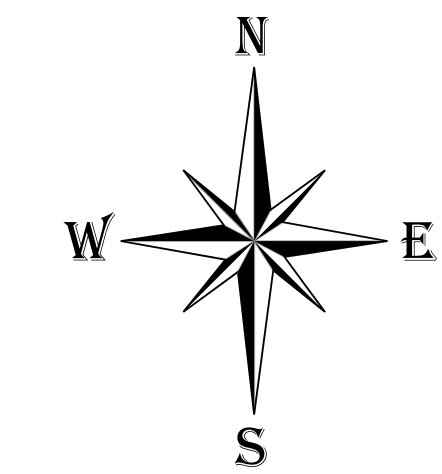
	BACK FLOW PREVENTER VALVE
	BOLLARD (UNLESS NOTED)
	CATCH BASIN
	CENTER LINE
	CONCRETE MONUMENT
	ELEVATION
	FIRE HYDRANT
	GATE PAD
	IRON ROD AND CAP (AS NOTED)
	MITERED END SECTION
	SANITARY MANHOLE
	SIGN (UNLESS NOTED)
	TELEPHONE RISER
	WELL

REVISIONS: • Revised Wetland...09/25/25 BR • Revised Wetland...02/06/26 BR • Revised Wetland...03/20/26 BR	SITE ADDRESS: 5 Commerce Boulevard Palm Coast, Florida	 711 Pineland Trail Ormond Beach, Florida LB 8673 386.216.5730
	TYPE OF SURVEY: Boundary, Tree & Topographic	
CERTIFIED TO:	PROJECT NUMBER: 25-90	Field Work by: TE Date: 10/03/25 Field Book: 45 Page: 64-66,73
	Office Work by: DH Date: 10/06/25 Scale: 1" = 50'	

SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 3 TOGETHER SEE SHEET 3 OF 3 FOR SURVEYOR'S SIGNATURE

#5 COMMERCE BOULEVARD

PALM COAST, FLORIDA



TREE INFORMATION SEE SHEET 1 OF 3 FOR ABBREVIATIONS & LEGENDS

TREE LEGEND		
TREE NAME	SYMBOL	COUNT
BAY		118
CAMPHOR		01
CEDAR		11
CYPRESS		123
HOLLY		04
MAGNOLIA		03
MAPLE		45
OAK		176
PALM		30
PINE		613
	27 DENOTES 12" DIAMETER TRUNK (TYPICAL)	TOTAL COUNT 1,124



SHEET 3 OF 3

REVISIONS: • Revised Wetland...09/25/25 BR • Revised Wetland...02/06/26 BR • Revised Wetland...03/20/26 BR	SITE ADDRESS: 5 Commerce Boulevard Palm Coast, Florida	
	TYPE OF SURVEY: Boundary, Tree & Topographic	
CERTIFIED TO:	PROJECT NUMBER: 25-90	711 Pineland Trail Ormond Beach, Florida LB 8673 407.216.5730
	Field Work by: TE Date: 10/03/25 Field Book: 45 Page: 64-66,73	
	Office Work by: DH Date: 10/06/25 Scale: 1" = 50'	
THE FOREGOING BOUNDARY, TOPOGRAPHIC AND TREE SURVEY IS CERTIFIED TO MEET THE STANDARDS OF PRACTICE ESTABLISHED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS, PER CHAPTER 51-17, SECTION 472.027, F.S. (FLORIDA STATUTES)		
10/06/2025 PSM #6378 David McMillen NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED OR ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPING ENGINEER		

*Jeffrey C. Sweet, Esquire
Korey, Sweet, McKinnon & Simpson
Attorneys and Counselors at Law*

*Robert Kit Korey, P.A.
Jeffrey C. Sweet
Noah C. McKinnon, Jr., P.A.
Scott E. Simpson, P.A.
Abraham C. McKinnon, P.A.
R. Kevin Korey*

*Suite A, Granada Oaks Professional Building
595 West Granada Boulevard
Ormond Beach, FL 32174
Telephone (386) 677-3431
Telefax (386) 677-8436*

Email: penny.every@jsweetlaw.com

February 2, 2026

Via Email and Hand Delivery

Harry Newkirk, PE
President/CEO
Newkirk Engineering, Inc.
1230 N. US 1, Suite 3
Ormond Beach, FL 32174

RE: Opinion of Title / 5 Commerce Blvd., Palm Coast, FL 32164

Gentlemen:

At your request, I have prepared this Title Opinion Letter based upon the following:

Chicago Title Insurance Company, Property Information Rreport, Order Number 1290-1579
(copy attached) for the real property described as follows:

See Legal Description attached hereto and incorporated herein

As a result of our examination, the following title opinion is rendered:

1. RECORD TITLE OWNER:

GPR1, LLC, a Florida limited liability company by virtue of that certain Warranty Deed recorded in Official Record book 2945, page 339, Public Records of Flagler County, Florida.

2. MORTGAGE ENCUMBRANCES:
None
3. JUDGMENTS & LIENS:
None
4. EASEMENTS OF RECORD:
See paragraphs 3, 4, 5, 7, 12, 15 and 19 of the attached Property Information Report.
5. EXCEPTIONS TO TITLE:
 1. General or special taxes and assessments required to be paid in the year **2026** and subsequent years.
 2. Rights or claims of parties in possession not recorded in the Public Records.
 3. Any lien provided by County Ordinance or by Chapter 159, F.S., in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality. **NOTE: AS OF THE DATE OF THIS PROPERTY INFORMATION REPORT THERE WERE NO OUTSTANDING CHAPTER 159 LIENS ASSOCIATED WITH THE REAL PROPERTY IDENTIFIED HEREIN.**
 4. See Property Information Report paragraphs 1, 2, 6, 8, 9, 10, 11, 13, 14, 16, 17, 18, 20, 21, 22 and 23, for additional property Covenants, Restrictions and entitlement rights.
6. TAXES:

Parcel # 07-11-31-5112-00000-0030. 2025 Taxes are \$8,129.56 and are paid.

As always, it is a pleasure to assist you in this transaction. If you have any questions, please do not hesitate to contact me.

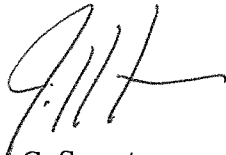
Please advise if you require anything further.

Page Three

February 2, 2026

With kind regards, I remain

Very truly yours,

A handwritten signature in black ink, appearing to read 'JCS', with a long horizontal flourish extending to the right.

Jeffrey C. Sweet

JCS/pke

LEGAL DESCRIPTION OF REAL PROPERTY

SITE NO. 3 AND SITE NO. 4, OF AMENDED SUBDIVISION MAP OF WYNNFIELD SECTION 27, RESERVED PARCELS 3-3 AND 3-4, IN PINE LAKES INDUSTRIAL PARK, A SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN MAP BOOK 27, PAGES 1 AND 2, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

PROPERTY INFORMATION REPORT

Order No.: 12901579
Customer Reference Number GPR1 Title Opinion

Addressee:
Jeffrey C. Sweet, PA
595 West Granada Boulevard Suite A
Ormond Beach, FL 32174
386-677-3431
386-677-8436

Chicago Title Insurance Company has caused to be made a search of the Public Records of Flagler County, Florida, ("Public Records"), from 01/01/1996, through 01/25/2026 5:00 PM, as to the following described real property lying and being in the aforesaid County, to-wit:

SITE NO. 3 AND SITE NO. 4, OF AMENDED SUBDIVISION MAP OF WYNNFIELD SECTION 27, RESERVED PARCELS 3-3 AND 3-4, IN PINE LAKES INDUSTRIAL PARK, A SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN MAP BOOK 27, PAGES 1 AND 2, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

As of the effective date of this Report, the apparent record Fee Simple title owner(s) to the above-described real property is/are:

GPR1 LLC, a Florida limited liability company by virtue of that Warranty Deed recorded in Official Records Book 2945, Page 339, Public Records of Flagler County, Florida.

The following liens against the said real property recorded in the aforesaid Public Records have been found:

Nothing found.

NOTE: 2025 Real Property Taxes in the gross amount of \$8129.56 are Paid, under Tax I.D. No. 07-11-31-5112-00000-0030.

NOTE: The following items may affect the lands shown herein:

1. Restrictions, covenants, conditions, easements and other matters as contained on the PLAT OF AMENDED SUBDIVISION MAP OF WYNNFIELD SECTION 27, RESERVED PARCELS 3-3 AND 3-4, IN PINE LAKES INDUSTRIAL PARK, recorded Map Book 27, Pages 1 and 2, of the Public Records of Flagler County, Florida.
2. Restrictions, covenants, conditions and easements as contained in that certain Restrictive Covenants Palm Coast West Industrial Park recorded February 25, 1977, in Official Records Book 86, Page 552, amended and/or supplemented by that Amendment to Restrictive Covenants Palm Coast West Industrial Park recorded September 29, 1878, in Official Records Book 110, Page 308, Restrictive Covenants Palm Coast West Industrial Park recorded July 3, 1979, in Official Records Book 125, Page 597, Third Amendment to Restrictive Covenants Palm Coast West Industrial Park recorded May 19, 1981, in Official Records Book 180, Page 286, Fourth Amendment to Restrictive Covenants Pine Lakes Industrial Park recorded August 19, 1983, in Official Records Book 218, Page 607, Fifth Amendment of Restrictive Covenants and Easements recorded July 29, 1993, in Official Records Book 492, Page 1316, Notice of Appointment of Architectural Review Committees and Verification of Prior Actions recorded July 12, 2005 in Official Records Book 1281, Page 1449, and Amended and Restated Declaration of Restrictive Covenants for Pine Lakes Industrial Park f/k/a Palm Coast West Industrial Park recorded June 4, 2009, in Official Records Book 1719, Page

178, as affected by that certain Assignment and Assumption of Declarant Rights recorded in Official Records Book 602, Page 3, and Assignment of Declarant's Rights recorded July 14, 2009 in Official Records Book 1725, Page 1796, of the Public Records of Flagler County, Florida.

3. Easements contained in Paragraph 12 of that certain Amendment to Restrictive Covenants and Easements by ITT Community Development Corporation, a Delaware corporation, recorded in Official Records Book 81, Page 560, of the Public Records of Flagler County, Florida.
4. Right-of-Way Easement granted by ITT Community Development Corporation, a Delaware corporation, to Florida Power & Light Company by instrument recorded in Official Records Book 93, Page 299, of the Public Records of Flagler County, Florida.
5. Right-of-Way Easement granted by ITT Community Development Corporation, a Delaware corporation, to Palm Coast Utility Corporation, a Florida corporation, by instrument recorded in Official Records Book 110, Page 296, of the Public Records of Flagler County, Florida.
6. Covenant by ITT Community Development Corporation, a Delaware corporation, Corprop A & F, Inc., a Delaware corporation, and ITT Land Corporation, a Delaware corporation, recorded in Official Records Book 130, Page 19, of the Public Records of Flagler County, Florida.
7. Easement granted by Palm Coast Data, Ltd., to Florida Power & Light Company by instrument recorded in Official Records Book 256, Page 958, as affected by Agreement between Flagler County and Palm Coast Data, Ltd. Concerning Building Permit Conditions recorded January 17, 1995, in Official Records Book 526, Page 814, of the Public Records of Flagler County, Florida.
8. Any interest of the Board of Commissioners of Flagler County, Florida, may have by virtue of Quit-Claim Deeds to the Board of Commissioners of Flagler County, Florida recorded December 8, 1987, in Official Records Book 331, Page 531, and in Official Records Book 331, Page 535, of the Public Records of Flagler County, Florida, conveying the exclusivity aspect only of the exclusive road right-of-way easements, if any such exclusive road right-of-way easements were retained in the dedications of the plat recorded in Map Book 27, Pages 1 and 2, of the Public Records of Flagler County, Florida.
9. Reservations of Non-Exclusive Road Right of Way Easements by ITT Community Development Corporation, a Delaware corporation per Quit-Claim Deed recorded in Official Records Book 331, Page 531, of the Public Records of Flagler County, Florida.
10. Reservations of Non-Exclusive Road Right of Way Easements by Palm Coast Utility Corporation, a Florida corporation per Quit-Claim Deed recorded in Official Records Book 331, Page 535, of the Public Records of Flagler County, Florida.
11. Palm Coast Utility Corporation Agreement with Palm Coast Data, regarding water and sewer services, recorded in Official Records Book 515, Page 818, of the Public Records of Flagler County, Florida.
12. Easement granted by Palm Coast Data Ltd. to Florida Power & Light Company by instrument recorded in Official Records Book 526, Page 348, corrected by instrument Easement granted by Palm Coast Data Ltd. to Florida Power & Light Company by instrument recorded in Official Records Book 526, Page 1997, as affected by Agreement between Flagler County and Palm Coast Data, Ltd., Concerning Building Permit Conditions recorded in Official Records Book 527, Page 1860, of the Public Records of Flagler County, Florida.
13. Binding Lot Agreement by Palm Coast Data formerly known as PCD Acquisition recorded January 10, 2001, in Official Records Book 723, Page 1537, of the Public Records of Flagler County, Florida.
14. Binding Lot Agreement by Palm Coast Data, LLC, recorded February 6, 2009, in Official Records Book 1701, Page 104, and re-recorded April 21, 2009, in Official Records Book 1712, Page 1120, as affected by Binding Lot Rescission Agreement recorded February 21, 2025 in Official Records Book 2937, Page 1981, of the Public Records of Flagler County, Florida.

15. Permanent Drainage Easement between Palm Coast Data, LLC, formerly known as PCD Acquisition, LLC, a Delaware limited liability company and the City of Palm Coast Florida, a municipal corporation, recorded March 2, 2009, in Official Records Book 1704, Page 847, of the Public Records of Flagler County, Florida.
16. City of Palm Coast Development Order Approval (special exception to allow warehouse in excess of 50,000 square feet) recorded March 11, 2009, in Official Records Book 1706, Page 506, of the Public Records of Flagler County, Florida.
17. City of Palm Coast Development Order Approval Technical Site Plan Tier 2, Palm Coast Data Warehouse recorded April 21, 2009, in Official Records Book 1712, Page 1199, of the Public Records of Flagler County, Florida.
18. City of Palm Coast Development Order Approval (special exception to allow warehouse in excess of 50,000 square feet) recorded January 28, 2011, in Official Records Book 1802, Page 1514, of the Public Records of Flagler County, Florida.
19. Easement granted to Florida Power & Light Company by instrument recorded January 28, 2011, in Official Records Book 1802, Page 1403, of the Public Records of Flagler County, Florida.
20. Ordinance 2019-11 adopted by the City of Palm Coast, Florida, annexing by voluntary petition property located contiguous to the City of Palm Coast recorded June 3, 2019, in Official Records Book 2359, Page 58, of the Public Records of Flagler County, Florida.
21. Utility Agreement for Water and Wastewater Service recorded July 20, 2020 in Official Records Book 2459, Page 1335, Public Records of Flagler County, Florida.
22. City of Palm Coast Technical Site Plat Tier 1 Development Order Approval 11 Commerce Blvd. Site Plan recorded April 12, 2023 in Official Records Book 2770, Page 1296, Public Records of Flagler County, Florida.
23. Recorded Notice of Environmental Resource Permit recorded July 20, 2023 in Official Records Book 2798, Page 103, Public Records of Flagler County, Florida.

Public Records shall be defined herein as those records currently established under the Florida Statutes for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.

This Report shows only matters disclosed in the aforesaid Public Records, and it does not purport to insure or guarantee the validity or sufficiency of any documents noted herein; nor have the contents of any such documents been examined for references to other liens or encumbrances. This Report is not to be construed as an opinion, warranty, or guarantee of title, or as a title insurance policy; and its effective date shall be the date above specified through which the Public Records were searched. This Report is being provided for the use and benefit of the Addressee(s) only, and it may not be used or relied upon by any other party. This Report may not be used by a Chicago Title Insurance Company agent for the purpose of issuing a Chicago Title Insurance Company title insurance commitment or policy.

This Report is not title insurance. Pursuant to s. 627.7843, Florida Statutes, the maximum liability of the issuer of this property information report for errors or omissions in this property information report is limited to the amount paid for this property information report, and is further limited to the person(s) expressly identified by name in the property information report as the recipient(s) of the property information report.

Chicago Title Insurance Company

Order No.: 12901579
Customer Reference Number GPR1 Title Opinion

REVISIONS	
DATE	DESCRIPTION
3/31/26	CITY COMMENTS
4/21/26	CITY COMMENTS
5/6/26	CITY COMMENTS

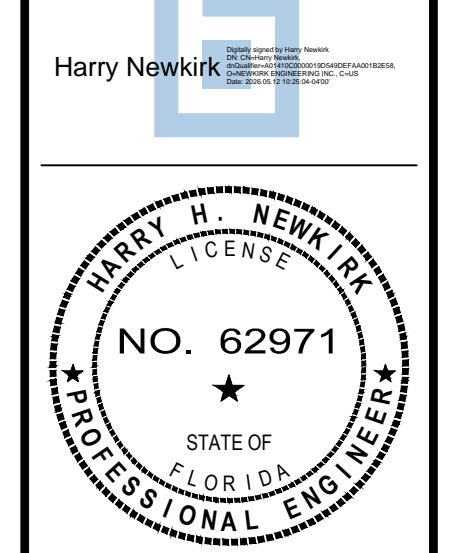
1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 872-7794
www.newkirk-engineering.com
C.A. # 30209
L.C. # 26000584
C 2013
Civil Engineering,
Transportation, CEI &
Landscape Architecture

NEWKIRK ENGINEERING INC.

SITE LAYOUT PLAN
GPR 2
5 COMMERCE BOULEVARD
PALM COAST, FL 32164

THIS DRAWING IS THE PROPERTY OF NEWKIRK ENGINEERING INC. ANY USE OR REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF NEWKIRK ENGINEERING. COPYRIGHT 2013 ALL RIGHTS RESERVED.

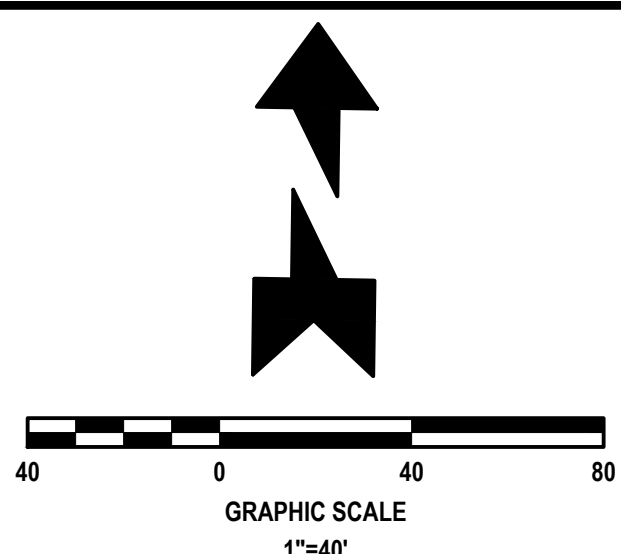
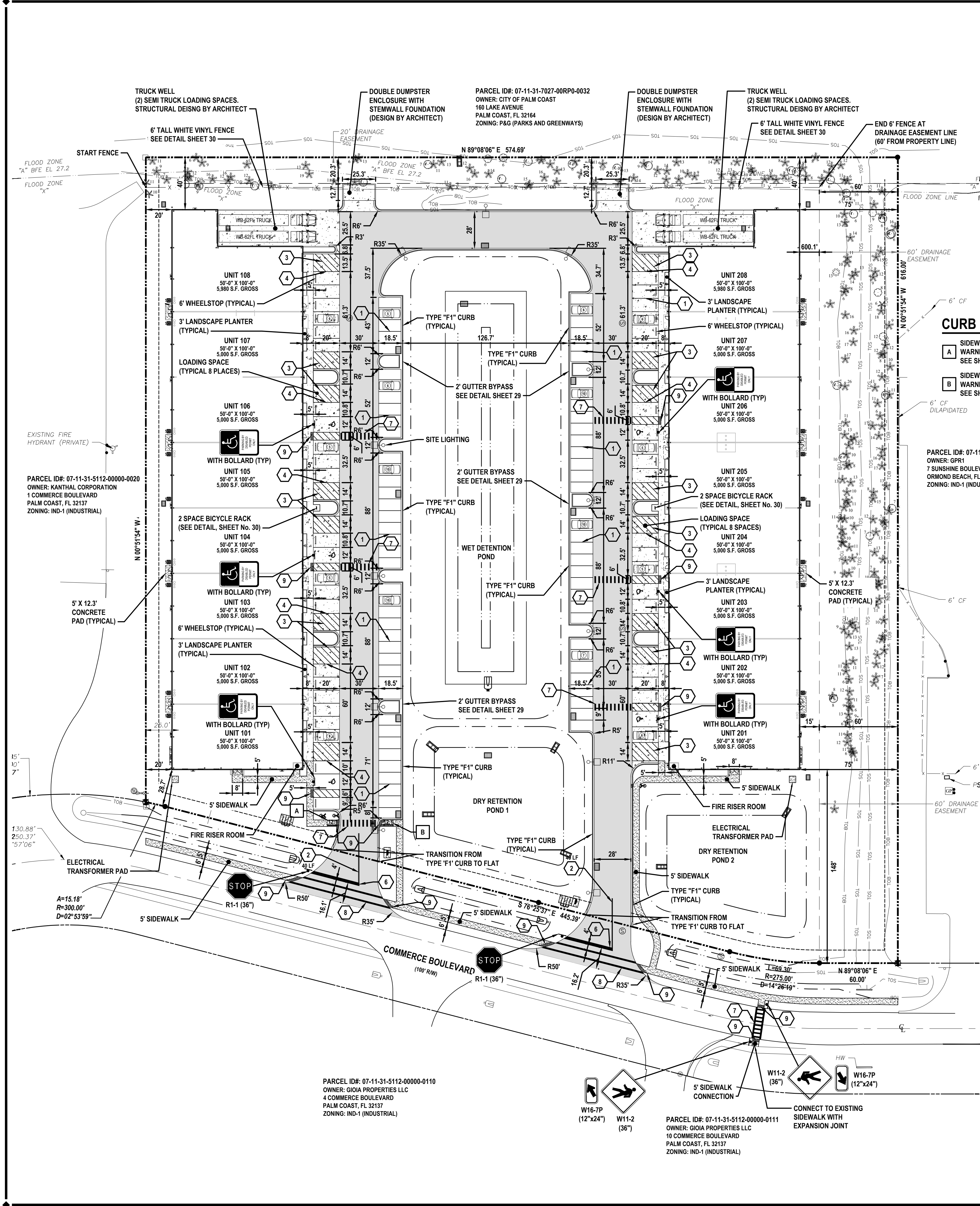
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
HARRY H. NEWKIRK, PE #62971
ON



PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No: 2025-082
DATE: JANUARY 2026
DESIGN BY: HHN
DRAWN BY: CJC
CHECKED BY: HHN
SCALE: 1" = 40'
DRAWING NUMBER

09



LEGEND

- TYPE 'F1' CURB
- TRANSITION LOCATION FROM TYPE 'F1' CURB TO FLAT
- SITE LIGHTING (11 PLACES) SEE SHEET ARCHITECTURAL PLANS FOR DETAILS
- 24" DETECTABLE WARNING MAT
- CONCRETE WHEELSTOP
- 6" WHITE VINYL FENCE

STRIPING LEGEND:

- 1 6" SOLID WHITE LINE (TYPICAL)
- 2 6" SOLID DOUBLE YELLOW LINE (TYPICAL)
- 3 6" YELLOW LINE @ 45" SPACED 4' ON CENTER
- 4 6" SOLID YELLOW LINE (TYPICAL)
- 5 WHITE DIRECTIONAL ARROW (TYPICAL)
- 6 24" WHITE STOP BAR (THERMOPLASTIC)
- 7 12"x6" WHITE SPECIAL EMPHASIS CROSSWALK (THERMOPLASTIC)
- 8 STANDARD CROSSWALK
- 9 24" DETECTABLE WARNING MAT

CURB RAMP LEGEND:

- A SIDEWALK CURB RAMP (CR-E) WITH 24" DETECTABLE WARNING MAT PER FOOT INDEX 522-002 SEE SHEET No. 33 FOR DETAILS
- B SIDEWALK CURB RAMP (CR-G) WITH 24" DETECTABLE WARNING MAT PER FOOT INDEX 522-002 SEE SHEET No. 33 FOR DETAILS

PROPERTY INFORMATION	
FUTURE LAND USE (FLU)	INDUSTRIAL
ZONING	(IND 1) INDUSTRIAL DISTRICT
FLOODZONE	X AND A
BUILDING USES	WAREHOUSE

REQUIRED SETBACKS			
	BUILDING	FEET	BUFFER
FRONT (COMMERCE BLVD)	25	FEET	10
REAR (NORTH)	10	FEET	20
SIDE (EAST)	10	FEET	10
SIDE (WEST)	10	FEET	10

DIMENSIONAL REQUIREMENTS		
	REQ.	PROV.
MAX. BUILDING HEIGHT	65 FT	26 FT
MAX. LOT IMPERVIOUS	70%	49%
MAX. FLOOR AREA RATIO (FAR)	0.35	0.25

EXISTING SITE COVERAGE			
AREA TYPE	SF	ACRE	% OF SITE
WETLAND	48,663	1.117	15.0%
OPEN SPACE	275,671	6.329	85.0%
TOTAL SITE	324,334	7.446	100.0%
TOTAL IMPERVIOUS	48,663	1.117	15.0%
TOTAL OPEN SPACE	275,671	7.446	85.0%

PROPOSED SITE COVERAGE			
AREA TYPE	SF	ACRE	% OF SITE
BUILDING	81,960	1.882	25.3%
PAVEMENT	68,111	1.564	21.0%
CONCRETE /SIDEWALKS	7,380	0.169	2.3%
TOTAL SITE	324,318	7.445	100.0%
TOTAL IMPERVIOUS	157,451	3.615	48.5%
TOTAL OPEN SPACE	166,867	3.831	51.5%

PARKING REQUIREMENTS				
BUILDING USE	A SF/UNITS	B. SPACES	C. PER SF	D. REQ. SPACES
INDUSTRIAL	81,960	1	750	110
TOTAL REQUIRED SPACES				110

PROVIDED PARKING	
	PROV. SPACES
STANDARD SPACES	115
ACCESSIBLE SPACES	6
TOTAL PROVIDED SPACES	121

LOADING SPACE REQUIREMENTS				
BUILDING USE	A SF/UNITS	B. SPACES	C. PER SF	D. REQ. SPACES
INDUSTRIAL	81,960	4	75,000 + 6,960	4
TOTAL REQUIRED SPACES				4

PROVIDED LOADING SPACES	
	PROV. SPACES
LOADING SPACES	16
TOTAL PROVIDED SPACES	16

INTERIOR LANDSCAPE REQUIREMENTS	
VEHICULAR USE AREA	68,111
REQUIRED LANDSCAPE AREA (10%)	6,811
PROVIDED LANDSCAPE AREA (16.4%)	11,180

GENERAL NOTES:

- CITY OF PALM COAST BUILDING PERMITS ARE REQUIRED FOR BUILDING, CANOPIES, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, SPECIFICATIONS, ETC.) AT TIME OF BUILDING PERMIT.
- ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDEXES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATION MANUAL.
- ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
- THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
- THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
- SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
- ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
- ALL PAVEMENT EDGE SHALL HAVE TYPE 'F1' CURBING UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL WALL-MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.
- ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.
- COMMERCIAL IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF INITIATION OF PERMANENT ELECTRIC SERVICE.
- CONTRACTOR TO PROVIDE PREMISE IDENTIFICATION FOR BUILDING DURING CONSTRUCTION.

PAVEMENT MARKING NOTES:

- ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH FDOT INDEX NO. 700-101 AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (LATEST EDITION).
- PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
- APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
- PAINT SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
- ALL STOP BARS SHALL BE THERMOPLASTIC.
- ALL RAISED PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 706-001.
- LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
- FOR ADDITIONAL DETAILS SEE INDEX NO. 700-010, 700-101, 711-001, AND 711-003.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED USING 3M BRAND DIAMOND GRADE VIP REFLECTIVE SHEETING ON MINIMUM .08 GA ALUMINUM BLANKS. ALL SIGNS SHALL BE INSTALLED ON 2"x2" SQUARE STEEL POSTS WITH 3/8" HOLES SPACED AT 1" ON CENTER.

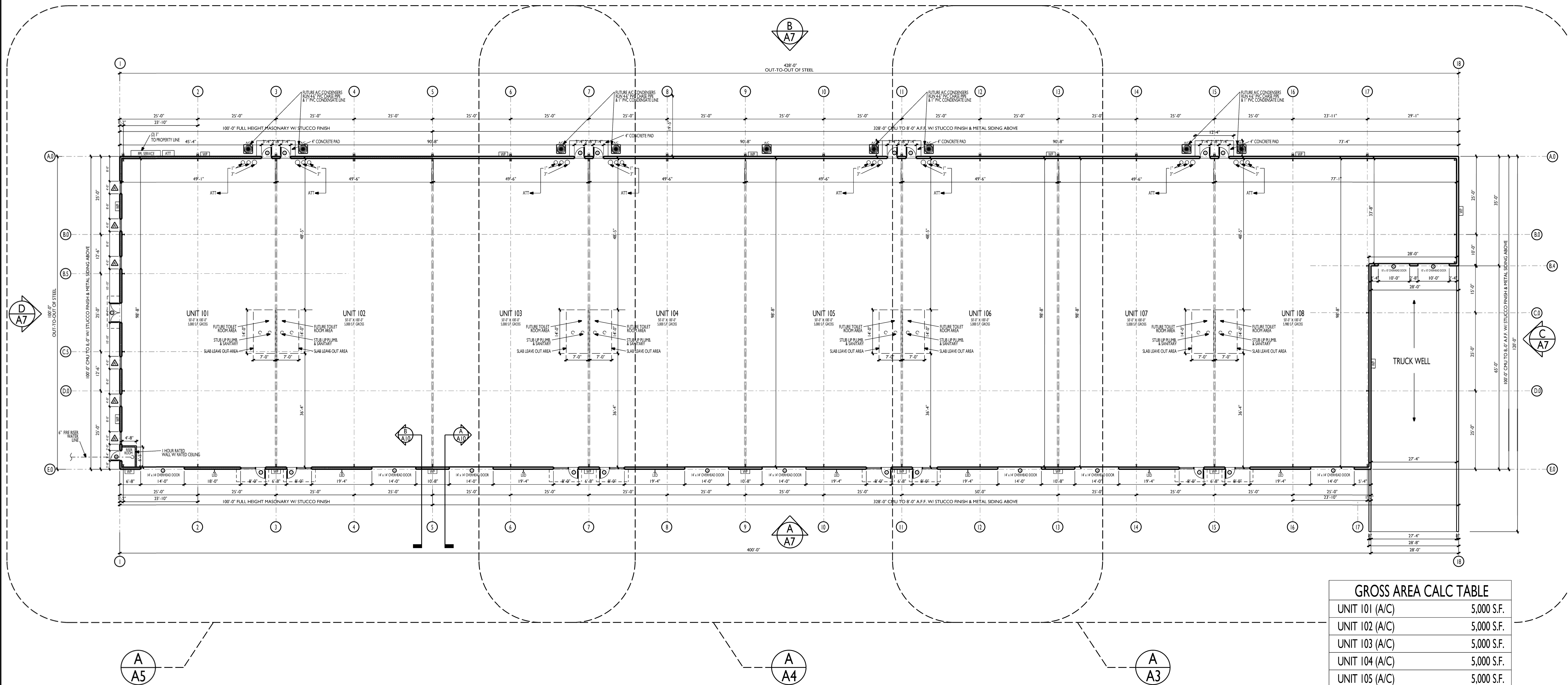
PAVING LEGEND

- HEAVY DUTY ASPHALT PAVEMENT: 2" SP-9.5 WITH TACK COAT PER FOOT SPECIFICATIONS; 8" LIMEROCK BASE (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" LIFTS); 12" STABILIZED SUBBASE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
- *ALTERNATE LIMEROCK BASE COURSE: 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" LIFTS)
- *ALTERNATE 12" STABILIZED SUBBASE: 6" LIMEROCK (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 OR 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180.
- *ALTERNATE PAVEMENT TO ASPHALT IS CONCRETE PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT: 1.5" SP-9.5 WITH TACK COAT PER FOOT SPECIFICATIONS; 6" LIMEROCK BASE (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" LIFTS); 12" STABILIZED SUBBASE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
- *ALTERNATE LIMEROCK BASE COURSE: 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" LIFTS)
- *ALTERNATE 12" STABILIZED SUBBASE: 6" LIMEROCK (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 OR 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180.
- *ALTERNATE PAVEMENT TO ASPHALT IS CONCRETE PAVEMENT
- CONCRETE PAVEMENT: 6" CONCRETE (4,000 P.S.I. @ 28 DAYS) (WITH FIBERMESH); 12" COMPACTED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS); CONTROL JOINT SPACING PER FDOT INDEX 350-001 SEE DETAILS, SHEET No. 29
- CONCRETE SIDEWALK: 4" THICK CONCRETE (MIN.) 3,000 PSI CONCRETE (WITH FIBER MESH) PER FDOT INDEX No. 522-001 SEE SIDEWALK DETAIL, SHEET No. 29

WINDOW SCHEDULE					
SYMB.	Q	WINDOW SIZE	FRAME	OPERABLE/FIXED	REMARK
A	6	W4'-0" x H6'-0" - EXT. STOREFRONT GLASS	H.MTL.	FIXED	LOW E, LIGHT TINT, INSULATED, NON-IMPACT

DOOR SCHEDULE						
SYMB.	Q	ROUGH OPENING/DESCRIPTION	L	R	REMARKS	INT. / EXT.
1	8	W3'-0" x H7'-0" EXT. STORE FRONT DOOR W/ W4'-8" x 7'-0" SIDE LITE GLASS	4	4	HOLLOW METAL FRAME	EXT.
2	9	W3'-0" x 7'-0" EXT. HOLLOW METAL DOOR - INSULATED	4	4	HOLLOW METAL FRAME	EXT.
3	8	W14'-0" x 14'-0" EXT. OVERHEAD ROLLUP METAL DOOR - INSULATED	--	--	HOLLOW METAL FRAME	EXT.
4	2	W10'-0" x 10'-0" EXT. OVERHEAD ROLLUP METAL DOOR - INSULATED	--	--	HOLLOW METAL FRAME	EXT.
5	1	W6'-0" x H7'-0" EXT. STORE FRONT DOUBLE DOORS	1	1	HOLLOW METAL FRAME	EXT.

NOTE: ALL DOOR/WINDOW SIZES & QUANTITIES TO BE VERIFIED BY VENDOR AND GC.



GROSS AREA CALC TABLE	
UNIT 101 (A/C)	5,000 S.F.
UNIT 102 (A/C)	5,000 S.F.
UNIT 103 (A/C)	5,000 S.F.
UNIT 104 (A/C)	5,000 S.F.
UNIT 105 (A/C)	5,000 S.F.
UNIT 106 (A/C)	5,000 S.F.
UNIT 107 (A/C)	5,000 S.F.
UNIT 108 (A/C)	5,980 S.F.
TOTAL UNDER ROOF	40,980 S.F.

WALL LEGEND	
	NEW EXTERIOR METAL BUILDING WALL (8'-0" OF CMU FOR BOTTOM WALL - REFER TO STRUCTURAL)
	NEW EXTERIOR BUILDING WALL - FULL HEIGHT CMU W/ SMOOTH STUCCO (REFER TO STRUCTURAL)
	NEW INTERIOR METAL FRAME WALL - UL U419 1 HOUR RATED - 18G CFS STUDS @ 16" O.C. W/ 5/8 TYPE X GYP. BOARD EACH SIDE BOARD & SMOOTH FINISH

GENERAL NOTES:
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS.
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS:
 ALL WORK MUST COMPLY WITH THE 2023 8TH EDITION (EXPOSURE "C") OF THE FLORIDA BUILDING CODE SECT. 1609/ 132 MPH WIND LOAD AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE AS SPECIFIED ON SHEET TBL.
 THE BUILDING RISK CATEGORY IS "I"
 INTERNAL PRESSURE COEFFICIENT IS .18 IN ACCORDANCE WITH ASCE 7-22
 ALL GLAZING TO BE NON IMPACT RESISTANT

PROPOSED FLOOR PLAN

SCALE: 1/16" = 1'-0"

GPR2, LLC - PHASE: I - NEW CONSTRUCTION

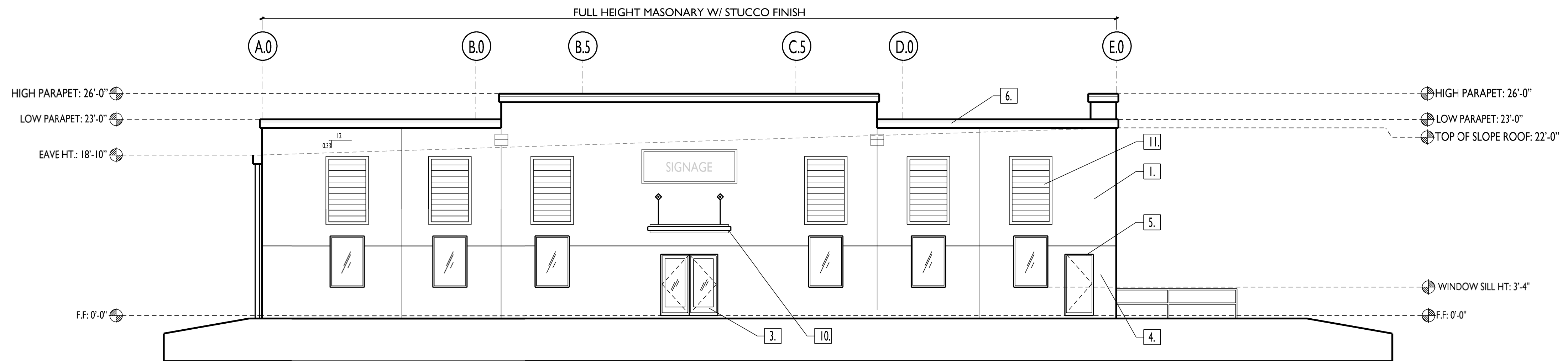
OWNER / DEVELOPER: COMMERCIAL CONSTRUCTION, INC., GARY ROBERTS, 7 SUNSHINE BOULEVARD, ORMOND BEACH, FL 32174 PH: (386) 238-1570 FX: (386) 238-1571
 PROJECT LOCATION: 5 COMMERCE BLVD., PALM COAST, FL 32110
 GENERAL CONTRACTOR: COMMERCIAL CONSTRUCTION, INC., GARY ROBERTS, 7 SUNSHINE BOULEVARD, ORMOND BEACH, FL 32174 PH: (386) 238-1570 FX: (386) 238-1571

BPE
 DESIGN INCORPORATED
 Building Design and Architecture
 BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 THOMAS E. MAKOWSKI, ARCHITECT
 #AR 100350
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114
 PH: (386) 257-9022 FAX: (386) 257-1050
 EMAIL: BPF@BPEDESIGN.COM WEBSITE: BPEDESIGN.COM

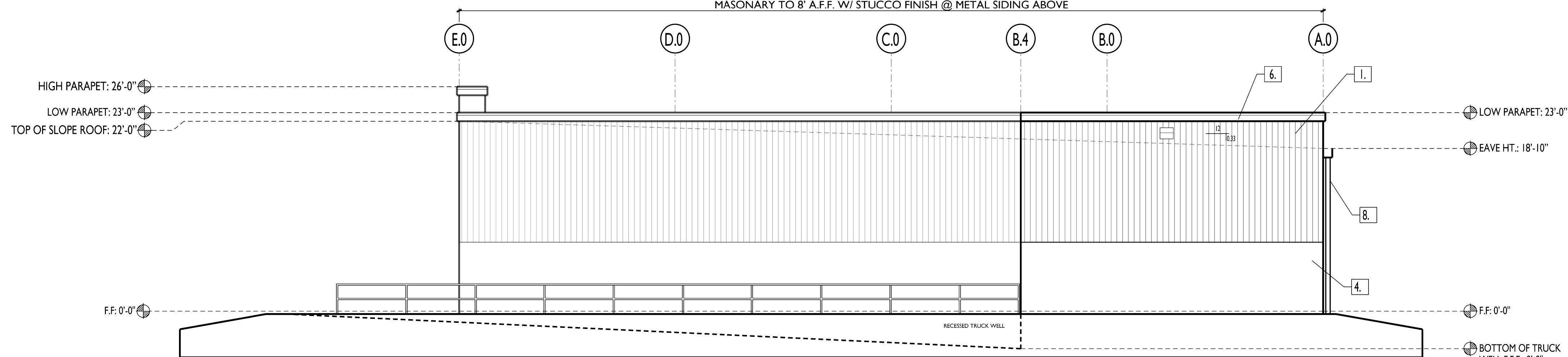
PROPOSED FLOOR PLAN

DATE: JANUARY 9, 2026
 SCALE: 1/16" = 1'-0"
 SHEET NO. A2

ARCHITECT'S / ENGINEER'S SEAL

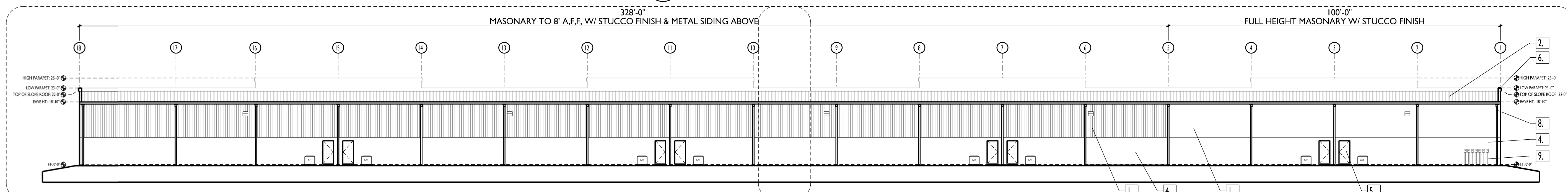


D
A7 BUILDING ELEVATION
SOUTH FACADE SCALE: 1/8"=1'-0"

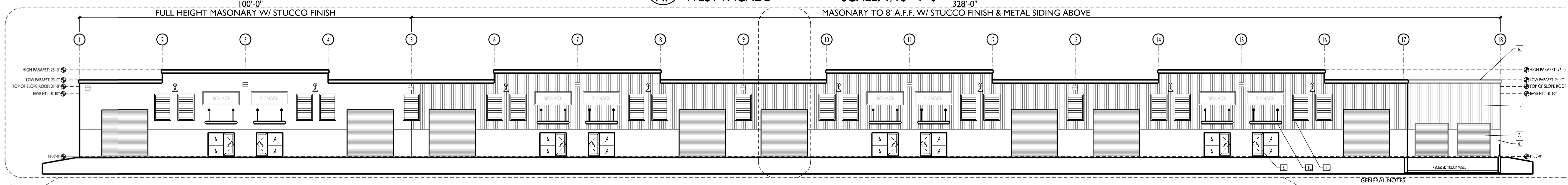


C
A7 BUILDING ELEVATION
NORTH FACADE SCALE: 1/8"=1'-0"

MATERIAL & COLOR SCHEDULE				
NO.	BUILDING ELEMENT:	MATERIAL:	COLOR:	LRV
1.	MAIN WALLS (UPPER)	METAL BUILDING	PURE WHITE - SW-7005	84
2.	MAIN LOW SLOPE ROOF	STANDING SEAM	GALVALUME	
3.	STORE FRONT DOORS / WINDOWS	HOLLOW ALUM. STOREFRONT	CLEAR ANODIZED ALUMINUM	
4.	MAIN WALL (BOTTOM)	CMU W/ STUCCO	ACIER - SW-9170	32
5.	MAN DOORS	METAL	PURE WHITE - SW-7005	84
6.	CORNICE / TRIM	METAL	ACIER - SW-9170	32
7.	ROLL-UP DOORS	METAL	PURE WHITE - SW-7005	84
8.	DOWNSPOUTS	METAL (FACTORY PROVIDED)	ACIER - SW-9170	32
9.	FPL METERS	METAL (FACTORY PROVIDED)	MATCH BUILDING COLOR	
10.	HANGING CANOPIES	PRE-ENGINEERED	SANTORINI BLUE - SW-7607	14
11.	DECORATIVE SHUTTERS	FALUX WOOD GRAINED FIBERGLASS W/ FACTORY FINISH	SANTORINI BLUE - SW-7607	14



B
A7 BUILDING ELEVATION
WEST FACADE SCALE: 1/16"=1'-0"



A
A7 BUILDING ELEVATION
EAST FACADE SCALE: 1/16"=1'-0"

GENERAL NOTES:
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 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
 ALL WORK MUST COMPLY WITH THE 2023 8TH EDITION (EXPOSURE "C")
 OF THE FLORIDA BUILDING CODE SECT. 1609 / 132 MPH WIND LOAD
 AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANG
 AS SPECIFIED ON SHEET TBL
 THE BUILDING RISK CATEGORY IS "I"
 INTERNAL PRESSURE COEFFICIENT IS .18 IN ACCORDANCE WITH ASCE 7-22
 ALL GLAZING TO BE NON IMPACT RESISTANT

REVISIONS

GPR2, LLC - PHASE: I - NEW CONSTRUCTION

OWNER / DEVELOPER: COMMERCIAL CONSTRUCTION, INC., GARY ROBERTS, 7 SUNSHINE BOULEVARD, ORMOND BEACH, FL 32174 PH: (386) 238-1570 FX: (386) 238-1571
 PROJECT LOCATION: 5 COMMERCE BLVD., PALM COAST, FL 32110
 GENERAL CONTRACTOR: COMMERCIAL CONSTRUCTION, INC., GARY ROBERTS, 7 SUNSHINE BOULEVARD, ORMOND BEACH, FL 32174 PH: (386) 238-1570 FX: (386) 238-1571

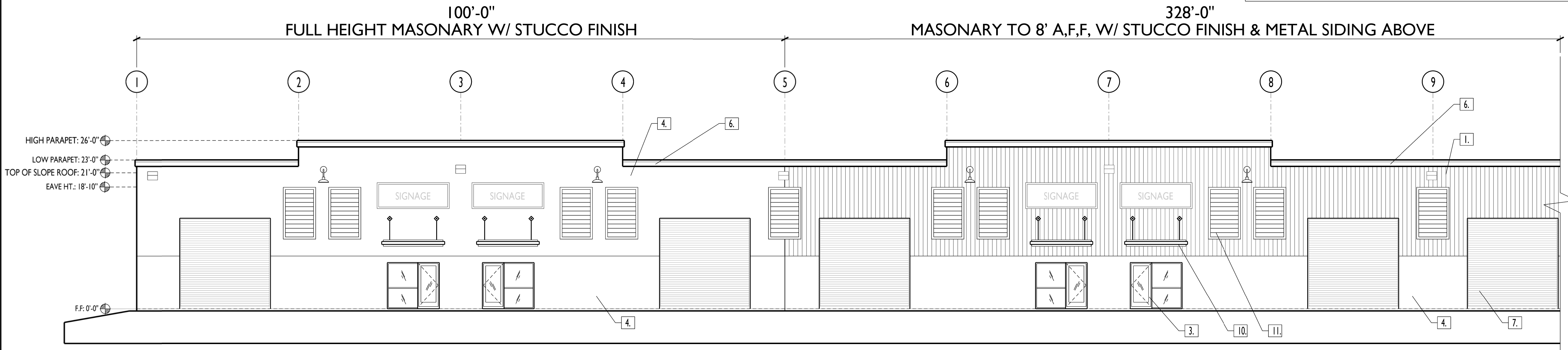
BPE
 DESIGN INCORPORATED
 Building Design and Architecture
 BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 THOMAS E. MAKOWSKI, ARCHITECT
 #AR 100350
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114
 PH: (386) 257-9022 FX: (386) 257-1160
 EMAIL: BPF@BPEDESIGN.COM WEBSITE: BPEDESIGN.COM

PROPOSED ELEVATIONS
 DATE: JANUARY 9, 2026
 SCALE: AS NOTED
SHT NO. A7

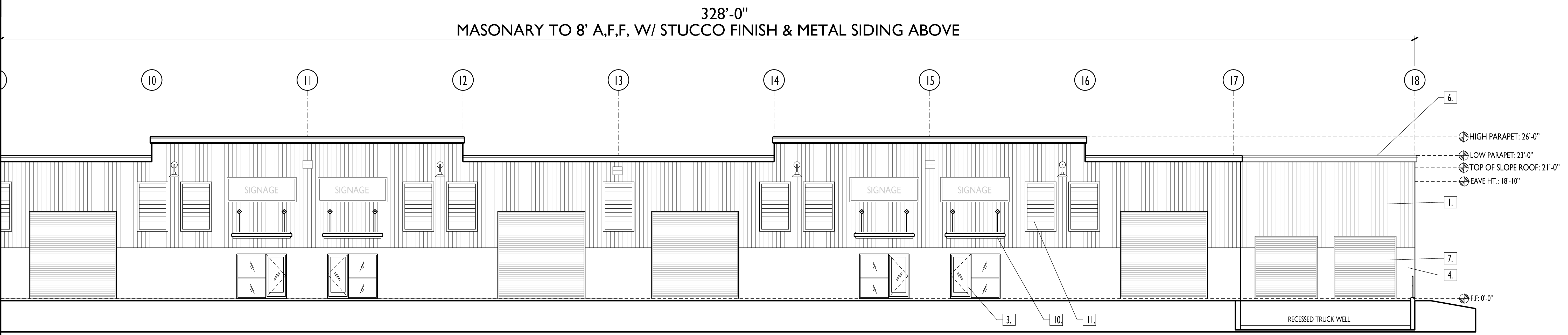
ARCHITECT'S / ENGINEER'S SEAL

MATERIAL & COLOR SCHEDULE				
NO.	BUILDING ELEMENT:	MATERIAL:	COLOR:	LRV
1.	MAIN WALLS (UPPER)	METAL BUILDING	PURE WHITE - SW-7005	84
2.	MAIN LOW SLOPE ROOF	STANDING SEAM	GALVALUME	
3.	STORE FRONT DOORS / WINDOWS	HOLLOW ALUM. STOREFRONT	CLEAR ANODIZE ALUMINUM	
4.	MAIN WALL (BOTTOM)	CMU W/ STUCCO	ACIER - SW-9170	32
5.	MAN DOORS	METAL	PURE WHITE - SW-7005	84
6.	CORNICE / TRIM	METAL	ACIER - SW-9170	32
7.	ROLL-UP DOORS	METAL	PURE WHITE - SW-7005	84
8.	DOWNSPOUTS	METAL (FACTORY PROVIDED)	ACIER - SW-9170	32
9.	FPL METERS	METAL (FACTORY PROVIDED)	MATCH BUILDING COLOR	
10.	HANGING CANOPIES	PRE-ENGINEERED	SANTORINI BLUE - SW-7607	14
11.	DECORATIVE SHUTTERS	FAUX WOOD GRAINED FIBERGLASS W/ FACTORY FINISH	SANTORINI BLUE - SW-7607	14

REVISIONS



B
A8 **BUILDING ELEVATION**
EAST FACADE - SEC: B SCALE: 1/8"=1'-0"



A
A8 **BUILDING ELEVATION**
EAST FACADE - SEC: A SCALE: 1/8"=1'-0"

GENERAL NOTES:
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS.
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
 ALL WORK MUST COMPLY WITH THE 2023 8TH EDITION (EXPOSURE "C")
 OF THE FLORIDA BUILDING CODE SECT. 1609/ 132 MPH WIND LOAD
 AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
 AS SPECIFIED ON SHEET TBL
 THE BUILDING RISK CATEGORY IS "I"
 INTERNAL PRESSURE COEFFICIENT IS .18 IN ACCORDANCE WITH ASCE 7-22
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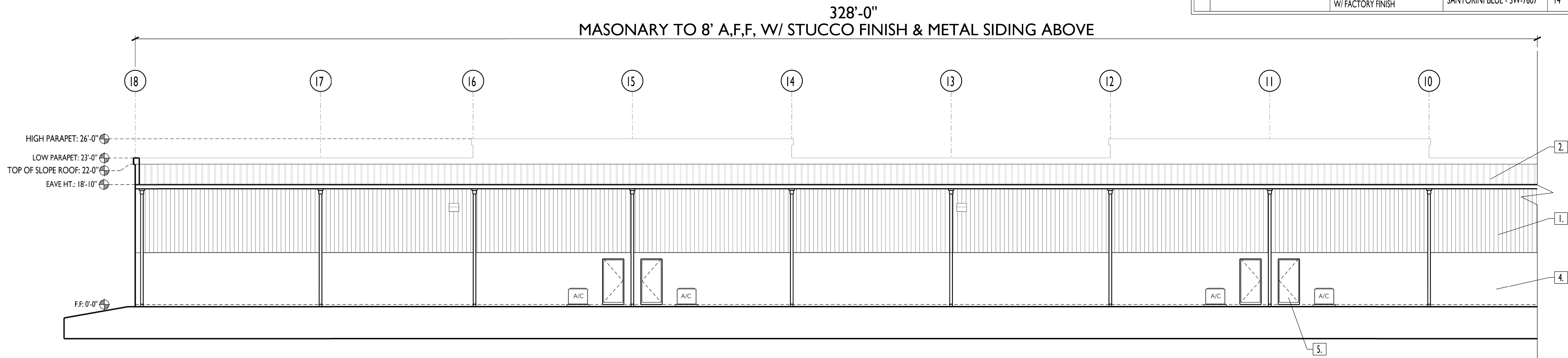
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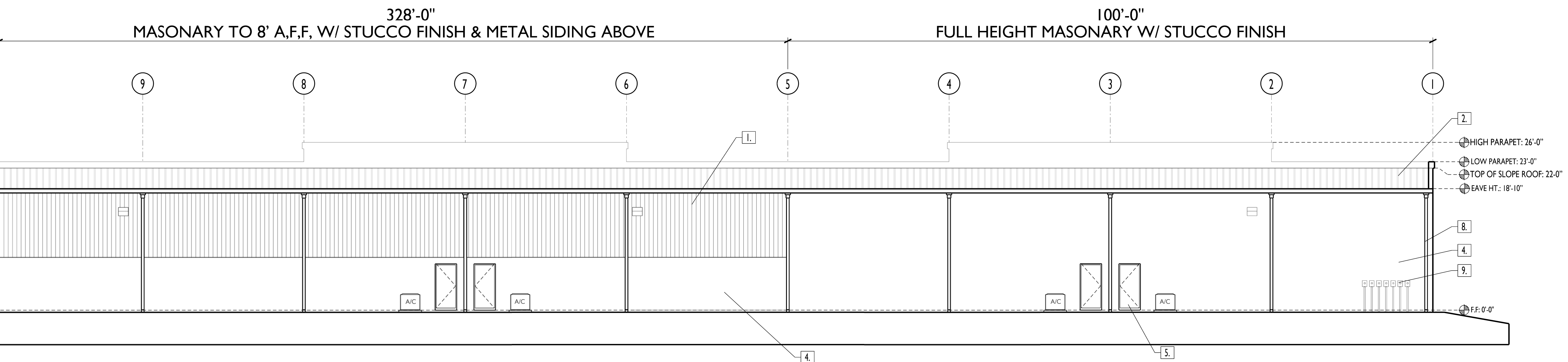
ENLARGED PROPOSED ELEVATIONS - EAST
 DATE: JANUARY 9, 2026
 SCALE: AS NOTED
 SHEET NO. A8

ARCHITECT'S / ENGINEER'S SEAL

MATERIAL & COLOR SCHEDULE				
NO.	BUILDING ELEMENT:	MATERIAL:	COLOR:	LRV
1.	MAIN WALLS (UPPER)	METAL BUILDING	PURE WHITE - SW-7005	84
2.	MAIN LOW SLOPE ROOF	STANDING SEAM	GALVALUME	
3.	STORE FRONT DOORS / WINDOWS	HOLLOW ALUM. STOREFRONT	CLEAR ANODIZE ALUMINUM	
4.	MAIN WALL (BOTTOM)	CMU W/ STUCCO	ACIER - SW-9170	32
5.	MAN DOORS	METAL	PURE WHITE - SW-7005	84
6.	CORNICE / TRIM	METAL	ACIER - SW-9170	32
7.	ROLL-UP DOORS	METAL	PURE WHITE - SW-7005	84
8.	DOWNSPOUTS	METAL (FACTORY PROVIDED)	ACIER - SW-9170	32
9.	FPL METERS	METAL (FACTORY PROVIDED)	MATCH BUILDING COLOR	
10.	HANGING CANOPIES	PRE-ENGINEERED	SANTORINI BLUE - SW-7607	14
11.	DECORATIVE SHUTTERS	FAUX WOOD GRAINED FIBERGLASS W/ FACTORY FINISH	SANTORINI BLUE - SW-7607	14



B
A9 **BUILDING ELEVATION**
WEST FACADE - SEC: B SCALE: 1/8"=1'-0"



A
A9 **BUILDING ELEVATION**
WEST FACADE - SEC: A SCALE: 1/8"=1'-0"

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ENLARGED PROPOSED ELEVATIONS - WEST

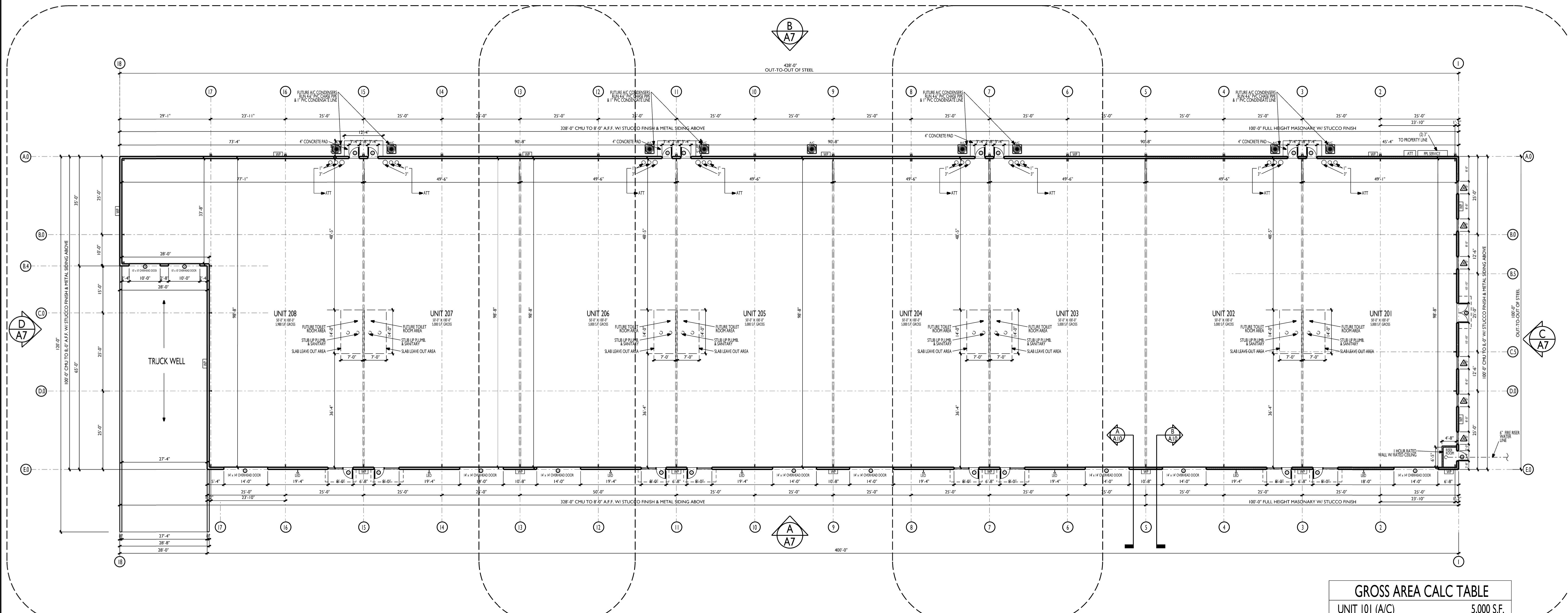
DATE: JANUARY 9, 2026
 SCALE: AS NOTED
 SHEET NO. A9

ARCHITECT'S / ENGINEER'S SEAL

WINDOW SCHEDULE									
SYMB.	Q	WINDOW SIZE	FRAME	OPERABLE/FIXED	REMARK				
A	6	W4'-0" x H6'-0" - EXT. STOREFRONT GLASS	H.MTL.	FIXED	LOW E. LIGHT TINT, INSULATED, NON-IMPACT				

DOOR SCHEDULE									
SYMB.	Q	ROUGH OPENING/DESCRIPTION	L	R	REMARKS	INT. / EXT.			
1	8	W3'-0" x 7'-0" EXT. STORE FRONT DOOR W/ W4'-8" x 7'-0" SIDE LITE GLASS	4	4	HOLLOW METAL FRAME	EXT.			
2	9	W3'-0" x 7'-0" EXT. HOLLOW METAL DOOR - INSULATED	4	4	HOLLOW METAL FRAME	EXT.			
3	8	W14'-0" x 14'-0" EXT. OVERHEAD ROLLUP METAL DOOR - INSULATED	--	--	HOLLOW METAL FRAME	EXT.			
4	2	W10'-0" x 10'-0" EXT. OVERHEAD ROLLUP METAL DOOR - INSULATED	--	--	HOLLOW METAL FRAME	EXT.			
5	1	W4'-0" x H7'-0" EXT. STORE FRONT DOUBLE DOORS	1	1	HOLLOW METAL FRAME	EXT.			

NOTE: ALL DOOR/WINDOW SIZES & QUANTITIES TO BE VERIFIED BY VENDOR AND GC.



GROSS AREA CALC TABLE	
UNIT 101 (A/C)	5,000 S.F.
UNIT 102 (A/C)	5,000 S.F.
UNIT 103 (A/C)	5,000 S.F.
UNIT 104 (A/C)	5,000 S.F.
UNIT 105 (A/C)	5,000 S.F.
UNIT 106 (A/C)	5,000 S.F.
UNIT 107 (A/C)	5,000 S.F.
UNIT 108 (A/C)	5,980 S.F.
TOTAL UNDER ROOF	40,980 S.F.

WALL LEGEND	
	NEW EXTERIOR METAL BUILDING WALL - (8'-0" OF CMU FOR BOTTOM WALL - REFER TO STRUCTURAL)
	NEW EXTERIOR BUILDING WALL - FULL HEIGHT CMU W/ SMOOTH STUCCO (REFER TO STRUCTURAL)
	NEW INTERIOR METAL FRAME WALL - UL U419 1 HOUR RATED - 18G CFS STUDS @ 16" O.C. W/ SIB TYPE X GYP. BOARD EACH SIDE BOARD & SMOOTH FINISH

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PROPOSED FLOOR PLAN

SCALE: 1/16" = 1'-0"

GPR2, LLC - PALM COAST - PHASE 2 - NEW CONSTRUCTION

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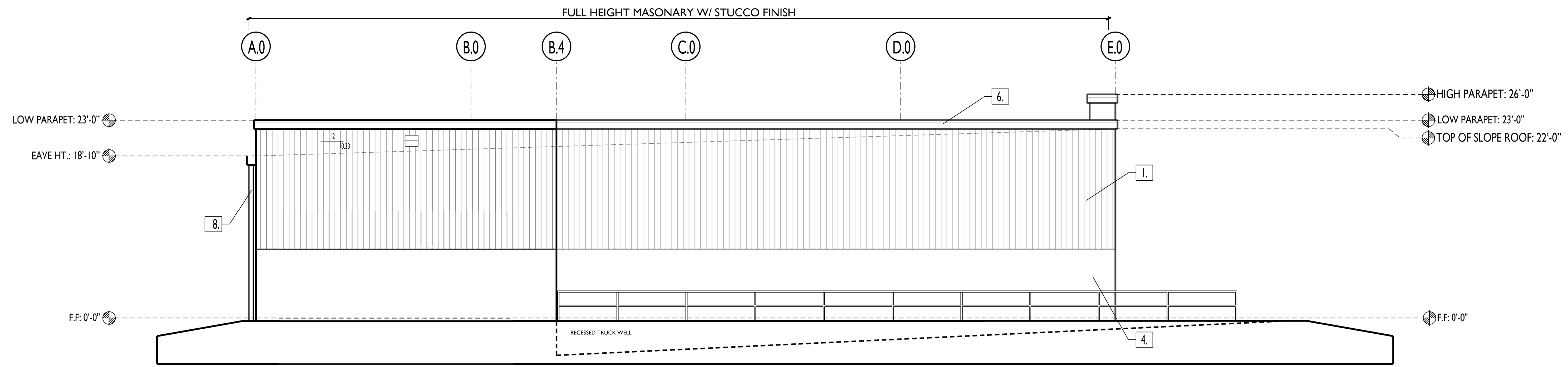
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PROPOSED FLOOR PLAN

DATE: JANUARY 21, 2026
 SCALE: 1/16" = 1'-0"
 SHEET NO. A2

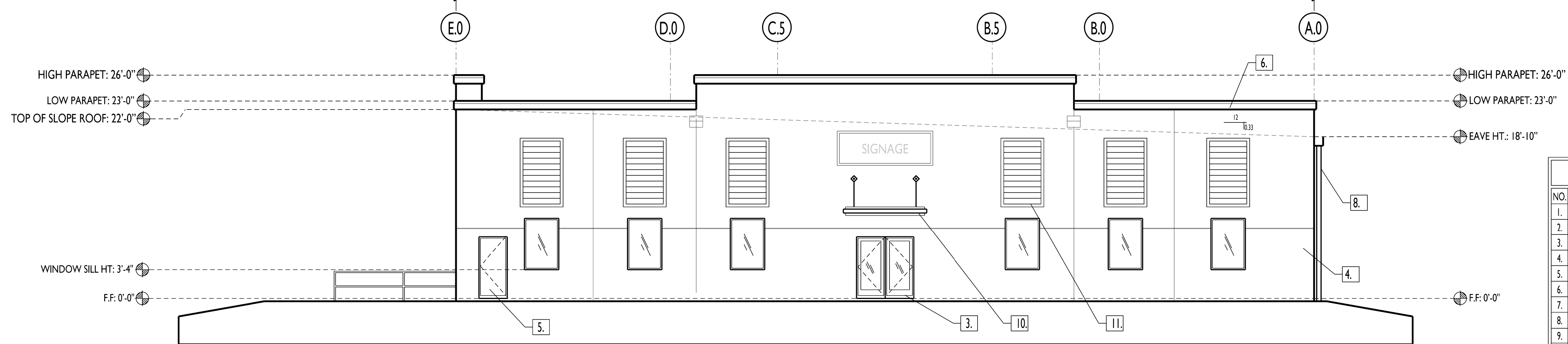


ARCHITECT'S / ENGINEER'S SEAL



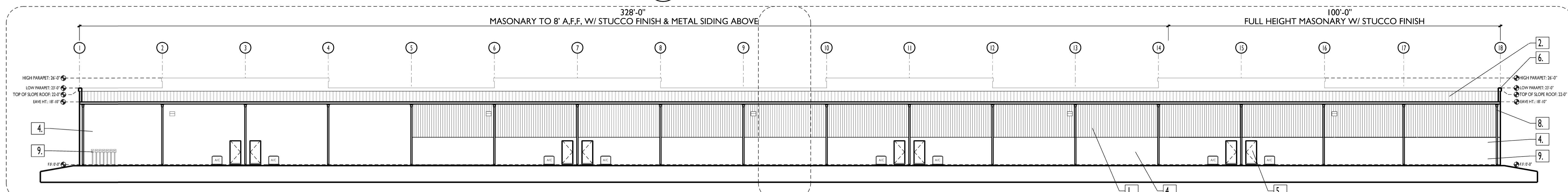
D BUILDING ELEVATION
A7 NORTH FACADE SCALE: 1/8"=1'-0"

MASONRY TO 8' A.F.F. W/ STUCCO FINISH @ METAL SIDING ABOVE

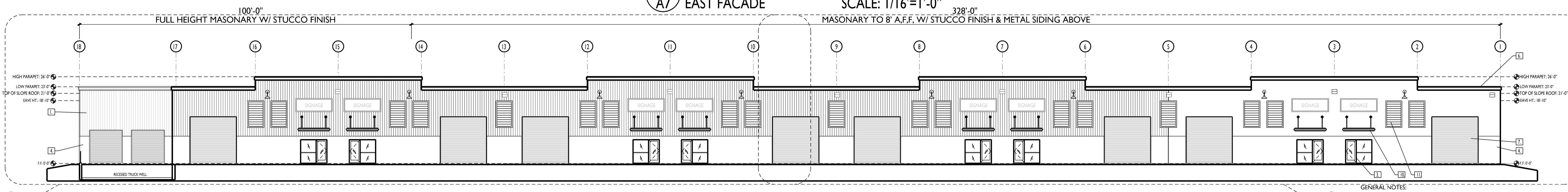


C BUILDING ELEVATION
A7 SOUTH FACADE SCALE: 1/8"=1'-0"

MATERIAL & COLOR SCHEDULE				
NO.	BUILDING ELEMENT	MATERIAL	COLOR	LRV
1.	MAIN WALLS (UPPER)	METAL BUILDING	PURE WHITE - SW-7005	84
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4.	MAIN WALL (BOTTOM)	CMU W/ STUCCO	ACIER - SW-9170	32
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8.	DOWNSPOUTS	METAL (FACTORY PROVIDED)	ACIER - SW-9170	32
9.	FPL METERS	METAL (FACTORY PROVIDED)	MATCH BUILDING COLOR	
10.	HANGING CANOPIES	PRE-ENGINEERED	SANTORINI BLUE - SW-7407	14
11.	DECORATIVE SHUTTERS	FAUX WOOD GRAINED FIBERGLASS W/ FACTORY FINISH	SANTORINI BLUE - SW-7407	14



B BUILDING ELEVATION
A7 EAST FACADE SCALE: 1/16"=1'-0"



A BUILDING ELEVATION
A7 WEST FACADE SCALE: 1/16"=1'-0"

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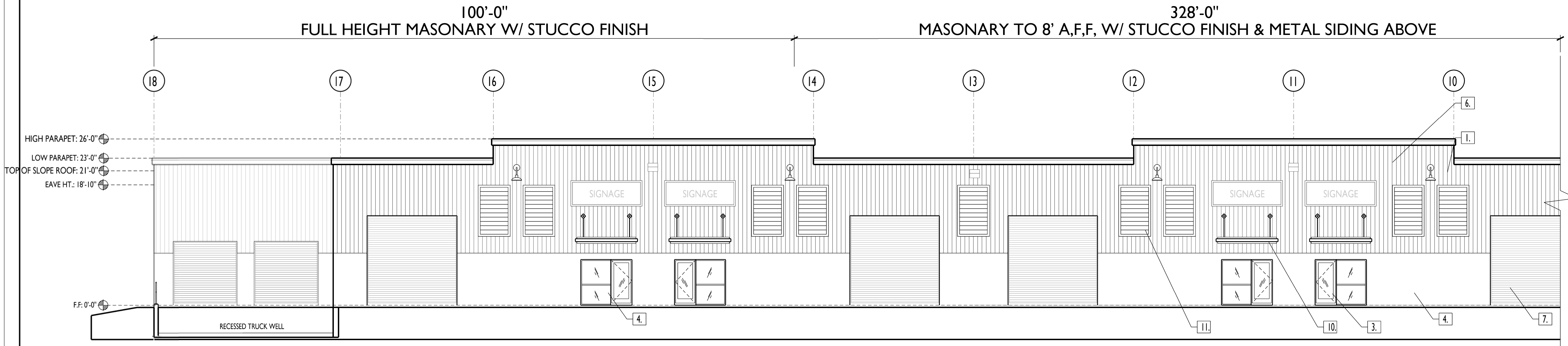
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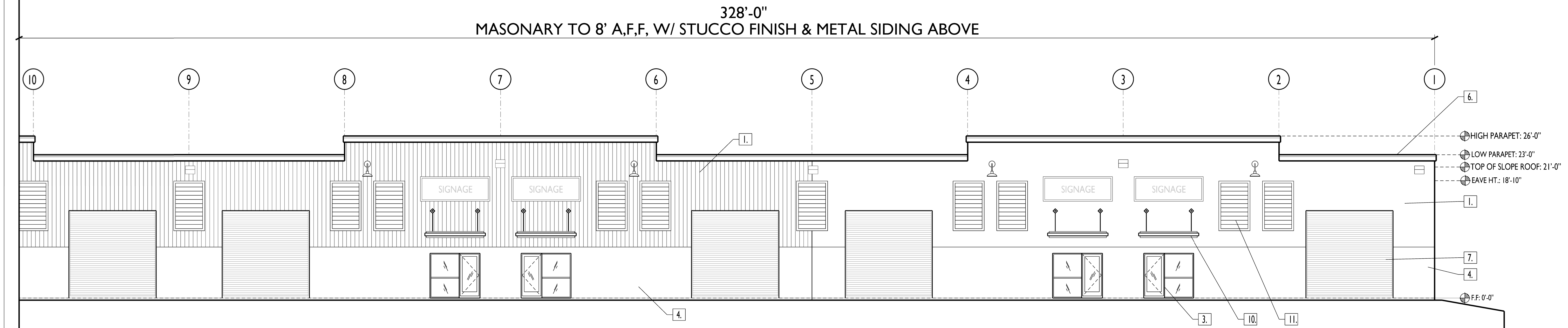
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4.	MAIN WALL (BOTTOM)	CMU W/ STUCCO	ACIER - SW-9170	32
5.	MAN DOORS	METAL	PURE WHITE - SW-7005	84
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REVISIONS



B
A8 **BUILDING ELEVATION**
WEST FACADE - SEC: B SCALE: 1/8"=1'-0"



A
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WEST FACADE - SEC: A SCALE: 1/8"=1'-0"

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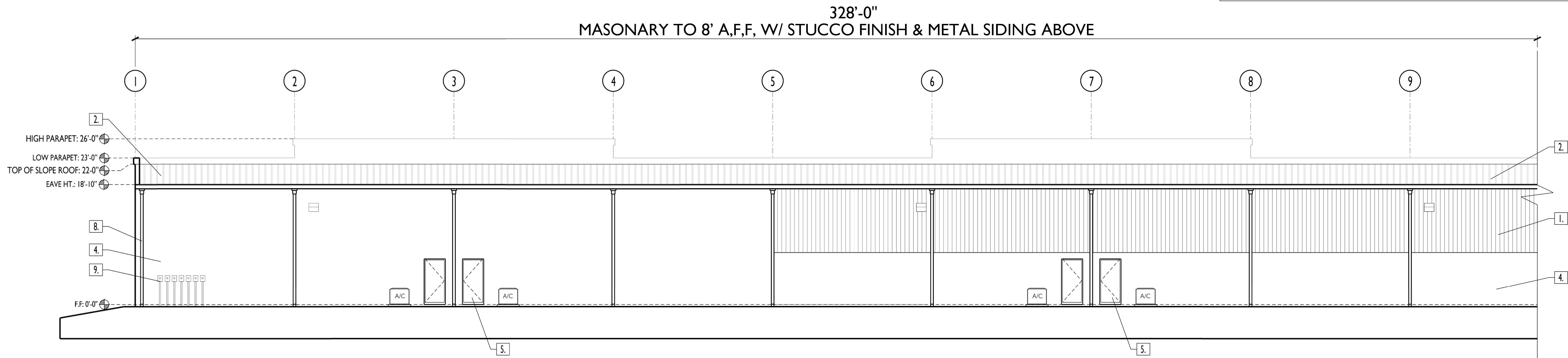
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ENLARGED PROPOSED ELEVATIONS- WEST

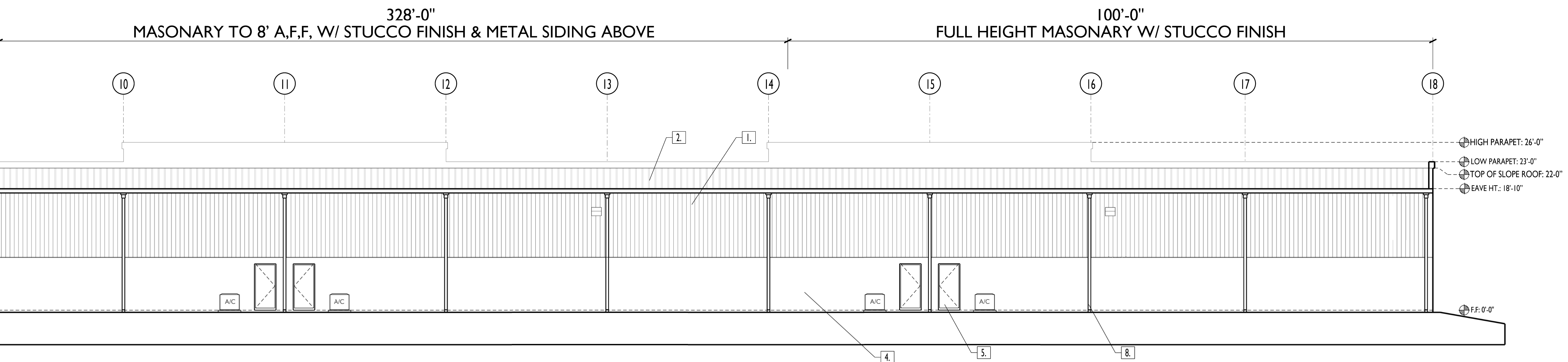
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A9 **BUILDING ELEVATION**
EAST FACADE - SEC: B SCALE: 1/8"=1'-0"



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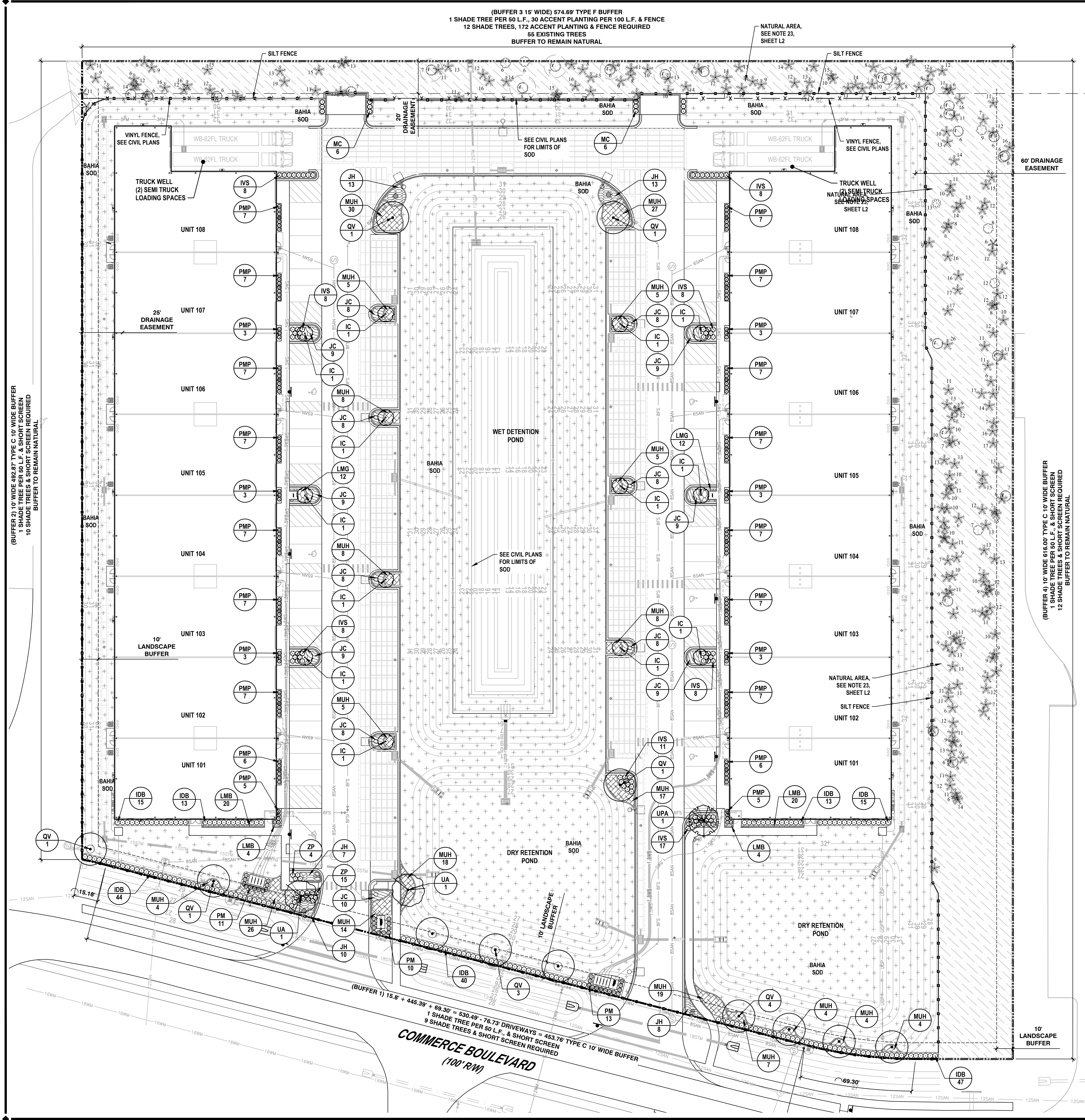
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ENLARGED PROPOSED ELEVATIONS - EAST

DATE: JANUARY 21, 2026
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 SHT NO. A9

ARCHITECT'S / ENGINEER'S SEAL



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES					
QV	12	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	2.5" CAL., 10' HT.	
UA	2	ULMUS AMERICANA	AMERICAN ELM	2.5" CAL., 10' HT.	
UPA	1	ULMUS PARVIFOLIA 'ALLEE'	ALLEE® ELM	2.5" CAL., 10' HT.	
UNDERSTORY TREES					
IC	13	ILEX CASSINE	DAHOON HOLLY	2" CAL., 6' HT.	3' C.T.
SHRUBS					
IDB	187	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	3 GAL., 24" HT. X 18" SPRD.	36" O.C.
IVS	76	ILEX VOMITORIA 'STOKES DWARF'	STOKES DWARF YAUPOON HOLLY	3 GAL., 12" HT. X 18" SPRD.	36" O.C.
MC	12	MYRICA CERIFERA	WAX MYRTLE	3 GAL., 24" HT.	36" O.C.
PM	34	PODOCARPUS MACROPHYLLUS	YEW PINE	3 GAL., 24" HT. X 6" SPRD.	36" O.C.
PMP	138	PODOCARPUS MACROPHYLLUS 'PRINGLES'	DWARF PODOCARPUS	3 GAL.	30" O.C.
ZP	19	ZAMIA PUMILA	COONTIE CYCAD	3 GAL.	36" O.C.
GROUND COVERS					
JC	120	JUNIPERUS CONFERTA	SHORE JUNIPER	1 GAL.	30" O.C.
JH	51	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	3 GAL.	36" O.C.
LMB	48	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	12" O.C.
LMG	24	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL., 12" HT	24" O.C.
MUH	218	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.	36" O.C.

BUFFER CHART	REQUIRED	EXISTING	PROPOSED	TOTAL
BUFFER 1 - 513.78' TYPE C 10' WIDE BUFFER				
PALM TREES (3:1)/(1)	0	0	0	0
SHADE TREES	9	0	9	9
SHORT SCREEN	Y	N	Y	N/A
BUFFER 2 - 492.87' TYPE C 10' WIDE BUFFER				
PALM TREES (3:1)/(3/1)	0	1	0	1
SHADE TREES	10	15	0	15
SHORT SCREEN	Y	*	*	N/A
BUFFER 3 - 574.69' TYPE F 15' WIDE BUFFER				
PALM TREES (3:1)/(1)	0	0	0	0
SHADE TREES	12	55	0	55
ACCENT PLANTS	172	**	**	N/A
BUFFER 4 - 468' TYPE C 10' WIDE BUFFER				
PALM TREES (3:1)/(1)	0	0	0	0
SHADE TREES	N/A	N/A	N/A	N/A
SHORT SCREEN	N/A	N/A	N/A	N/A
BUFFER 5 - 148' TYPE C 10' WIDE BUFFER ***				
PALM TREES (3:1)/(1)	0	0	0	0
SHADE TREES	3	0	3	3
SHORT SCREEN	Y	N	Y	N/A

BUFFER NOTES
 * BUFFER TO REMAIN NATURAL
 ** BUFFER TO REMAIN NATURAL. EXISTING VEGETATION TO COUNT TOWARDS REQUIRED ACCENT PLANTS.
 *** LANDSCAPE MATERIALS SHIFTED OUTSIDE OF BUFFER TO ACCOMMODATE DRAINAGE EASEMENT.

PARKING LOT LANDSCAPE REQUIREMENT	
VEHICLE USE AREA (MINUS TRUCK WELLS 5,027.25 SQ. FT.)	63,084
LANDSCAPE AREA REQUIRED (10%)	6,308
LANDSCAPE AREA PROVIDED (17.7%)	11,180

MINIMUM REQUIRED TREES	
SITE AREA (S.F.)	324,318
TREES REQUIRED (1/2,500 S.F. OR FRACTION THEREOF)	130
PRESERVED TREES OVER 6" DBH	226
PROPOSED TREES	28
TOTAL PROVIDED TREES	254

EXISTING TREE LEGEND

- BAY
- CEDAR
- CYPRESS
- HOLLY
- MAGNOLIA
- MAPLE
- OAK
- PALM
- PINE

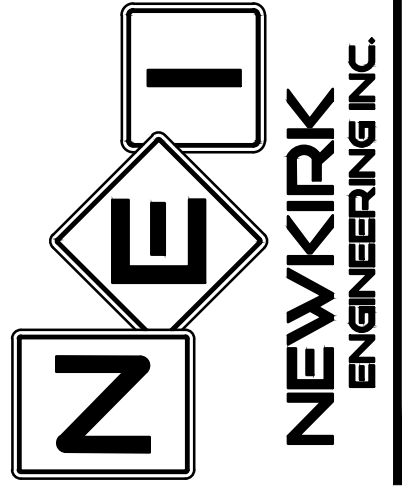
LEGEND

- BAHIA SOD
- AREA TO REMAIN NATURAL

REVISIONS

DATE	DESCRIPTION
3/31/26	CITY COMMENTS
4/21/26	CITY COMMENTS
5/6/26	CITY COMMENTS

1230 North US1, Suite 3
 Ormond Beach, Florida 32174
 Phone (386) 872-7794
 www.NewKirk-Engineering.com
 C.A. # 30209
 L.C. # 2600584
 C 2013
 Civil Engineering, CEI & Transportation, CEI & Landscape Architecture

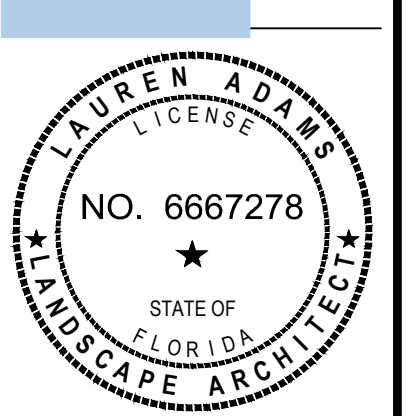


LANDSCAPE PLAN
 GPR 2
 5 COMMERCE BOULEVARD
 PALM COAST, FL 32164

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
 LAUREN ADAMS, RLA # 6667278 ON

Lauren Adams

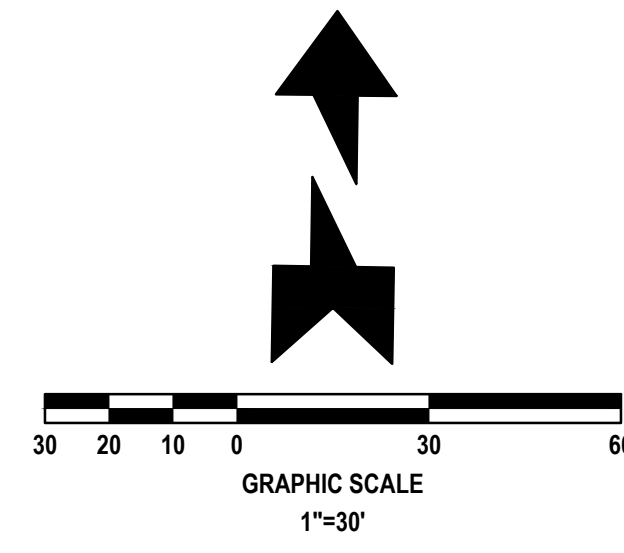


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PROJECT No: 2025-082
 DATE: NOVEMBER 2025
 DESIGN BY: LAA
 DRAWN BY: BWV
 CHECKED BY: LAA
 SCALE: 1" = 30'

DRAWING NUMBER

L1





NEWKIRK ENGINEERING, INC.

CIVIL ENGINEERING - TRANSPORTATION - CEI - LANDSCAPE ARCHITECTURE

1230 N US HWY 1, SUITE 3, ORMOND BEACH, FLORIDA 32174 386-872-7794

TRAFFIC IMPACT STATEMENT

Proposed General Light Industrial Development

GPR 2

5 Commerce Boulevard

Palm Coast, Florida

81,960 Square Feet

ITE Land Use Code 110 – General Light Industrial

1. EXECUTIVE SUMMARY

This Traffic Impact Study evaluates transportation impacts associated with the proposed 81,960 square foot General Light Industrial development located at 5 Commerce Boulevard, Palm Coast, Florida.

The development is projected to generate:

- **571 Average Weekday Daily Trips**
- **75 AM Peak Hour Trips**
- **80 PM Peak Hour Trips**

Access to the site is provided via two full-access driveways on Commerce Boulevard (100-foot right-of-way) as shown on the attached **Site Plan Layout (Sheet 09 Site Layout Plan)**.

Based on projected traffic volumes and the dual-access configuration, the development is not anticipated to significantly impact surrounding roadway operations.

2. INTRODUCTION

2.1 Purpose

The purpose of this study is to:

- Quantify site-generated traffic
- Evaluate access and circulation
- Assess operational impacts to Commerce Boulevard
- Identify potential mitigation measures, if warranted

2.2 Methodology

Trip generation was calculated using the Institute of Transportation Engineers (ITE) Trip Generation Manual, Land Use Code 110 – General Light Industrial

See attached Trip Generation Spreadsheet

Peak hour analysis reflects the peak hour of adjacent street traffic.

3. PROPOSED DEVELOPMENT

3.1 Project Description

The proposed development consists of:

- Total Building Area: **81,960 square feet**
- Industrial multi-tenant building configuration
- Zoning: IND-1 (Industrial)

See attached Site Plan 09 SITE LAYOUT PLAN

The site includes:

- Two (2) semi-truck loading wells
- Eight (8) loading spaces
- Internal loop driveway
- Employee parking areas

3.2 Site Access Configuration

- Two full-access driveways are provided on Commerce Boulevard.
- Driveways operate under stop control (R1-1 signage).
- Curb radii and internal geometry accommodate WB-62 semi-trucks.
- A continuous internal loop drive allows full circulation without reversing movements into the public roadway.

The dual-access design improves traffic distribution and operational efficiency.

See attached Site Plan 09 SITE LAYOUT PLAN

4. EXISTING CONDITIONS

4.1 Commerce Boulevard

- 100-foot right-of-way
- Industrial corridor serving adjacent IND-1 properties
- Curb and gutter cross-section
- Designed to accommodate commercial and truck traffic

4.2 Area Context

Surrounding land uses are industrial and employment-based, resulting in commuter-oriented traffic patterns consistent with the proposed development.

5. TRIP GENERATION

Trip generation is based on:

- 81,960 SF = **81.96 KSF**
- ITE Land Use Code 110 rates

Trip Generation Spreadsheet

Due to rounding conventions in ITE methodology, projected trip totals remain as previously calculated.

5.1 Weekday Average Daily Traffic

571 vehicle trips per weekday

5.2 AM Peak Hour

75 total trips

- 66 inbound
- 9 outbound

5.3 PM Peak Hour

80 total trips

- 10 inbound
- 70 outbound

Directional splits reflect typical employee arrival (AM) and departure (PM) patterns.

6. TRIP DISTRIBUTION AND ASSIGNMENT

Project traffic will distribute along Commerce Boulevard toward regional arterial connections.

Given two driveways:

- Traffic will split between access points.
- Truck movements will primarily utilize the driveway nearest loading areas.
- Passenger vehicles may utilize either access point.

Peak hour driveway volumes are estimated at approximately 40 vehicles per driveway, per peak hour.

7. TRAFFIC IMPACT ANALYSIS

7.1 Peak Hour Volume Context

Highest peak hour volume: **80 vehicles (PM peak hour)**.

With two driveways:

- Approx. 40 vehicles per driveway per peak hour.
- Equivalent to less than one vehicle per minute.

This is considered a low operational volume for an industrial collector roadway.

7.2 Operational Impact

Based on projected volumes:

- Level of Service (LOS) degradation is not anticipated.
 - Turn lane improvements are not required.
-

8. SITE ACCESS EVALUATION

8.1 Driveway Spacing and Geometry

The two driveways are adequately spaced along the Commerce Boulevard frontage

Internal radii (up to R35') and truck templates demonstrate adequate WB-62 maneuverability.

9. INTERNAL CIRCULATION AND TRUCK OPERATIONS

9.1 Truck Accommodation

The site provides:

- Two semi-truck wells
- Eight loading spaces
- Internal loop circulation
- Dedicated maneuvering space
- No backing into public right-of-way

WB-62 truck turning paths are accommodated per the Site Layout Plan

9.2 Safety and Efficiency

Loop circulation:

- Minimizes conflict points
 - Prevents dead-end movements
 - Separates truck and passenger vehicle paths where feasible
-

10. CONCLUSIONS AND RECOMMENDATIONS

10.1 Findings

The proposed 81,960 square foot General Light Industrial development will generate:

- 571 weekday daily trips
- 75 AM peak hour trips
- 80 PM peak hour trips

Based on volume magnitude and access configuration, significant traffic impacts are not anticipated.

10.2 Recommendations

No major off-site roadway improvements are warranted based solely on projected trip generation.

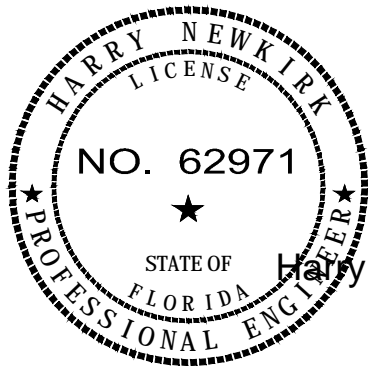
11. ENGINEER'S CERTIFICATION

I hereby certify that this Traffic Impact Study for the proposed 81,960 square foot General Light Industrial Development located at 5 Commerce Boulevard, Palm Coast, Florida, has been prepared by me or under my responsible charge.

The analyses, findings, and conclusions contained herein are based upon the information available at the time of preparation and were developed in accordance with generally accepted traffic engineering principles and practices, including the Institute of Transportation Engineers (ITE) Trip Generation methodology.

It is my professional opinion that the projected traffic impacts identified in this report have been reasonably and accurately evaluated based on the proposed development program and site plan referenced herein.

This document has been prepared for submission to the City of Palm Coast and other reviewing agencies as required for development approval.



Harry Newkirk

Digitally signed by Harry Newkirk
DN: CN=Harry Newkirk,
dnQualifier=401410C00001951A67C69C00078963,
O=NEWKIRK ENGINEERING INC., C=US
Date: 2026.02.23 17:52:26-0500

HARRY H. NEWKIRK,
P.E. FL. REG. NO. 62971

Harry Newkirk, PE 62971



See Attached Site Layout Plan and Trip Generation Spreadsheet.

GPR2
FLAGLER COUNTY, FLORIDA
ENVIRONMENTAL SUPPORT DOCUMENT

Prepared For:

St. Johns River Water Management District
Palm Bay Office
525 Community College Parkway, S.E.
Palm Bay, Florida 32909

Prepared By:



410 North Street
Unit 130
Longwood, FL 32750

February 2026

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- Figure 1: Site Location Map**
- Figure 2: Florida Land Use, Cover and Forms Classification (FLUCFCS) Map**
- Figure 3: Wetland Delineation Map**
- Figure 4: NRCS Soils Map**
- Figure 5: TOPO Map**
- Figure 6: Direct and Secondary Impact Maps**

APPENDICES

Appendix A: Conservation Area Wetland Tables:

Table 1: Project Wetland (WL) and Other Surface Water (SW) Summary

Table 2: Project On-Site Mitigation Summary

Table 3: Project Off-Site Mitigation Summary

Appendix B: Part I - Qualitative Description of Assessment / Part II - Quantification of Assessment Areas

Appendix C: GPR2 Site Plan

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

ENVIRONMENTAL SUPPORT DOCUMENT

GPR2 FLAGLER COUNTY, FLORIDA

1.0 INTRODUCTION

The subject property is ± 7.45 -acres and known as GPR2. The project site is immediately south of Palm Coast Parkway South, north of Commerce Boulevard, and west of Pine Lakes Parkway in Palm Coast, Florida. More specifically, the proposed project site is located in Sections 15 Township 11 South and Range 30 East of Flagler County, Florida (Figure 1).

The subject property uplands consist of pine flatwoods. There is a forested wetland along with a drainage easement that runs the eastern and northern boundary of the project site.

The purpose of this application is to obtain a permit for wetland impacts associated with a commercial building and stormwater management system.

This application is based on the attached site plan. The total project area for the project is ± 7.45 -acres, with wetlands totaling 1.438 acres.

The proposed wetland impacts a total of 1.438 acres and consists of one impact area. As compensation, the applicant proposes to purchase mitigation bank credits. Figure 6 depicts the proposed wetland impacts as well as the anticipated secondary impacts.

This project site is within the Pellicer Creek & Matanzas River Basin.

The project site was reviewed to determine the geological features of the landscape (e.g., soils and topography), to identify the remaining vegetative communities that occur within the project boundary, and to determine the occurrence of threatened and endangered flora and fauna within the parcel. The findings and conclusions of these studies are presented within this document.

2.0 SITE CHARACTERISTICS

2.1 TOPOGRAPHY

According to the U.S.G.S. 7.5 Minute Topographic Map, the project site has a uniform elevation at 30 feet above sea level (Figure 5). The lowest elevations are found among the wetland habitats within the property.

2.2 SOILS

Soil composition information for the subject site was obtained from the *Soils Survey of Polk County, Florida*, United States Department of Agriculture; Soil Conservation Service (Figure 4). Three (03) soil types lie within the subject site of which, one (01) soil types: Placid, Basinger, and St. Johns soils, depressional are considered hydric.

2.3 VEGETATIVE COMMUNITY ANALYSIS

Pedestrian surveys of the project site were conducted in order to qualitatively document the existing vegetation and to assess the present land use patterns according to the *Florida Land Use, Cover and Forms Classification System, Department of Transportation* (FLUCFCS; DOT 1999). Three (03) land-use types were determined for the project site. A brief description of each FLUCFCS community is provided below (Figure 2).

411 – Pine Flatwoods

The dominate habitat type is located within the project limits. The canopy is made of predominately slash pines (*Pinus elliottii*). Other vegetation consists of black berries (*Rubus fruticosus*), as well as common beggar's ticks (*Bidens alba*), Caesar weed (*Urena lobata*) and saw palmetto (*Serenoa repens*).

513 – Ditch

There is a drainage easement that runs along the northern and eastern boundary of the project site. The limits are defined by steep side slopes, no water was present during the site visit.

617 – Mixed Wetland Hardwoods

Located in the southeastern portion of the site. Canopy species consist of sweet bay (*Magnolia virginiana*), bald cypress (*Taxodium distichum*), red bay (*Persea borbonia*), and red maple (*Acer rubrum*). The shrub layer contained dahoon holly (*Ilex cassine*). The ground cover is spare due to the standing water observed cinnamon fern (*Osmundastrum cinnamomeum*) and swamp fern (*Blechnum serrulatum*) were present.

3.0 THREATENED AND ENDANGERED SPECIES

3.1 METHODOLOGY

Pedestrian and vehicular transects were conducted throughout 100% of the site to assess the occurrence, or potential for occurrence, of flora and fauna listed as threatened, endangered, or as species of special concern by the Florida Fish and Wildlife Conservation Commission (FWC) and the U. S. Fish and Wildlife Services (USFWS). Various resources were employed to assist with the survey. These resources included ArcGIS aerial maps; Florida Natural Areas Inventory and Official Lists of Endangered and Potentially Endangered Fauna and Flora in Florida (FWC).

ECS biologists searched the USFWS database at <http://endangered.fws.gov> for the presence of critical habitats within the proposed project site. There are no critical habitats within the project boundaries.

ECS will determine the potential effect of listed species utilizing the Consultation Key direct project proponents through a series of couplets that will provide a conclusion or determination for potential effects to Florida listed species. Below is the list of determinations and their descriptions.

- **No effect** - The proposed site activity will not affect a listed species or its habitat. No follow-up surveys for these species are recommended, as necessary.
- **May affect, not likely to adversely affect (MANLAA)** - The proposed action effects on listed species are expected to be discountable, insignificant, or completely beneficial. A pre-construction survey may be required to document species absence, to ensure minimization efforts are implemented (if present), or to permit the relocation of gopher tortoises through the FWC.
- **May affect** – If the potential site activity may have an effect on listed species or their habitat. Coordination with the state or federal agency may be required to mitigate the project’s effect on a listed species.
- **Jeopardy** - The appropriate conclusion when a proposed action would be expected, directly or indirectly, to reduce appreciably the likelihood of both the survival and recovery of a listed species in the wild by reducing the reproduction, numbers, or distribution of that species.

3.2 Fauna

Approximately 35 species (and sub-species) of birds found in Florida are protected by the FWC and/or the USFWS. For Polk County, the USFWS federally lists twelve (12) bird species. No listed birds were observed at this site (Table 1).

Florida scrub jays (*Aphelocoma c. coerulescens*) were not observed on the project site. This species is listed as threatened at the state and federal levels. The property does not contain scrub habitat. But there were open sandy patches of groundcover. The guidelines outlined in the *Ecology & Development-Related Habitat Requirements of the Florida Scrub Jay (April 1991)* were reviewed prior to the site visit to aid with the habitat assessment. ECS has determined that there will be **“No effect”** on Florida scrub jays or their habitat.

ECS reviewed the mapped locations of Florida scrub jays and the mapped habitat areas per Flagler County. The project is not within the mapped scrub jay habitat range or adjacent to known occupied habitat. Therefore, Flagler County likely will not require a 5-day scrub jay survey.

Red-cockaded woodpeckers (*Picoides borealis*) are listed as endangered (USFWS) and endangered (FWC). No red-cockaded woodpeckers were observed, and the upland habitat type is not suitable. There was no open pine flatwood habitat with old-growth pines that characterize RCW nesting and foraging habitat. ECS has determined that there will be **“No effect”** on Red-cockaded woodpeckers or their habitat.

Listed wading birds such as limpkin (*Aramus guarauna*), little blue heron (*Egretta caerulea*), tricolored heron (*Egretta tricolor*), wood stork (*Mycteria americana*), and white ibis (*Eudocimus albus*) were not observed. There are wetlands and surface waters present onsite.

The forested wetland does provide wading bird habitat. However, the wetlands are heavily vegetated and provide poor foraging habitat but do provide quality roosting habitat. ECS has determined that there will be **“MANLAA”** on wading birds or their habitat.

Bald eagles (*Haliaeetus leucocephalus*) or their nests were not observed on the site. Bald eagles are protected under the Bald and Golden Eagle Protection Act and the Migratory Bird Treaty Act. The USFWS has established a 660-foot protection zone around a bald eagle nest.

ECS searched the FWC website and the Audubon’s Eagle Watch website to determine if any documented bald eagle nests are within 660 feet of the project site. There are no reported bald eagle nests in close proximity to the project site. ECS did not observe any bald eagle nests anywhere within the property boundaries. Therefore, the project site is outside of the 660-foot eagle nest protection zone and the development will not affect any bald eagle nests. ECS has determined that there will be **“No effect”** on Bald eagles or their habitat.

No other listed raptors such as Southeastern American kestrels (*Falco sparverius paulus*) or Arctic peregrine falcons (*Falco peregrinus tundrius*) were observed on or around the site. There is no foraging habitat for kestrels. ECS has determined that there will be “**No effect**” on listed raptors or their habitat.

Florida sandhill cranes (*Grus canadensis pratensis*), a Threatened Species, were not observed within the project boundaries. ECS has determined that there will be “**No effect**” on Florida sandhill cranes or their habitat.

Amphibians and Reptiles

About thirty (30) species of Florida’s amphibians and reptiles are protected. For Flagler County, the USFWS federally lists ten (10) reptile species. Of the ten listed species, five are sea turtle species, which do not apply to these project sites. Only a few amphibians or reptiles could occur on this site.

The sand skink (*Neoseps reynoldsi*) is listed as threatened by both USFWS and FWC. The sand skink is primarily found in rosemary scrub, sand pine and oak scrub. Sand skinks require loose sand with a large area of no groundcover or canopy cover.

On July 31, 2020, the U.S. Fish and Wildlife Service published a revised sand and bluetail mole skink species conservation and consultation guide. The known range of the sand skink now includes Highlands, Lake, Marion, Orange, Osceola, Polk, and Putnam Counties with principal populations along the Lake Wales Ridge, the Winter Haven Ridge, and the Mount Dora Ridge.

The property is not within the sand skink consultation area, therefore no surveys will have to be occur prior to development of the subject property.

A cursory survey was conducted throughout the property for gopher tortoises (*Gopherus polyphemus*), a species listed by the FWC as a Threatened. Gopher tortoise burrows were not observed.

Several commensal species associated with gopher tortoise burrows, including the gopher frog (*Rana areolata aesopus*) and eastern indigo snake (*Drymarchon corais couperi*) also receive protection, but were not observed.

Eastern Indigo Snake

Concerning the eastern indigo snake, ECS conducted survey transects to identify potential aboveground and underground refugia, which eastern indigo snakes may inhabit. Underground refugia includes active or inactive gopher tortoise burrows, mammal burrows, hollows at the base of trees and other similar formations. Above ground refugia includes thick shrub formations, stumps, the base of thick palmetto, ground litter, brush piles, trash piles, and abandoned structures, and crevices of rock-lined ditch walls and other similar refugia.

Surveys for eastern indigo snakes are recommended by the USFWS during the time of October 1st through April 30th. There was little suitable refugia for the eastern indigo snake onsite. No eastern indigo snakes were observed. ECS has determined that there will be “**No effect**” on Eastern indigo snakes or their habitat.

The USFWS has established programmatic effect determination key (Key) as part of the eastern indigo snake management. The Key allows the USFWS to require mitigation for eastern indigo snake habitat if 25 or more acres of suitable habitat will be impacted for development.

- **A1** - The project is not located in open water or salt marsh.
- **B1** - Permit will be conditioned for use of the Service’s Standard Protection Measures for the Eastern Indigo Snake during site preparation and protection construction.
- **C1** – There are Gopher tortoise burrows, holes, cavities, or other refugia where a snake could be buried or trapped and injured during project activities.
- **D1** - The project will impact less than 25 acres of xeric habitat (scrub, sandhill, or scrubby flatwoods) or less than 25 active and inactive gopher tortoise burrows.
- **E1** - Any permit will be conditioned such that all gopher tortoise burrows, active or inactive, will be evacuated prior to site manipulation in the vicinity of the burrow. If an indigo snake is encountered, the snake must be allowed to vacate the area prior to additional site manipulation in the vicinity.

Any permit will also be conditioned such that holes, cavities, and snake refugia other than Gopher tortoise burrows will be inspected each morning before planned site manipulation of a particular area, and, if occupied by an indigo snake, no work will commence until the snake has vacated the vicinity of the proposed work.

To determine if the site has an eastern indigo snake habitat will be up to the USFWS reviewer assigned to the project.

The USFWS requires the developer to notify the local field office via email at least **30 days prior** to any clearing/land alteration activities.

The notification has to include an eastern indigo snake protection/education plan. This notification can occur via email with the protection/education plan attached.

As long as the signatory of the e-mail certifies compliance with the protection/education plan (including use of the USFWS informational poster and brochure), no further written confirmation or “approval” from the USFWS is needed and the applicant may move forward with the project.

Mammals

Thirty-three (33) mammals are currently protected in Florida. For Flagler County, the USFWS federally lists eight (8) mammal species.

None were observed on this site. We focused our search on the southern fox squirrels (*Sciurus niger niger*) and the Florida mouse (*Podomys floridanus*) and their possible den or nest sites. The presence of gopher tortoise burrows increases the likelihood of the presence of the Florida mouse. Listed mammals or their potential den sites were not observed.

3.3 Flora

There was no protected plant species found on the project site (Table 2).

Currently, there are no technical reports available by the state or federal agencies mentioned in this letter report for the survey of the nearly 400 protected plant species.

None of the agencies require relocation or mitigation for protected plant species.

The Department of Agriculture and Consumer Services (DACS) designates and regulates plants listed as “endangered,” “commercially exploited” and “threatened.”

There is no statutory prohibition against a landowner from harvesting an endangered or threatened plant from his property.

However, it is unlawful for an individual to harvest an endangered or threatened species from the private land of another or any public land without first obtaining written permission of that landowner and a permit from DACS. Additionally, harvesting three or more commercially exploited plants from the private land of another or any public land will also require a DACS permit.

3.4 REGULATORY REVIEW

U. S. Fish and Wildlife Service

The U.S. Fish and Wildlife Service (USFWS) is the federal agency responsible for protecting the nation’s fish and wildlife resources through implementation of the Endangered Species Act of 1973, as amended (“ESA”), 16 U.S.G. 1531-1543. The USFWS has responsibility for terrestrial and freshwater species. In Florida, 104 species are federally listed as threatened and endangered.

Florida Fish and Wildlife Conservation Commission

Article IV, Section 9 of the Florida Constitution authorizes the Florida Fish and Wildlife Conservation Commission (FWC) to “exercise the regulatory and executive powers in the state with regard to the wild animal life and freshwater aquatic life...” The FWC regulates the taking of individuals listed as endangered, threatened, or of special concern and their nests. The FWC also provides technical assistance to other agencies that have regulatory authority over activities which may affect fish and wildlife and their habitat. The regulatory role of the FWC is

currently restricted to protecting animals, not their habitats. However, current FWC policies allow for habitat protection as compensation for the “taking” of individuals of the species. The FWC Office of Environmental Services (OES) provides technical assistance to other agencies that regulate development activities. These agencies include the Department of Community Affairs, the Department of Environmental Protection, the U.S. Army Corps of Engineers, water management districts, regional planning councils and local governments. Currently, the FWC lists 106 species of animals.

Florida Department of Agriculture and Consumer Services

In Section 581.185, F. S., the Florida Legislature delegated to the Department of Agriculture and Consumer Services (FDA) authority to designate and regulate plants listed as “endangered,” “commercially exploited” and “threatened.” There is no statutory prohibition against a landowner from harvesting an endangered or threatened plant from its own property.

It is unlawful for an individual to harvest from the private land of another or any public land without first obtaining written permission of the landowner and a permit from the FDA. Harvesting three or more commercially exploited plants will also require an FDA permit.

4.0 WETLAND ANALYSIS

A total of sixteen wetlands are present onsite. The onsite wetlands consist of two hardwood wetland systems one of which is the largest wetland onsite as well as a small wet prairie. The remaining six are all Brazilian pepper dominated wetlands. Standing water was present in portions of the wetland hardwood habitat. As well as the onsite surface water ditches. The center of one of the Brazilian peppers dominated wetlands contained standing water (W7) but the remaining did not.

The wetlands have varying degrees of disturbance and nuisance and exotic species. Agriculture has had the biggest impact as the ditches have been designed to keep the surrounding uplands dry to increase agricultural yield.

WETLAND SUMMARY			
Wetland Name	Type	Size (Acres)	Impact (Acres)
Wetland 1	617	1.438	1.438
Wetland Totals		1.438	1.438

Wetland No. 1 (1.438 acres) in the southeastern portion of the site this wetland is forested with some nuisances and exotics. Water was present within the center of the wetland.

4.1 IMPACT AVOIDANCE AND MINIMIZATION ANALYSIS

Avoidance and minimization (reduction of wetland impacts) to the onsite wetlands cannot be achieved due to the location of wetlands within the property, upland area slated for development. Construction of structures and roadways is confined to the upland portions of the property; 1.438 acres of impacts are proposed. Avoidance of the onsite wetlands would result in the inability to construct the proposed project site. Access to the property along commerce boulevard limits where parking and stormwater can be placed onsite while providing ample space to construct the proposed project. For these reasons avoidance of wetland impacts is not possible.

4.2 Wetland Impacts

The wetland impacts associated with the proposed development are shown in Figure 6. Approximately 1.438 acres of wetland impacts are proposed.

WETLAND IMPACT	ACREAGE
Wetland 1 Impact	1.438
TOTAL	1.438

Wetland 1 Impact Area is to the entirety of Wetland 1. This wetland is isolated within the project boundary. It contains standing water in the center of the wetland. Nuisance and exotic species are present in low numbers.

Mitigation is proposed for the 1.438 acres of wetland impacts and will be compensated for by credits from a mitigation bank.

4.3 SECONDARY AND CUMULATIVE IMPACTS

The criteria within Sections 4.2.7 and 4.2.8 of the SFWMD Applicants Handbook could be reviewed to provide reasonable assurances that any proposed wetland impacts would not result in adverse secondary or cumulative impacts to the water resources associated with this project.

Secondary impacts were not assessed for the wetland 1 impact areas.

5.0 UNIFORM MITIGATION ASSESSMENT METHOD

Per subsection 373.414(18), F.S., a uniform mitigation assessment method (UMAM) was employed to determine the amount of mitigation needed to offset adverse impacts to wetlands and other surface waters and/or to award and deduct mitigation bank credits.

The standardized procedures for assessing the functions provided by wetlands and other surface waters, the amount that those functions are reduced by a proposed impact and the amount of mitigation necessary to offset wetland and surface water loss, were adhered to as outlined in Chapter 62-345.

A qualitative description, per Section 62-345.00.400, F.A.C. (referred to as Part I) and quantification of assessment areas, per Sections 62-345.500 and .600, F.A.C. (referred to as Part II) was conducted for the onsite wetland. Reasonable scientific judgment was used when applying this method.

5.1 Part I – Qualitative Description of Impact Area

The information provided on the data sheets (Appendix B) has been previously discussed in this document. Please refer to the vegetative descriptions under Section 2.3 “Vegetative Community Analysis” and Section 3.3 “Listed Species Survey Results” for detailed information as summarized on the data sheet.

5.2 Part II – Quantification of Impact Assessment Area

One (01) assessment areas were analyzed to determine the degree to which the assessment area provides the functions identified in Part I and the amount of function lost or gained by the project for the impacted jurisdictional onsite wetlands. The areas chosen represent wetland vegetation, soils and hydrology of the onsite wetland and upland buffer and include existing sub-canopy and groundcover vegetative species. The assessment area represents current conditions of the existing onsite wetland and upland buffer.

Three categories of indicators of wetland function were scored to the extent that they affect the ecological value of the assessment areas. These indicators include: 1) location and landscape support, 2) water environment and 3) community structure.

Wetland Assessment Area 1 (Wetland 1) is 1.438 acres. The current condition of the impact area was assessed and a delta of 0.567 was determined. Multiplying the delta (0.567) with the impact acreage (1.438) yielded a functional loss (FL) of 0.815. Please see the data sheet for the individual information determined for the three indicators of wetland function (Appendix B).

The functional loss for the proposed wetland impact is 0.815. More specifically, a 0.815 functional loss to forested wetland habitats.

6.0 PROPOSED MITIGATION

The loss of wetland function due to the proposed impacts can be sufficiently mitigated with the purchase of mitigation credits. The proposed mitigation plan will more than compensate for the loss of the aforementioned wetlands.

Approximately 0.815 freshwater forested UMAM mitigation bank credits will be purchased.

State forested credits will be purchased from an in-basin Pellicer Creek & Matanzas River Basin) Mitigation Bank. If no banks are available ECS will discuss out of basin bank credits with the district if applicable to this project site.

7.0 SUMMARY


As previously discussed, approximately 1.438 acres of wetland impacts are proposed for GPR2. The combined functional loss for direct impacts is 0.815.

Mitigation will be provided through the purchase of approximately 0.815 freshwater forested UMAM credits.

Once District staff has approved the credit amount, a reservation letter will be obtained from the mitigation bank and provided to District staff. An approved, in basin bank will be used for mitigation if credits are available. If no credits are available an out of basin bank request will be provided to the district.

FIGURES

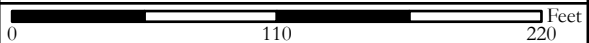



LEGEND	
	Project Boundary (±7.45 Acres)
411	Pine Flatwoods
513	Ditch
617	Mixed wetland Hardwoods

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, State of Florida, Microsoft, Vantor





11 COMMERCE BLVD
FLAGLER COUNTY, FLORIDA
FLUCFCS MAP

Project #:	943.06.24	DATE:	08/27/24	FIGURE:	2
					
Created by:	410 North Street, Suite 130 Longwood, FL 32750 Phone: (407) 869-9434 www.ecologicalconsulting.com				
CSK					



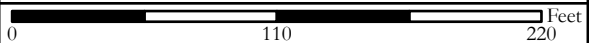

LEGEND

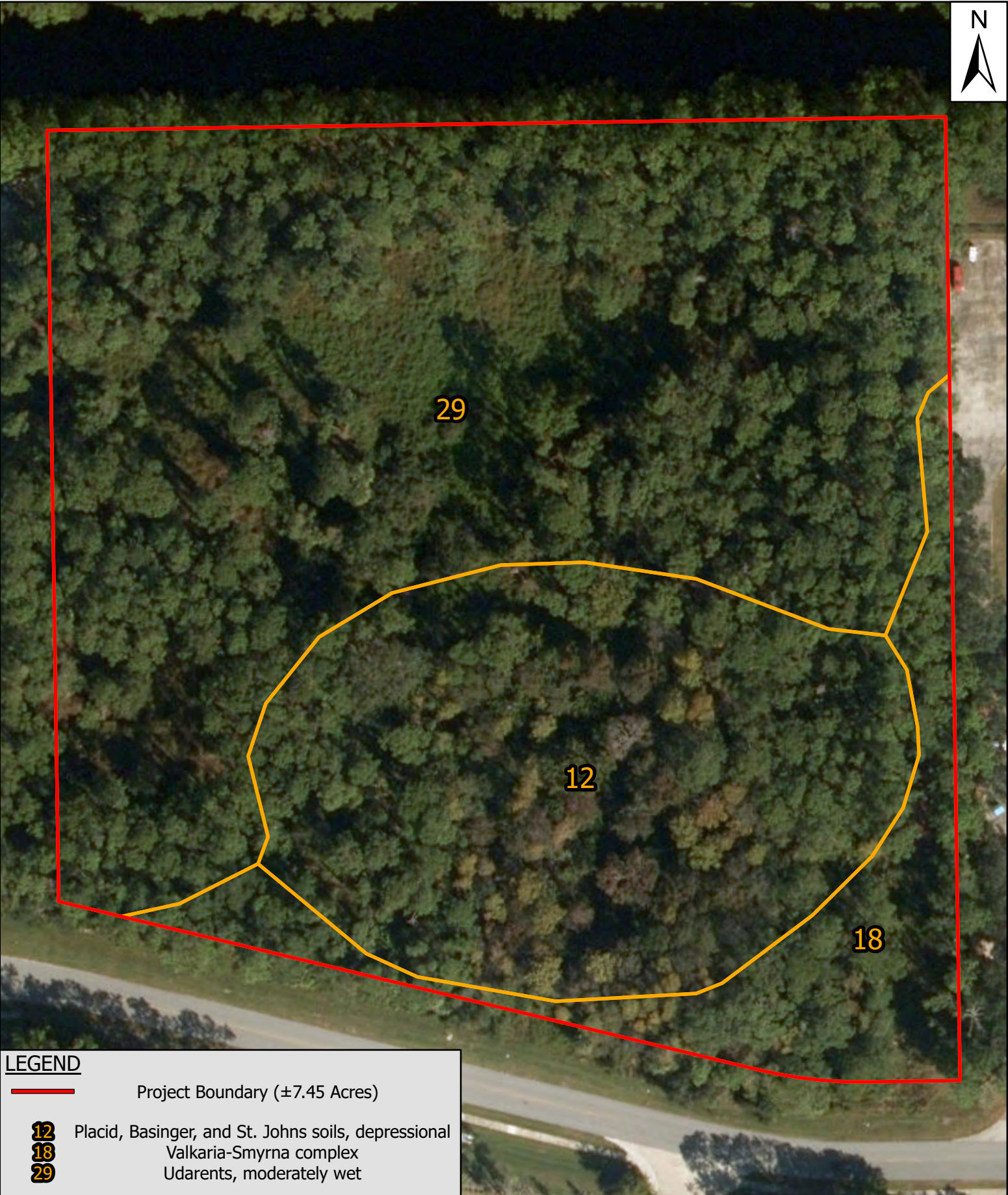
- Project Boundary (±7.45 Acres)
-  Wetland Boundary (1.438 Acres)
-  Drainage Easement





Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, State of Florida, Microsoft, Vantor



**11 COMMERCE BLVD
FLAGLER COUNTY, FLORIDA
WETLAND MAP**

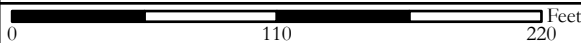

Project #: 943.06.24	DATE: 08/27/24	FIGURE: 3
		
Created by: CSK	410 North Street, Suite 130 Longwood, FL 32750 Phone: (407) 869-9434 www.ecologicalconsulting.com	



LEGEND	
	Project Boundary (±7.45 Acres)
	Placid, Basinger, and St. Johns soils, depressional
	Valkaria-Smyrna complex
	Udarents, moderately wet



GPR2
 FLAGLER COUNTY, FLORIDA
 NRCS SOILS MAP

Project #: 943.06.24	DATE: 08/01/24	FIGURE: 4
		
Created by: CSK	410 North Street, Suite 130 Longwood, FL 32750 Phone: (407) 869-9434 www.ecologicalconsulting.com	



LEGEND

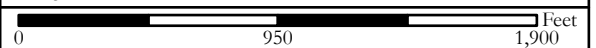
 Project Boundary
(±7.45 Acres)

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Copyright: © 2013 National Geographic Society, i-cubed



**GPR2
FLAGLER COUNTY, FLORIDA
TOPOGRAPHIC MAP**

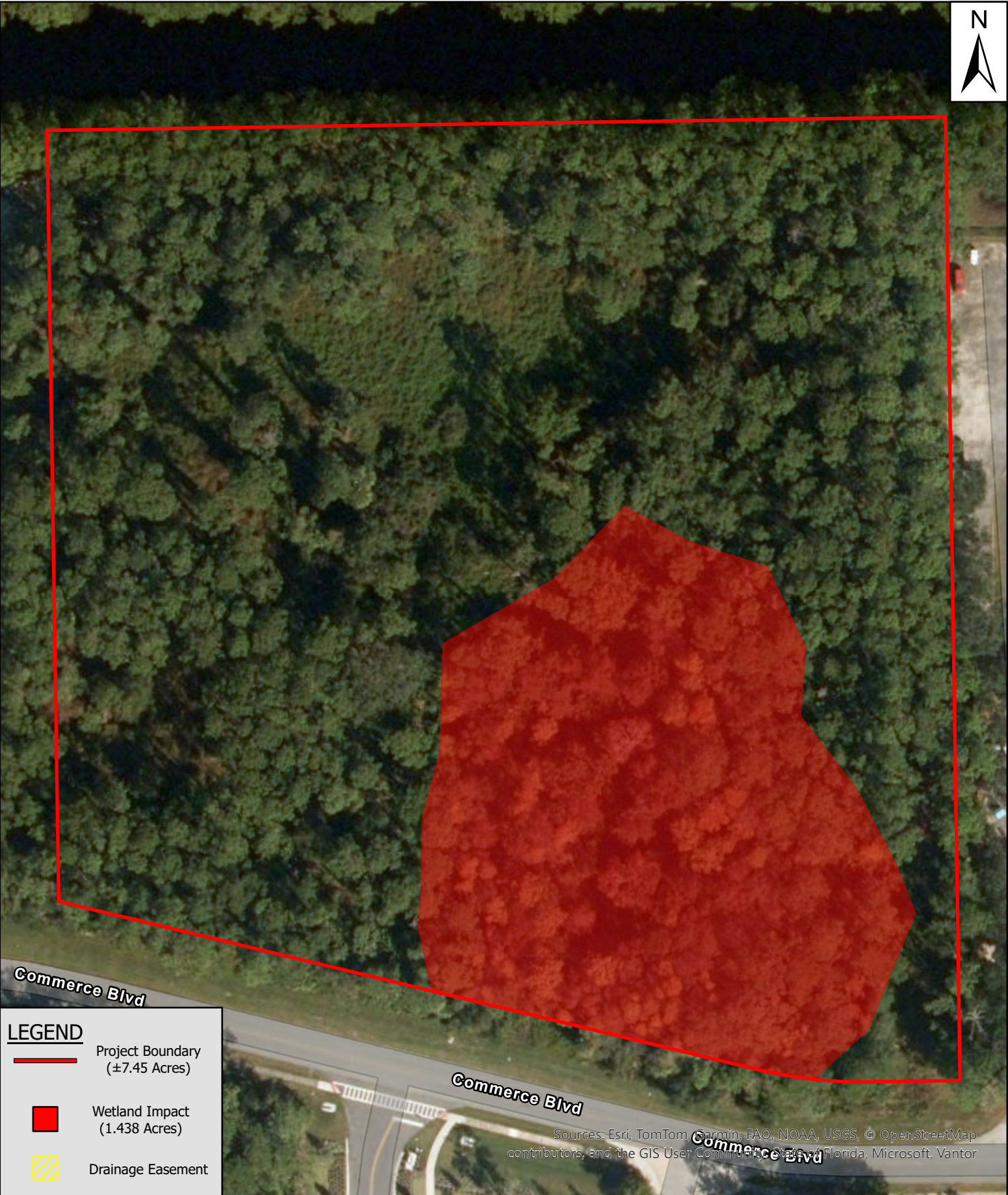
Project #: 943.06.24 DATE: 08/27/24 FIGURE: 4






Created by:
CSK

410 North Street, Suite 130
Longwood, FL 32750
Phone: (407) 869-9434
www.ecologicalconsulting.com





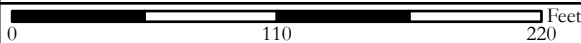

LEGEND

-  Project Boundary (±7.45 Acres)
-  Wetland Impact (1.438 Acres)
-  Drainage Easement

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, State of Florida, Microsoft, Vantor



**GPR2
FLAGLER COUNTY, FLORIDA
IMPACT MAP**

Project #: 943.06.24	DATE: 08/27/24	FIGURE: 3
		
Created by: CSK	410 North Street, Suite 130 Longwood, FL 32750 Phone: (407) 869-9434 www.ecologicalconsulting.com	

APPENDIX A

Table 1: PROJECT WETLAND (WL) AND OTHER SURFACE WATER (SW) SUMMARY

WL & SW ID	WL & SW TYPE (FLUCFCS)	WL & SW SIZE (acres)	WL& SW NOT IMPACTED	TEMPORARY WL & SW IMPACTS			PERMANENT WL & SW IMPACTS			MITIGATION ID
				WL & SW TYPE	IMPACT SIZE	IMPACT CODE	WL & SW TYPE (FLUCFCS)	IMPACT SIZE	IMPACT CODE	
W-1	617	1.438	0.00				617	1.438 acres	Fill	Credits
PROJECT TOTALS:		<u>1.438 Acres</u>	<u>0.00 Acres</u>					<u>1.438 Acres</u>		

Comments:
 CODES (multiple entries per cell not allowed):
 Wetland Type: from an established wetland classification system (see Section E, 111b.)
 Impact Type: D=Dredge; F=Fill; H=change hydrology; S=shading; C=clearing; O=other

Reviewer: _____

Table 2: PROJECT ON-SITE MITIGATION SUMMARY

MITIGATION ID	CREATION		RESTORATION		ENHANCEMENT		WETLAND PRESERVE		UPLAND PRESERVE		OTHER	
	AREA	TARGET TYPE	AREA	TARGET TYPE	AREA	TARGET TYPE	AREA	TYPE	AREA	TYPE	AREA	TYPE
PROJECT TOTALS												

CODES (multiple entries per cell not allowed):

Target Type or Type=target or existing habitat type from an established wetland classification system or land use classification for non-wetland mitigation

FROM NUMBER 40C-4.900(1)

Reviewer: _____

Table 3: PROJECT OFF-SITE MITIGATION SUMMARY

MITIGATION ID	CREATION		RESTORATION		ENHANCEMENT		WETLAND PRESERVE		UPLAND PRESERVE		OTHER	
	AREA	TARGET TYPE	AREA	TARGET TYPE	AREA	TARGET TYPE	AREA	TYPE	AREA	TYPE	AREA	TYPE
Mitigation Bank											0.815	credits
PROJECT TOTALS												

CODES (multiple entries per cell not allowed):

Target Type or Type=target or existing habitat type from an established wetland classification system or land use classification for non-wetland mitigation

APPENDIX B

PART I – Qualitative Description
(See Section 62-345.400, F.A.C.)

Site/Project Name GPR2		Application Number		Assessment Area Name or Number Wetland Impact Area 1 (W1)	
FLUCCs code FLUCFCS 617		Further classification (optional)		Impact or Mitigation Site? Impact	Assessment Area Size 1.438acres
Basin/Watershed Name/Number		Affected Waterbody (Class) Class III		Special Classification (i.e.OFW, AP, other local/state/federal designation of importance)	
<p>Geographic relationship to and hydrologic connection with wetlands, other surface water, uplands</p> <p>The subject property is ±7.45-acres and known as GPR2. The project site is immediately south of Palm Coast Parkway South, north of Commerce Boulevard, and west of Pine Lakes Parkway in Palm Coast, Florida. More specifically, the proposed project site is located in Sections 15 Township 11 South and Range 30 East of Flagler County, Florida (Figure 1).</p> <p>The subject property uplands consist of pine flatwoods. There is a forested wetland along with a drainage easement that runs the eastern and northern boundary of the project site.</p>					
<p>Assessment area description</p> <p>Wetland No. 1 (1.438 acres) in the southeastern portion of the site this wetland is forested with some nuisances and exotics. Water was present within the center of the wetland.</p>					
Significant nearby features			Uniqueness (considering the relative rarity in relation to the regional landscape.)		
The Pringle swamp is located to the north west of the property.			This impact area (wetland habitat) not unique or rare in relation to the regional landscape.		
Functions			Mitigation for previous permit/other historic use		
Provides wildlife habitat for local species, water quality from runoff			none		
Anticipated Wildlife Utilization Based on Literature Review (List of species that are representative of the assessment area and reasonably expected to be found)			Anticipated Utilization by Listed Species (List species, their legal classification (E, T, SSC), type of use, and intensity of use of the assessment area)		
reptiles, songbirds, and mammals			none found in flagler county		
Observed Evidence of Wildlife Utilization (List species directly observed, or other signs such as tracks, droppings, casings, nests, etc.):					
none					
Additional relevant factors:					
Assessment conducted by: Chris Krack			Assessment date(s): 3-April-2025		

PART II – Quantification of Assessment Area (impact or mitigation)
(See Sections 62-345.500 and .600, F.A.C.)

Site/Project Name GPR2	Application Number	Assessment Area Name or Number Wetland Impact 1 (W1)
Impact or Mitigation Wetland Impact -1.438 acres	Assessment conducted by: Chris Krack	Assessment date: 3-April-25

Scoring Guidance
The scoring of each indicator is based on what would be suitable for the type of wetland or surface water assessed

Optimal (10)	Moderate(7)	Minimal (4)	Not Present (0)
Condition is optimal and fully supports wetland/surface water functions	Condition is less than optimal, but sufficient to maintain most wetland/surface waterfunctions	Minimal level of support of wetland/surface water functions	Condition is insufficient to provide wetland/surface water functions

.500(6)(a) Location and Landscape Support	Support for wildlife species outside of Assessment Area is low. Provides little benefit, adverse impacts from upland land uses outside of Assessment Area, no connection to offsite wetlands, uplands to be developed.								
<table border="1"> <tr> <td>w/o pres or current</td> <td>with</td> </tr> <tr> <td>5</td> <td>0</td> </tr> </table>	w/o pres or current	with	5	0					
w/o pres or current	with								
5	0								
.500(6)(b)Water Environment (n/a for uplands)	No standing water was present in the AA, uplands are pasture grazed by cattle, no evidence of flow rates, no evidence of fire, nuisance and exotic species in small numbers, no wading birds observed in Assessment Area, some native desirable wetland plant species. Canopy absent, light penetration is high for herbaceous and shrubby species.								
<table border="1"> <tr> <td>w/o pres or current</td> <td>with</td> </tr> <tr> <td>5</td> <td>0</td> </tr> </table>	w/o pres or current	with	5	0					
w/o pres or current	with								
5	0								
.500(6)(c)Community structure	AA is pastureland, some desirable wetland species, some nuisance and exotic species. Adjacent uplands consist of pastureland, topo features show this as a low lying area within the project site								
<table border="1"> <tr> <td>1. Vegetation and/or</td> <td></td> </tr> <tr> <td>2. Benthic Community</td> <td></td> </tr> <tr> <td>w/o pres or current</td> <td>with</td> </tr> <tr> <td>7</td> <td>0</td> </tr> </table>	1. Vegetation and/or		2. Benthic Community		w/o pres or current	with	7	0	
1. Vegetation and/or									
2. Benthic Community									
w/o pres or current	with								
7	0								

Score = sum of above scores/30 (if uplands, divide by 20)	
current	with
0.567	0

If preservation as mitigation,
Preservation adjustment factor =
Adjusted mitigation delta =

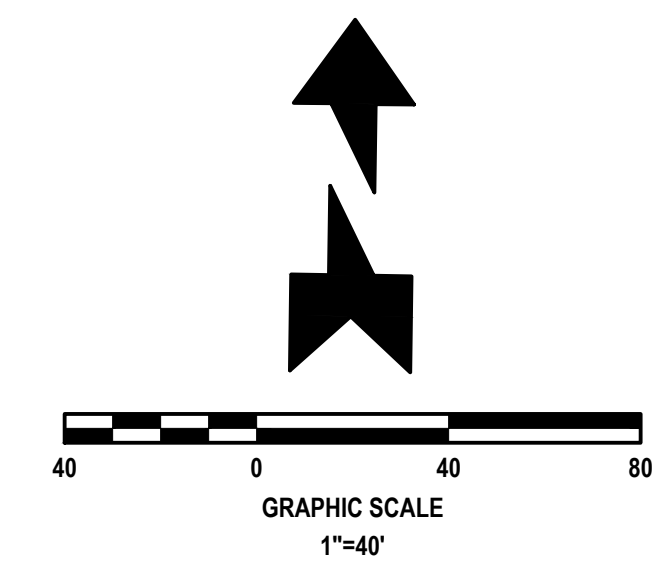
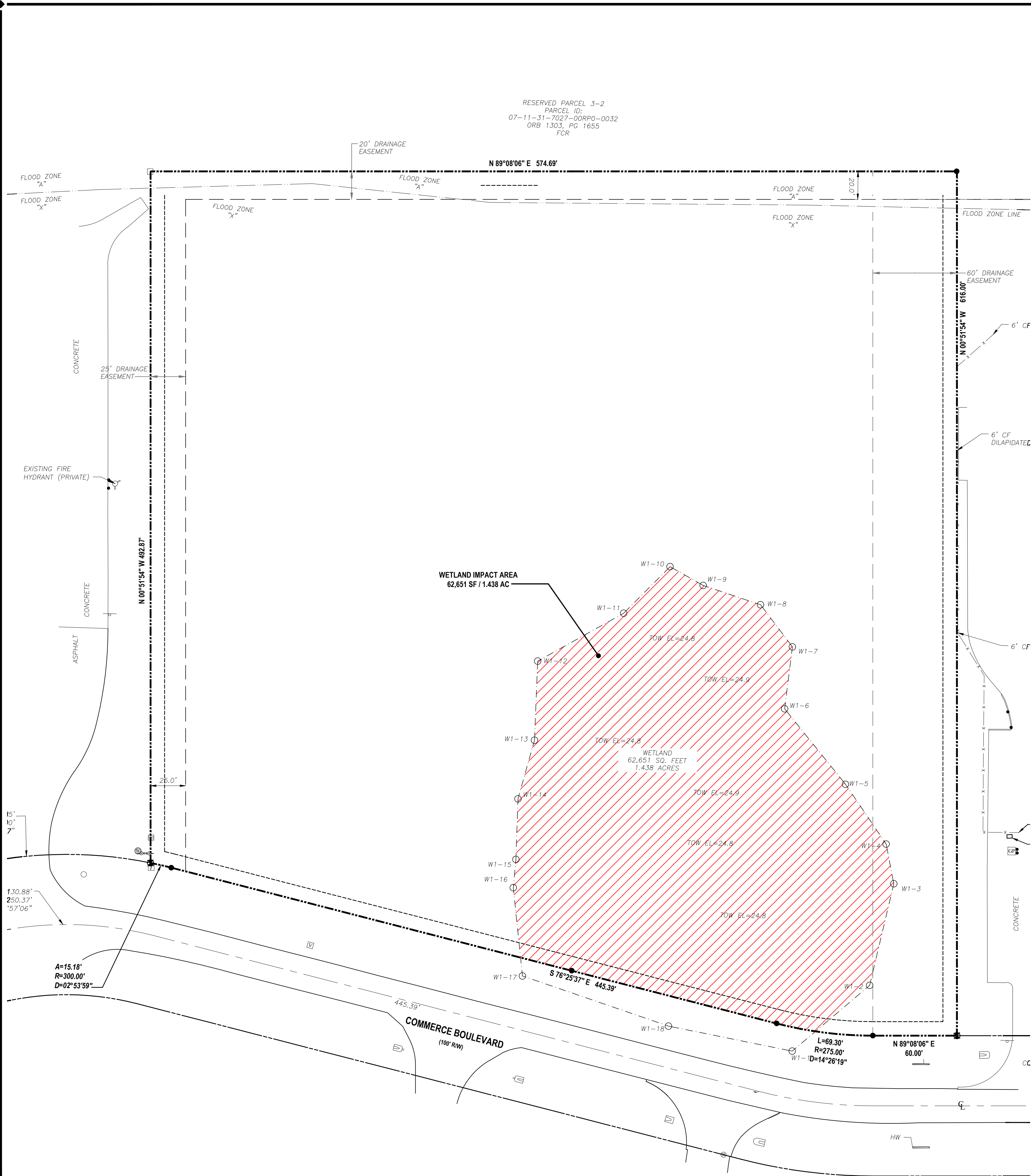
For impact assessment areas
FL = delta x acres = 0.567 X 1.438 = 0.815

Delta = [with-current]
0.56
7

If mitigation
Time lag (t-factor) =
Risk factor =

For mitigation assessment areas
RFG = delta/(t-factor x risk) =

APPENDIX C

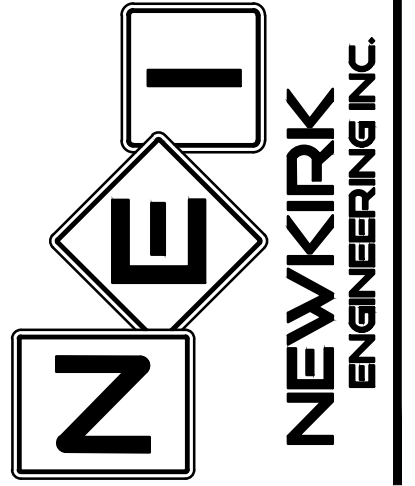


LEGEND

WETLAND IMPACT AREA
62,651 SF / 1.438 (TOTAL)

REVISIONS	
DATE	DESCRIPTION

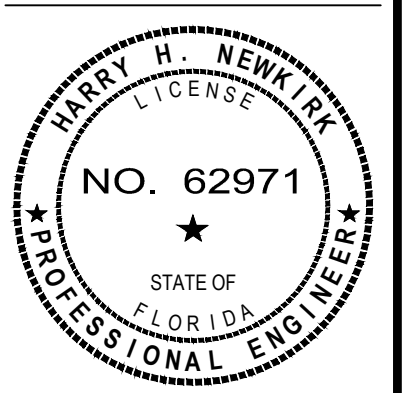
1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 872-7794
www.Newkirk-Engineering.com
C.A. # 30209
L.C. # 26000584
C 2013
Civil Engineering,
Transportation, CEI &
Landscape Architecture



WETLAND IMPACT EXHIBIT
GPR 2
5 COMMERCE BOULEVARD
PALM COAST, FL 32164

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY HARRY H. NEWKIRK, PE #62971 ON



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PROJECT No:	2025-082
DATE:	JANUARY 2026
DESIGN BY:	CAB
DRAWN BY:	CJC
CHECKED BY:	HHN
SCALE:	1" = 40'

DRAWING NUMBER
EX-1



February 11, 2026

Gary Roberts
Commercial Construction, Inc.
7 Sunshine Boulevard
Ormond Beach, FL 32174

**Re: 5 Commerce Blvd – Palm Coast
Flagler County, FL
Cultural Resource Assessment
ECS Proposal No. 943.06.24**

Dear Gary:

ECS requested a preliminary review of the Florida Master Site File (FMSF) through the Division of Historical Resources (DHR) and the State Historic Preservation Officer (SHPO) for the subject property.

The SHPO responded on February 11, 2026, that the search of the Florida Master Site File inventory showed no cultural resources recorded for the subject property located in Sections 15 Township 11 South and Range 30 East of Flagler County, Florida. Please see the attached email correspondence and map received from the SHPO.

Therefore, there are no known archaeological sites or resource groups within or adjacent to the subject property.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

ECOLOGICAL CONSULTING SOLUTIONS, INC.

Bill Griffy

Longwood Office:
410 North Street, Unit 130
Longwood, FL 32750
(407) 869-9434

Tampa Office:
419 W. Platt Street, Suite 103
Tampa, FL 33606
(813) 254-5959

ATTACHMENT A

Bill Griffy

From: Vovsi, Eman M. <Eman.Vovsi@dos.fl.gov>
Sent: Wednesday, February 11, 2026 8:55 AM
To: Bill Griffy
Subject: RE: 5 Commerce Way - Flagler County Request for TRS Search
Attachments: Template_102.pdf



IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender
Eman.Vovsi@dos.fl.gov

In response to your request of February 11, 2026, a search of the Florida Master Site File inventory shows no cultural resources recorded for the subject property located in Sections 15 Township 11 South and Range 30 East of Flagler County, Florida.

Best wishes,
E.

From: Bill Griffy <BGriffy@ecsfl.cc>
Sent: Wednesday, February 11, 2026 8:25 AM
To: Vovsi, Eman M. <Eman.Vovsi@dos.fl.gov>
Cc: Chris Krack <CKrack@ecsfl.cc>
Subject: RE: 5 Commerce Way - Flagler County Request for TRS Search

EMAIL RECEIVED FROM EXTERNAL SOURCE

The attachments/links in this message have been scanned by Proofpoint.

Hello Eman,

I am requesting a search of any known or suspected sites that may be present on the subject property that could require a cultural resource assessment.

I am working on a proposed residential development in Flagler County. The proposed development will be permitted by the St. Johns River Water Management District so a review should have been completed as part of the permitting process, however the client that I represent wants to make sure. The City of Palm Coast also requires a desk top review as part of the building permit process.

The subject property is ±7.45-acres. It is immediately south of Palm Coast Parkway South, north of Commerce Boulevard, and west of Pine Lakes Parkway in Palm Coast, Florida. More specifically, the proposed project site is located in Sections 15 Township 11 South and Range 30 East of Flagler County, Florida. Attached is a location map and aerial view of the property.

Please let me know if you need any additional information.

Bill



subject property