



Staff Report

City Commission Regular Meeting

June 11, 2026

To: City Commission
From: Lupita McClenning, Planner
Meeting Date: June 11, 2026
Item Name: Final Site Plan Application PMS26-0002: Flagler Beach Vacation Rentals, 1708 S. Ocean Shore Blvd.; Parcel ID: 18-12-32-2750-00030-0030; Applicant: Theodore Barnhill; Request for final site plan approval to construct a three-story, eight-unit, oceanfront vacation rental apartment building in the Tourist Commercial Zoning District.

Background:

At the 03/26/2026 Regular Meeting, the City Commission voted that the applicant return to the PARB Board with an amended design. The amended site plan was presented to the PARB at their 05/05/2026 Regular Meeting. The applicant made editions by relocating the parking plan from the rear to the front of the lot, with access off A1A. Additionally, edits to the building design were made by adding dormers in accordance with all new non-residential development follow appropriate design guidelines.

Fiscal Impact:

Impact fees are a one-time charge calculated by square footage for new construction and assessed during the permitting process.

Staff Recommendation:

Staff recommends the City Commission approve the final site plan with the following conditions: replace 6' wooden fence on the south side with 6' masonry fence, screen the sanitation and HVAC units, and label the rear delivery parking area.

Attachments:

1. Staff Report Final Site Plan 1708 S. Ocean Shore Blvd.
2. Flagler Beach Vacation Rentals 1708 S. Ocean Shore Blvd. Presentation 5-19-2026
3. 1708 S. OCEAN SHORE BLVD. (6)
4. 1708 S. OCEAN SHORE BLVD. S-3 (1)
5. 1708 S. OCEAN SHORE BLVD. S-2
6. 1708 S. OCEAN SHORE BLVD. S-1



City of Flagler Beach

800 South Daytona Avenue
Flagler Beach, Florida 32136
Phone 386-517-2000 Ext. 257

To: City Commission, City of Flagler Beach, FL
From: Lupita McClenning, City Planner
Date: May 6, 2026
RE: Staff Report – 1708 S. Ocean Shore Blvd. - Site Plan

Applicant: Theodore Barnhill
PO Box 390
Flagler Beach, FL 32136

Project
Address: 1708 S. Ocean Shore Blvd.
Flagler Beach, FL 32136

Parcel ID: 18-12-32-2750-00030-0030
Zoning: Tourist Commercial
FLUM: General Commercial

Overlay: None

Existing
Condition: 9,174 SQFT vacant, undeveloped lot fronting S. Ocean Shore Blvd.

Surrounding
Properties: Property to the north is a vacant, undeveloped lot zoned Tourist Commercial (TC)
Property to the east is Hwy A1A Oceanfront
Property to the south is zoned TC with adjacent use listed as multi-family
Property to the west is an existing, unimproved right-of-way, alley which abuts Single Family Residential (SFR) District

SUMMARY BACKGROUND SITE PLAN

In accordance with Section 2.02.02, the proposed parking area for guests was originally designed in the rear with access from the unimproved ROW alley; and included two parking spaces for primary access from A1A. The at the PARB regular meeting of 02/03/2026, the PARB recommended that the City Commission approve the site plan with the condition that the unimproved alley be stabilized and/or meet the City's standards for improved alleys.

At the 03/26/2026 Regular Meeting, the City Commission voted that the applicant return to the PARB Board with an amended design to include the parking area be in the front with access from A1A. The

applicant amended the final site plan to reflect the City Commission direction to relocate the rear parking to A1A. The amended site plan was presented to the PARB at their 05/05/2026 Regular Meeting.



Project Description

The applicant made editions to the design by adding dormers and relocated the parking plan from the rear to the front of the lot, with access off A1A.

- 3-story, eight (8) one (1) bedroom vacation rental/hotel
- Building 2,558 SQFT.
- Building height 34'1/2"
- Ten (10) 10x20 parking spaces including 1 ADA w/access off A1A
- Delivery parking in the rear
- Total ten (10) designated parking spaces
- 24' wide commercial access off A1A

Definitions Section 2.02.00

Hotel—Shall mean a public lodging establishment consisting of one (1) or more buildings including accessory uses properly licensed by the State of Florida which offers facilities such as:

- a. Eating and drinking facilities.
- b. One (1) or more recreation facilities.
- c. [Off-street](#) parking for each unit.
- d. Rental units exiting into internal corridors.
- e. Sleeping room with or without cooking facilities.
- f. No intention of long-term occupancy.
- g. Recognized as a [hotel](#) in the community in which it is situated, or by the industry.

Section 2.04.02.8 Tourist Commercial

The proposed project meets the permitted uses in Tourist Commercial as prescribed in Section 2.04.02.8

1. **Motels and hotels.**
2. Bed and breakfast inns.
3. Restaurants.

4. Gift shops.
5. Convenience commercial uses such as:
 - Beauty or barber shops.
 - Laundromat, laundry and dry-cleaning pick-up stations.
 - Newsstands or bookstores.
6. Off-street parking and loading.
7. Commercial recreational entertainment facilities.
8. Boat and marine supply sales.
9. Marinas.
10. Resort dwellings.
11. Resort condominiums.
12. Mixed Use Buildings within the defined Downtown A1A Retail Corridor.
13. All principal uses permitted in MDR District.

Section 8.05.02 Site Plan Approval

A major site plan is required for (c) new non-residential buildings or structures; and (h) parking lots containing more than seven (7) automobile parking spaces.

Section 8.05.05 Minimum Site Improvements

All site development plans shall reflect the installation of all improvements required in this Code, in a manner consistent with standards of this Code.

- A. Improvements include stormwater management systems, utilities, parking, and loading areas, lighting, sidewalks, and landscaping and buffering, and any other facility required by this Code.
- B. Easements and miscellaneous dedications.

Sec. 6.00.11. – Stormwater Management.

Prepared in accordance with the performance and design standards specified in the city's adopted stormwater management ordinance, and in compliance with *Section 9.04.02 Stormwater Design Criteria*, consistent with regulations and policies of the St. Johns River Water Management District (SJRWMD) and the Florida Department of Environmental Protection (FDEP).

Sec. 2.06.06.06 - Site planning design principles.

A. Purpose: Site planning and project design shall address the potential impacts on existing and planned adjacent uses. Project designs shall apply best practices as they relate to traffic planning, services (e.g. sanitation) and deliveries (if applicable), access, parking, circulation, traffic and pedestrian safety, light and glare, noise, odors, and security.

Compliance

The proposed vacation rental/hotel is compliant with applicable land development code and meets Policy A.1.1.3 and Policy 1.4.4 of the Comprehensive Plan.

Staff Recommendation

PARB recommends that the City Commission approve the Final Site Plan for 1708 S. Ocean Shore Blvd. as it is permitted use in Tourist Commercial; with the following conditions:

- That a 6' masonry wall on the south side of the property be reflected on the site plan vs a wooden fence;
- That the proper screening for sanitation and the HVAC units be reflected on the site plan; and
- That the rear delivery/parking area be labeled on the site plan.

Flagler Beach Vacation Rental Characteristics

- Attractive three story concrete block building 34 ½ feet high built off of pilings
- Eight one-bedroom apartments (544 SF to 638 SF) with great views
- Private direct ocean view balconies and Florida rooms (124 SF to 153 SF)
- 2,558 sf building foot print
- 5,490 sf total living area, 7,752 sf total area including balconies and Florida rooms
- Shared dining/lounge/ lobby area
- Shared Laundry Facilities on each floor
- New (in contrast to older motels in Flagler)
- Nicely furnished
- Relatively affordable
- Quieter (not in downtown Flagler Beach)

- The PAR Board previously reviewed this proposed project and sent it to the Flagler Beach City Council.
- The City Council expressed concerns about using the alley between 17'th and 18'th Street South to access parking in the rear of the project and sent the project back to the PAR Board.
- The site plan was revised with parking moved from the rear to the front of the building.
- The PAR Board reviewed the revised site plan and made a few recommendations for additional changes, all of which we accepted:
 - Concrete block wall on South Boundary
 - Screening for AC units
 - Signage for exiting the parking lot on to A1A.
 - Show parking in the rear of the building.

C = CONCRETE
 S = SHELL
 DG = DRIVEWAY PAVERS/GRAY GRAVEL
 D = DRY WELL
 W = WOOD DECK
 T = TRASH RECEPTACLES

100%	9,174sf	TOTAL LOT
27.02%	2,479sf	BUILDING COVERAGE
1.83%	168sf	A/C CONCRETE
10.77%	988sf	ADA CONCRETE
1.09%	100sf	TRASH CORRAL CONCRETE
40.76%	3,739sf	TOTAL NONE PERCOLATION

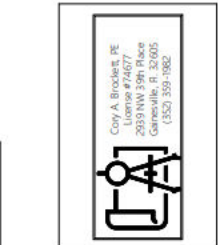
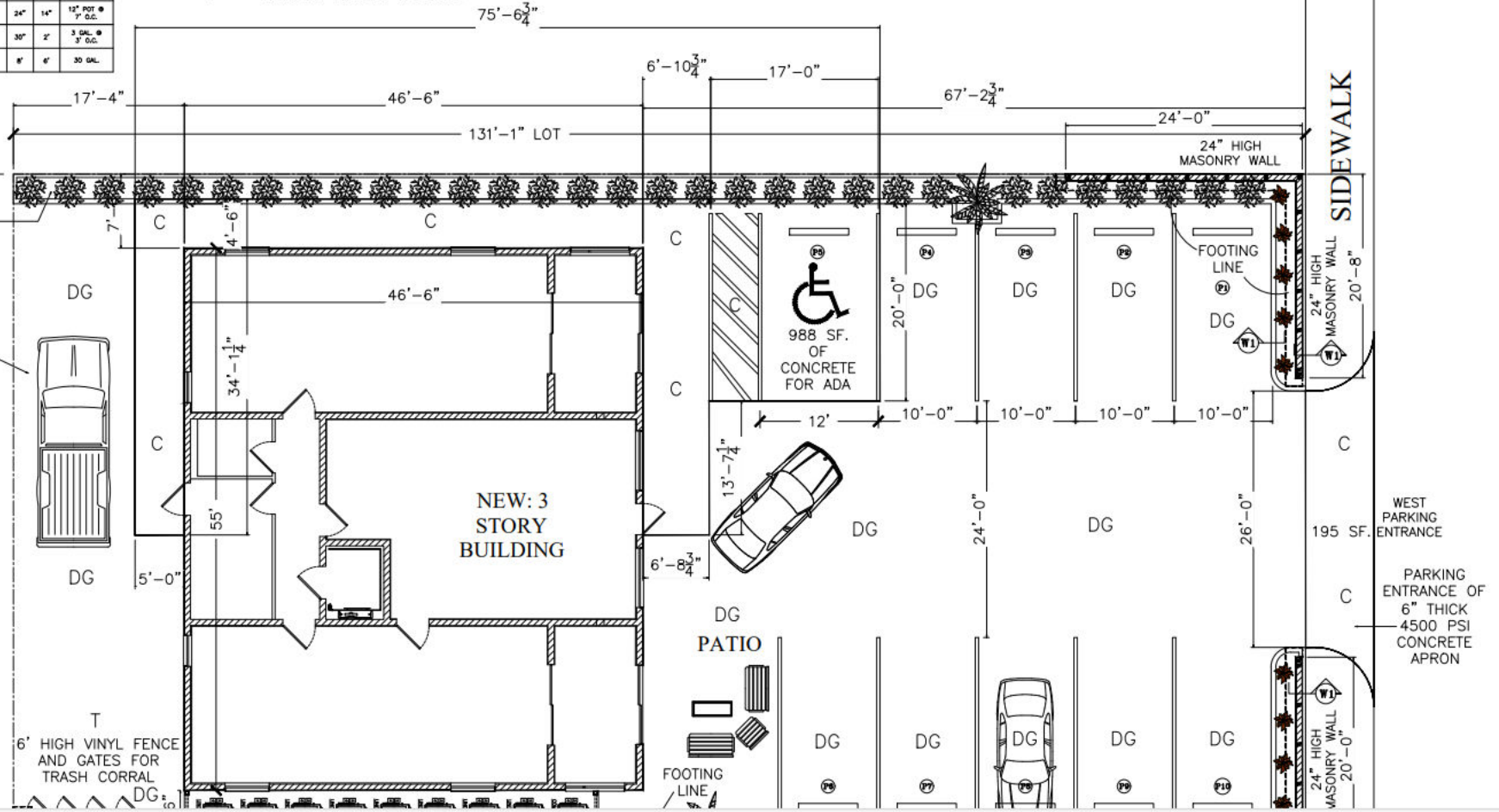
SYMBOL	QTY.	TYPE	HGT.	SPRD.	REMARKS
10		ABRYC-07 BOTANICAL-COCOSLUM VARIEGATUM COMMON NAME-GARDEN CROTON	24"	14"	12" POT @ 7" O.C.
32		ABRYC-08 BOTANICAL-RAVENIA RIBULARIS COMMON NAME-MAJESTIC PALM	30"	2'	3 GAL. @ 3" O.C.
2		ABRYC-09 BOTANICAL-SABAL PALMETTO COMMON NAME-PALMETTO PALM	8'	6'	30 GAL.



HEADER CURB AROUND
 PLANTER AREA WITH
 PLANTS & MULCH

DRIVEWAY PAVERS WITH
 OPEN CELL FILLED WITH
 GRAY GRAVEL

ALLEY
 70'



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FOR PRIORITY ATTENTION
 CALL/TEXT 386-561-8209

SEAL BOX (WIND LOADS ONLY)

HWY A1A

VACATION RENTAL
 MULTI FAMILY
 NEW CONSTRUCTION

OWNER:
TED BARNHILL
 PLAN DATE:
 5/18/2028

Location Layout Characteristics

- 1708 S. Ocean Shore Blvd. is zoned Tourist Commercial
- Residential house to south (zoned TC), vacant lot to north (zoned TC), residential house to west (zoned residential)
- Nine 10 foot by 20 foot regular and one 12 foot by 20 foot handicapped parking spaces in front of building with access from South Ocean Shore Blvd
- Rollaway garbage containers in the rear of the building.
- Lot size 9,174 sf
- Pervious 5,643 sf (59.24%) with porous sandy soil. Many ways for civil engineer to design adequate storm water management (forthcoming).
- 2,558 sf building coverage (27.02%)



FRONT EAST

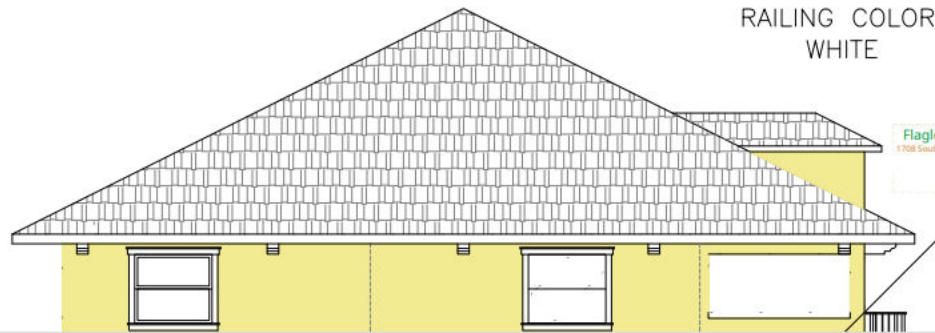
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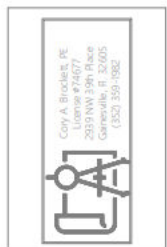
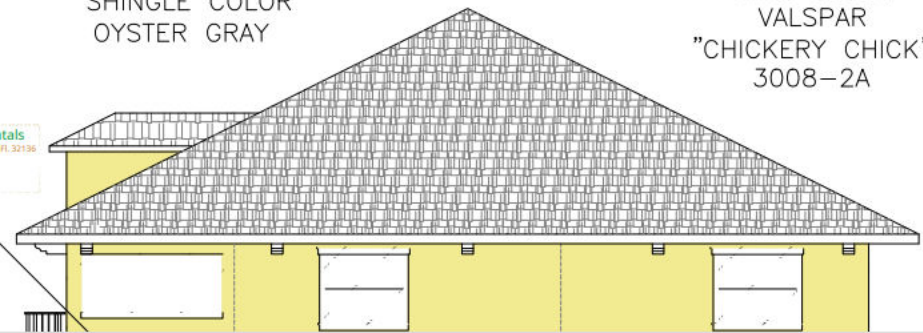
REAR WEST

SHINGLE COLOR
OYSTER GRAY

WALL COLOR
VALSPAR
"CHICKERY CHICK"
3008-2A



Flagler Beach Vacation Rentals
1708 South Ocean Shore Blvd. Flagler Beach, FL 32136
WWW.FBVR.NET
386-517-6700



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SEAL BOX (WIND LOADS ONLY)

VACATION RENTAL
MULTI FAMILY
NEW CONSTRUCTION

OWNER:
TED BARNHILL
PLAN DATE:

Summary

- The redesigned project site plan has:
 - moved the parking lot to the front of the building with access from South Ocean Shore Blvd.
 - service parking in rear.
 - added two dormers on the East side of the building to better align with City architectural guidelines.
 - added a masonry wall on the Southern boundary.
 - moved the AC units to the South building wall and screened them
- We believe the proposed project meets all land use regulations and architectural guidelines.

- Questions?

EXTERIOR PLASTERING GUIDELINES:

STUCCO INSTALLATION, PROCEDURES AND GUIDELINES

THE FOLLOWING DOCUMENT IS BASED ON THE 2020 FBC, FBCR, ASTM C926, ASTM C1063, AND OTHER APPLICATION GUIDES REGARDING STUCCO INSTALLATION, PROCEDURES AND PRACTICES. THIS DOCUMENT IS NOT ALL INCLUSIVE AND DOES NOT COVER ALL THE REQUIREMENTS FOR COMPLIANT INSTALLATION OF STUCCO. THIS DOCUMENT IS MEANT TO BE USED AS A GUIDE TO ADDRESS SOME OF THE COMMON INSTALLATION AND PROPER APPLICATION ISSUES FOUND DURING FIELD INSPECTIONS.

CONVENTIONAL STUCCO OVER MASONRY SURFACES MAY BE APPLIED WITH TWO OR THREE COATS. TWO-COAT SYSTEMS OVER MASONRY CONSIST OF FIRST COAT AND FINISH COAT = 1/8" INCH THICK; OR OVER CAST CONCRETE CONSIST OF: FIRST COAT = 1/4" INCH THICK AND FINISH COAT = 1/8" INCH THICK. THREE-COAT SYSTEMS CONSIST OF: FIRST COAT = 1/4" INCH THICK, SECOND COAT = 1/4" INCH THICK, AND FINISH COAT = 1/8" INCH THICK OVER BOTH MASONRY AND CAST CONCRETE.

WHEN REQUIRED BY ASTM C 926, SECTION 5.2.2; AN EXTERIOR BONDING AGENT, CONFORMING TO ASTM C 932, SHALL BE USED ON ALL MASONRY SURFACES. IN LIEU OF A BONDING AGENT, A DASH COAT, ROUGHING THE SURFACE, OR METAL LATH ARE ALSO ACCEPTABLE METHODS FOR BONDING.

FBC 2510.3 INSTALLATION, REFERENCES ASTM C 926 REQUIRES FORM TIES OR OTHER OBSTRUCTIONS (INCLUDING MASONRY CUT NAILS FOR CLEAN OUT OPENING FORMS) TO BE REMOVED OR TRIMMED BACK EVEN WITH THE SURFACE OF THE SOLID BASE. IN ADDITION, IF THE NAILS ARE TO BE TRIMMED FLUSH AND LEFT IN PLACE, THEY NEED TO BE CORROSION RESISTANT AS WOULD BE REQUIRED FOR LATH OR OTHER METAL ACCESSORIES, ASTM C 926 SECTION 5.2 AND C 1063 SECTION 6.

WOOD:

CONVENTIONAL STUCCO OVER WOOD SHOULD ALWAYS BE APPLIED AS A THREE-COAT SYSTEM. SCRATCH COAT = 3/8" INCH THICK, BROWN COAT = 3/8" INCH THICK, AND FINISH COAT = 1/8" INCH THICK. THE SCRATCH COAT MUST BE SCORED HORIZONTALLY ON VERTICAL SURFACES. SUCCESSIVE COATS SHOULD BE APPLIED AS SOON AS POSSIBLE AFTER THE UNDERLYING COAT HAS SUFFICIENT STRENGTH AND RIGIDITY TO RESIST DAMAGE WHEN THE NEXT COAT IS APPLIED. A MIST CURE SHALL BE MAINTAINED AS NEEDED FOR CLIMATIC CONDITIONS.

WHERE STRUCTURAL WOOD PANELS ARE USED FOR SHEATHING, A MINIMUM 1/8" INCH SEPARATION SHALL BE PROVIDED.

THE WEATHER RESISTANT BARRIER (WRB) MUST BE INSTALLED PER SECTIONS R703.6.3 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND 1404.2.1 OF THE FLORIDA BUILDING CODE. WHERE CEMENT PLASTER (STUCCO) IS TO BE APPLIED TO LATH OVER FRAME CONSTRUCTION, MEASURES SHALL BE TAKEN TO PREVENT BONDING BETWEEN THE CEMENT PLASTER AND THE WATER RESISTIVE BARRIER. A BOND BREAK SHALL BE PROVIDED BETWEEN THE WATER RESISTIVE BARRIER AND THE CEMENT PLASTER (STUCCO) CONSISTING OF ONE OF THE FOLLOWING:

- TWO LAYERS OF AN APPROVED WATER RESISTANT BARRIER MATERIAL.
- ONE LAYER OF AN APPROVED WATER RESISTANT BARRIER OVER AN APPROVED PLASTIC HOUSE WRAP, OR
- OTHER APPROVED METHODS OR MATERIALS APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

LATHING SHALL BE CONNECTED TO THE FRAMING MEMBERS 7 INCHES ON CENTER. LATH SHALL BE ATTACHED TO HORIZONTAL WOOD FRAMING MEMBERS WITH 1.5 INCH ROOFING NAILS AND TO VERTICAL WOOD FRAMING MEMBERS WITH 60 COMMON NAILS OR 1 INCH NAILS DRIVEN TO PENETRATION OF NOT LESS THAN 1/4 INCH, OR 1 INCH WIRE STAPLES DRIVEN FLUSH WITH THE PLASTER BASE. STAPLES SHALL HAVE CROWNS NOT LESS THAN 1/4 INCH AND SHALL ENGAGE NOT LESS THAN THREE STRANDS OF LATH AND PENETRATE THE WOOD FRAMING MEMBERS NOT LESS THAN 1/4 INCH. THE FASTENERS MUST PENETRATE THE WOOD FRAMING MEMBERS NOT LESS THAN 3/4 INCH AND NOT BE INSTALLED RANDOMLY IN THE WALL SHEATHING.

EXPANDED 3/8" RIB LATH SHALL BE ATTACHED TO HORIZONTAL AND VERTICAL WOOD FRAMING MEMBERS WITH NAILS OR STAPLES TO PROVIDE NOT LESS THAN 1 1/4" PENETRATION INTO HORIZONTAL WOOD MEMBERS, 1/2" PENETRATION INTO VERTICAL WOOD FRAMING MEMBERS.

LAPPING OF METAL PLASTER BASE. SIDE LAPS SHALL BE SECURED TO FRAMING MEMBERS. THEY SHALL BE TIED BETWEEN SUPPORTS WITH WIRE AT INTERVALS NOT MORE THAN 9 INCHES. LATH SHALL BE LAPPED 1/2 INCH AT THE SIDES, 1 INCH AT ENDS. WHERE END LAPS OCCUR BETWEEN THE FRAMING MEMBERS, THE ENDS OF THE SHEETS SHALL BE LACED OR WIRE TIED.

LATHING SHALL BE SELF-FURRING OR FURRED OUT FROM SOLID BASES AND COMPLY WITH ASTM C 1063, TABLE 3. MAXIMUM ON CENTER SPACING OF FRAMING MEMBERS SHALL BE NO MORE THAN 24 INCHES. LATH WEIGHT SHOULD BE MINIMUM 2.5 LB/SQYD.

LATH ACCESSORIES SHALL HAVE PERFORATED OR EXPANDED FLANGES, TO PERMIT COMPLETE EMBEDMENT IN THE PLASTER, AND BE DESIGNED TO RECEIVE THE SPECIFIED THICKNESS OF PLASTER. ACCESSORIES INCLUDE CONTROL JOINTS, EXPANSION JOINTS, CORNER BEAD, CASING BEAD (PLASTER STOP), CORNERITE, WEEP SCREED, ETC.

CONTROL JOINTS (EXPANSION AND CONTRACTION) SHALL BE INSTALLED IN WALLS TO DELINEATE AREAS NOT MORE THAN 144 SQ. FT. ON VERTICAL SURFACES AND 100 SQ. FT. ON HORIZONTAL SURFACES. THE DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET, IN EITHER DIRECTION, OR EXCEED LENGTH-TO-WIDTH RATIO OF 2-1/2 TO 1. THE ASTM STANDARD REQUIRES THE PAPER TO BE INSTALLED, CONTINUOUS, BEHIND THE JOINT MATERIAL AND THAT LATH SHALL NOT BE CONTINUOUS THROUGH CONTROL JOINTS, BUT SHALL BE STOPPED AND FASTENED (WIRE TIED) ON EACH SIDE OF THE CONTROL JOINT. ALL ACCESSORIES MUST BE INSTALLED TO RECEIVE A MINIMUM 7/8" INCH APPLICATION FOR A THREE-COAT SYSTEM OVER WOOD.

CONTROL JOINTS MUST BE CONTINUOUS THROUGH DECORATIVE BANDS OR OTHER EMBELLISHMENTS, SO THEY WILL NOT RESTRICT PANEL MOVEMENT.

TYPICAL LOCATIONS FOR CONTROL JOINTS WOULD INCLUDE: OFF CORNERS OF WINDOWS, STRUCTURAL PLATE LINES (EXPECTING MINIMAL MOVEMENT) AND JUNCTURES OF DISSIMILAR SUBSTRATES.

TYPICAL LOCATIONS FOR EXPANSION JOINTS WOULD INCLUDE: STRUCTURAL PLATE LINES (EXPECTING SIGNIFICANT MOVEMENT) AND AT STRUCTURE EXPANSION JOINTS.

ACCESSORIES AND END LAPS OF METAL LATH, WHERE THEY OCCUR BETWEEN FRAMING MEMBERS, MAY BE STAPLED OR NAILED TO THE SUBSTRATE OR WIRE TIED 9 INCHES ON CENTER FOR END LAPS AND 18 INCHES ON CENTER FOR ACCESSORIES.

AT THE INTERSECTIONS OF VERTICAL AND HORIZONTAL CONTROL JOINTS, THE HORIZONTAL CONTROL JOINT SHALL BE CUT TO FIT AND BUTTED TO THE CONTINUOUS, UNINTERRUPTED, VERTICAL CONTROL JOINT. EMBED ALL ACCESSORY ENDS, ANGLES, BUTTS, AND INTERSECTIONS IN SEALANT AT TIME OF INSTALLATION.

IN WOOD-FRAME CONSTRUCTION, ACCENT FEATURES (FOAM, ACCENT STRIPS, BANDING, AND TRIM) SHOULD BE INSTALLED OVER THE BROWN COAT, USING ADHESIVE AND MINIMUM FASTENERS PENETRATING THE STUCCO. (SEE RECOMMENDED PRACTICE SECTION)

ALTERNATIVE METHODS: (ACCENT FEATURES APPLIED DIRECTLY OVER METAL LATH)

1. ACCENT FEATURES MAY BE INSTALLED DIRECTLY OVER METAL LATH WHEN THEY ARE PROPERLY FLASHED OR THE WRB AND LATH EXTEND OVER THE ACCENT FEATURE.

2. ACCENT FEATURES MAY BE INSTALLED DIRECTLY OVER METAL LATH WHEN THEY ARE ISOLATED FROM THE STUCCO AS PRESCRIBED IN ASTM C 926, SEC. A2.3.3. THIS METHOD MAY REQUIRE A RENEWABLE BACKER-ROD AND SEALANT JOINT.

3. A PROPRIETARY DETAIL, USING SYNTHETIC STUCCO AND REINFORCING MESH.

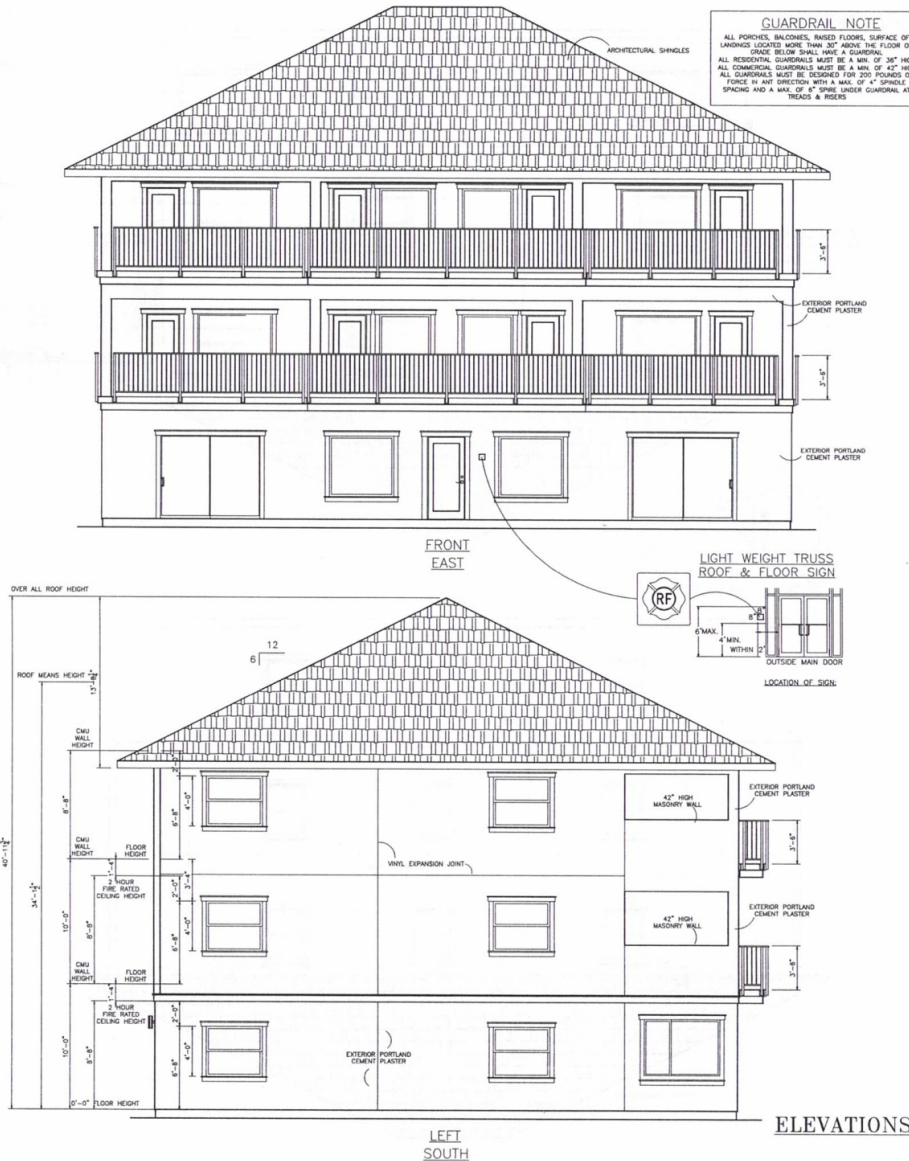
NOTE: DETAILS FOR ALTERNATIVE METHODS MUST BE SHOWN ON PLANS AND APPROVED BY THE BUILDING OFFICIAL.

THE TERMINATION OF THE STUCCO AT THE BASE OF A WOOD STRUCTURE SHALL BE PER ASTM C-926, SECTION A2.2.2.

A WEEP SCREED SHALL BE INSTALLED STANDARD 1063-08 SECTION 7.11.5. SEE BELOW FOR SECTION 7.11.5. A FOUNDATION WEEP SCREED SHALL HAVE A SLOPED, SOLID, OR PERFORATED, GROUND OR SCREED FLANGE TO FACILITATE THE REMOVAL OF MOISTURE FROM THE WALL CAVITY AND VERTICAL ATTACHMENT FLANGE, NOT LESS THAN 3.5 INCHES LONG. THE BOTTOM EDGE OF THE WEEP SCREED IS PLACED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. THE WATER RESISTIVE BARRIER AND LATH SHALL ENTIRELY COVER THE VERTICAL ATTACHMENT FLANGE AND TERMINATE AT THE TOP EDGE OF THE NOSE OR GROUND FLANGE.

RAW EARTH, GRADE SHALL BE NOT LESS THAN 4 INCHES BELOW THE NOSE OF THE WEEP SCREED. PAVED SURFACES SHALL BE NOT LESS THAN 2 INCHES BELOW THE NOSE OF THE WEEP SCREED.

ROOF LINES SHALL BE NOT LESS THAN 2 INCHES BELOW THE STUCCO TERMINATION. RECOMMENDED ALTERNATIVE



GUARDRAIL NOTE
ALL PORCHES, BALCONIES, RAISED FLOOR SURFACE OF LANDINGS LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE A GUARDRAIL.
ALL RESIDENTIAL GUARDRAILS MUST BE A MIN. OF 36" HIGH. ALL COMMERCIAL GUARDRAILS MUST BE A MIN. OF 42" HIGH. ALL GUARDRAILS MUST BE DESIGNED FOR 200 POUNDS OF FORCE IN ANY DIRECTION WITH A MAX. OF 4" SPREAD OF SPACING AND A MAX. OF 8" SPACING UNDER GUARDRAIL AT TREADS & RISERS.

Cory A. Brockett, PE
License #24677
Expiring 12/31/2025
Cory A. Brockett, PE
License #24677
Expiring 12/31/2025

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(ALL CONTRACTORS & SUB-CONTRACTORS) SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS TO THE DESIGN PROFESSIONAL OF RECORD BY THE TIME OF RECEIPT.

FOR PRIORITY ATTENTION
CALL/TEXT 386-361-8239

SEE BOX (HOW LOADS ONLY)

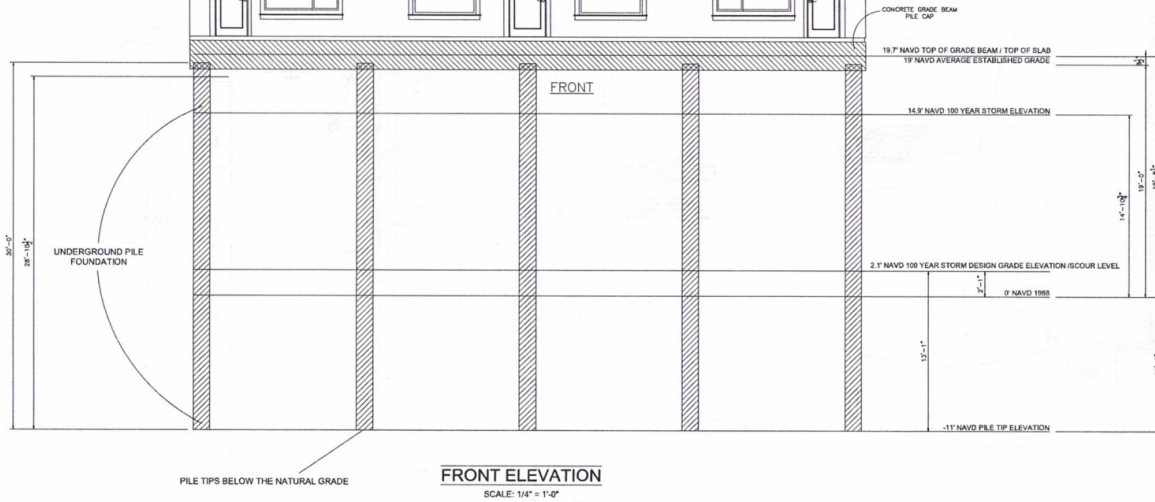
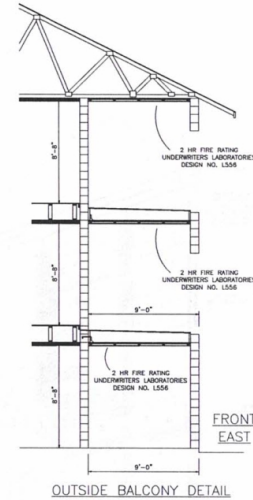
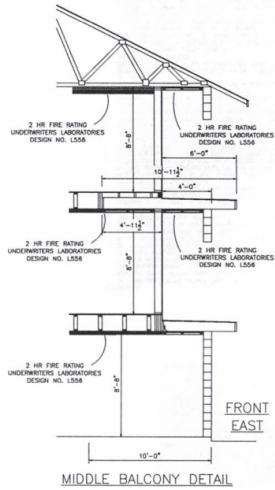
VACATION RENTAL
MULTI-FAMILY
NEW CONSTRUCTION

OWNER:
TED BARNHILL
PLAN DATE:
12/26/2025

"FLORIDA CONFORM TO" 2025 BLDG. CODE, FL. BUILDING CODE 2025 NATIONAL BLDG. CODE, 2025 IBC, 2025 IRC, 2025 ASCE 7-22, 2025 ASCE 8-22, 2025 ASCE 10-22, 2025 ASCE 11-22, 2025 ASCE 12-22, 2025 ASCE 13-22, 2025 ASCE 14-22, 2025 ASCE 15-22, 2025 ASCE 16-22, 2025 ASCE 17-22, 2025 ASCE 18-22, 2025 ASCE 19-22, 2025 ASCE 20-22, 2025 ASCE 21-22, 2025 ASCE 22-22, 2025 ASCE 23-22, 2025 ASCE 24-22, 2025 ASCE 25-22, 2025 ASCE 26-22, 2025 ASCE 27-22, 2025 ASCE 28-22, 2025 ASCE 29-22, 2025 ASCE 30-22, 2025 ASCE 31-22, 2025 ASCE 32-22, 2025 ASCE 33-22, 2025 ASCE 34-22, 2025 ASCE 35-22, 2025 ASCE 36-22, 2025 ASCE 37-22, 2025 ASCE 38-22, 2025 ASCE 39-22, 2025 ASCE 40-22, 2025 ASCE 41-22, 2025 ASCE 42-22, 2025 ASCE 43-22, 2025 ASCE 44-22, 2025 ASCE 45-22, 2025 ASCE 46-22, 2025 ASCE 47-22, 2025 ASCE 48-22, 2025 ASCE 49-22, 2025 ASCE 50-22, 2025 ASCE 51-22, 2025 ASCE 52-22, 2025 ASCE 53-22, 2025 ASCE 54-22, 2025 ASCE 55-22, 2025 ASCE 56-22, 2025 ASCE 57-22, 2025 ASCE 58-22, 2025 ASCE 59-22, 2025 ASCE 60-22, 2025 ASCE 61-22, 2025 ASCE 62-22, 2025 ASCE 63-22, 2025 ASCE 64-22, 2025 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FAGLER COUNTY - FLORIDA

FLORIDA DEP RANGE MARKER = FL R-085
 15.9' NGVD = 14.9' NAVD = 100 YEAR STORM ELEVATION
 3.1' NGVD = 2.1' NAVD = SCOUR LEVEL



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(ALL CONTRACTORS & SUBCONTRACTORS)

ANY AND ALL CONTRACTORS ISSUES "MUST BE MADE KNOWN" TO THE DESIGN PROFESSIONAL OF RECORD AT THE TIME OF RECORD AT THE TIME OF RECORD.

FOR PRIORITY ATTENTION
 CALL/TEXT 386-561-8209

SEAL BOX (WIND LOADS ONLY)

**VACATION RENTAL
 MULTI FAMILY
 NEW CONSTRUCTION**

OWNER:
TED BARNHILL

PLAN DATE:
12/26/2025

"PLAN CONFORM TO"
 2024 FBC FOR FL BUILDING CODE
 2024 NATIONAL ELEC. CODE
 2024 MECH. SYSTEMS CODE
 2024 MECH. ENERGY CODE
 2024 MECH. SAFETY CODE
 2024 MECH. STRUCTURAL CODE
 2024 MECH. PLUMBING CODE
 2024 MECH. FIRE CODE
 2024 MECH. HAZARDOUS WASTE CODE
 2024 MECH. AIR CONDITIONING AND REFRIGERATION CODE
 2024 MECH. TRANSPORTATION CODE
 2024 MECH. MARINE CODE
 2024 MECH. CONSTRUCTION CODE

ALTERNATION LEVEL: NEW
 RISK CATEGORY: 2
 WIND VELOCITY (MPH): 140
 EXPOSURE CATEGORY: 1
 INTERNAL PRESSURE: 18
 CONSTRUCTION TYPE: 1B

CORY A. BROCKETT, PE
 LICENSE #74677

LOCATION:
 1708 S. OCEAN SHORE BLVD.,
 FLAGLER BEACH, FL.
 32136

PAGE:
28

SCALE: 1" = 1' FOOT

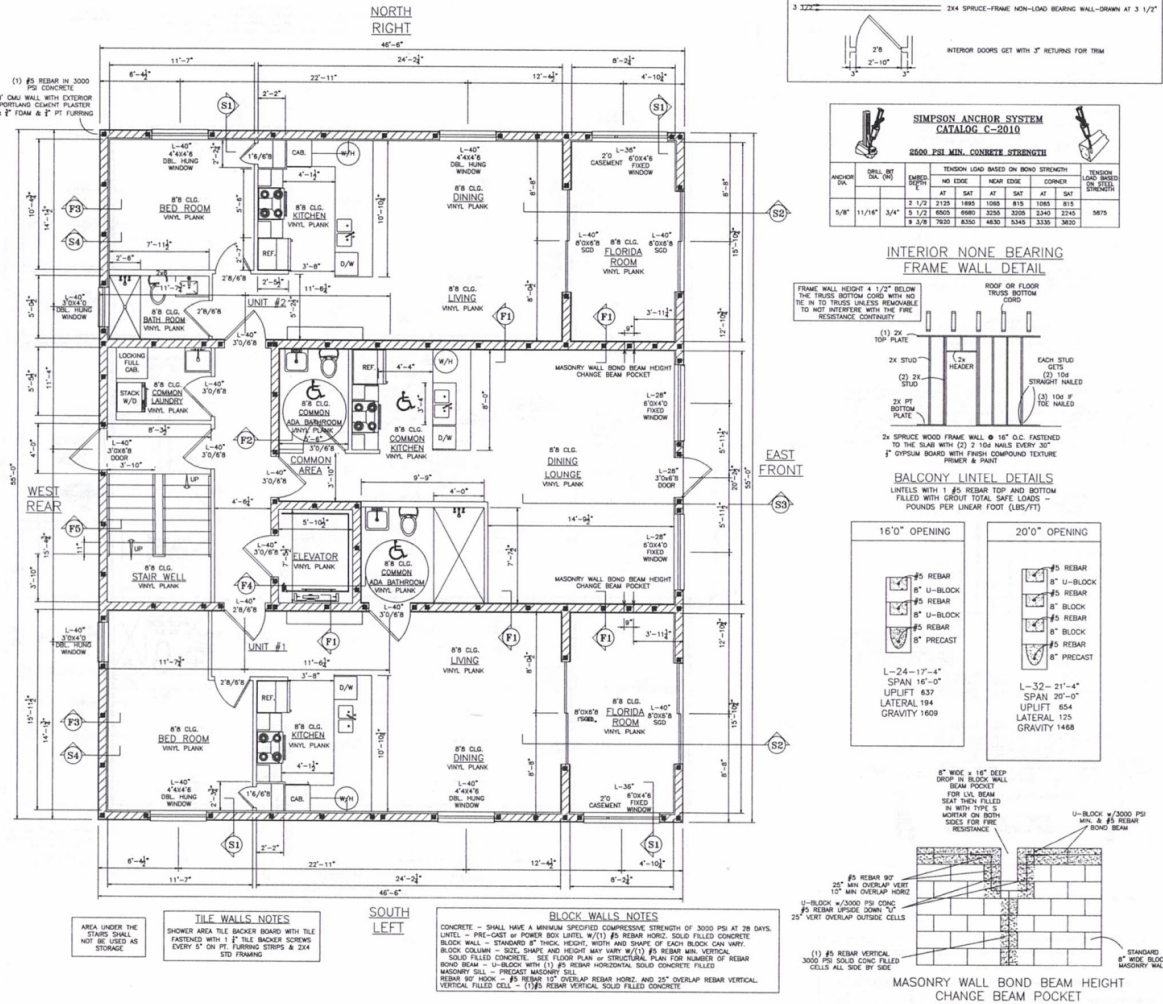
PILE FOUNDATION ELEVATION

1ST FLOOR AREA TABULATIONS	
638sf	UNIT #1 LIVING
153sf	UNIT #1 FLORIDA ROOM
638sf	UNIT #2 LIVING
153sf	UNIT #2 FLORIDA ROOM
578sf	COMMON AREA LIVING
	STORAGE AREA
	LAUNDRY ROOM
398sf	CORRIDOR
	STAIR WELL
	ELEVATOR
1,850sf	1ST LIVING TOTAL
2,558sf	1ST FLOOR TOTAL

2ND FLOOR AREA TABULATIONS	
638sf	UNIT #3 LIVING
153sf	UNIT #3 OCEAN DECK
544sf	UNIT #4 LIVING
124sf	UNIT #4 OCEAN DECK
638sf	UNIT #5 LIVING
153sf	UNIT #5 OCEAN DECK
	LAUNDRY ROOM
347sf	CORRIDOR
	STAIR WELL
	ELEVATOR
1,820sf	2ND LIVING TOTAL
2,597sf	2ND FLOOR TOTAL

3RD FLOOR AREA TABULATIONS	
638sf	UNIT #6 LIVING
153sf	UNIT #6 OCEAN DECK
544sf	UNIT #7 LIVING
124sf	UNIT #7 FLORIDA ROOM
638sf	UNIT #8 LIVING
153sf	UNIT #8 OCEAN DECK
	LAUNDRY ROOM
347sf	CORRIDOR
	STAIR WELL
	ELEVATOR
1,820sf	3RD LIVING TOTAL
2,597sf	3RD FLOOR TOTAL

TOTAL AREA TABULATIONS	
5,490sf	LIVING
7,752sf	TOTAL



Cory A. Brockett, PE
20 Lower Park Dr
Cocoa Beach, FL 32909
321.734.9186

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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODES "MUST BE MADE KNOWN" TO THE DESIGN PROFESSIONAL OF RECORD AT THE TIME OF DISCOVERY.

FOR PRIORITY ATTENTION CALL/TEXT 386-561-8209

SEA BOX (WIND LOADS ONLY)

VACATION RENTAL MULTI FAMILY NEW CONSTRUCTION

OWNER:
TED BARNHILL

PLAN DATE:
12/26/2025

ALTERNATION LEVEL: NEW

WIND VELOCITY (MPH): 140

EXPOSURE CATEGORY: B

INTERNAL PRESSURE: -10

CONSTRUCTION TYPE: 1B

CORY A. BROCKETT, PE
LICENSE #74677

LOCATION:
1708 S. OCEAN SHORE BLVD., FLAGLER BEACH, FL 32136

PAGE:
5

SCALE: 1" = 1 FOOT

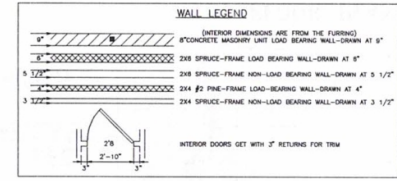
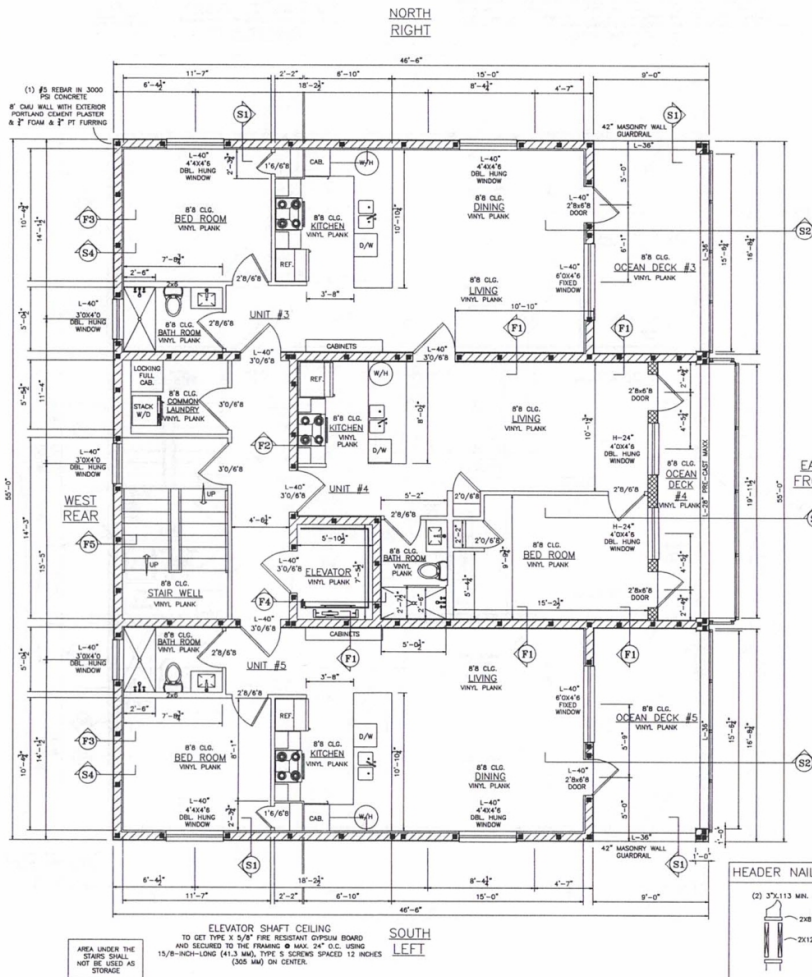
1ST FLOOR PLAN

1ST FLOOR AREA TABULATIONS	
638sf	UNIT #1 LIVING
153sf	UNIT #1 FLORIDA ROOM
638sf	UNIT #2 LIVING
153sf	UNIT #2 FLORIDA ROOM
578sf	COMMON AREA LIVING
	STORAGE AREA
	LAUNDRY ROOM
398sf	CORRIDOR
	STAIR WELL
	ELEVATOR
1,850sf	1ST LIVING TOTAL
2,558sf	1ST FLOOR TOTAL

2ND FLOOR AREA TABULATIONS	
638sf	UNIT #3 LIVING
153sf	UNIT #3 OCEAN DECK
544sf	UNIT #4 LIVING
124sf	UNIT #4 OCEAN DECK
638sf	UNIT #5 LIVING
153sf	UNIT #5 OCEAN DECK
	LAUNDRY ROOM
	CORRIDOR
	STAIR WELL
	ELEVATOR
1,820sf	2ND LIVING TOTAL
2,597sf	2ND FLOOR TOTAL

3RD FLOOR AREA TABULATIONS	
638sf	UNIT #6 LIVING
153sf	UNIT #6 OCEAN DECK
544sf	UNIT #7 LIVING
124sf	UNIT #7 FLORIDA ROOM
638sf	UNIT #8 LIVING
153sf	UNIT #8 OCEAN DECK
	LAUNDRY ROOM
	CORRIDOR
	STAIR WELL
	ELEVATOR
1,820sf	3RD LIVING TOTAL
2,597sf	3RD FLOOR TOTAL

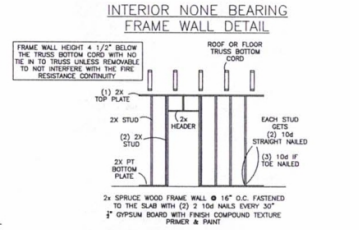
TOTAL AREA TABULATIONS	
5,490sf	LIVING
7,752sf	TOTAL



SIMPSON ANCHOR SYSTEM CATALOG C-2010

2500 PSI MIN. CONCRETE STRENGTH

ANCHOR DIA.	DEEP END DIA. (IN)	TENSION LOAD BASED ON BOND STRENGTH				TENSION LOAD BASED ON STRIP TENSILE STRENGTH	
		END EDGE	NEAR EDGE	CORNER	MIN. SPACING		
5/8"	1 1/4"	2,125	1,685	1,085	815	1,085	5875
3/4"	1 1/2"	2,800	2,200	1,400	1,050	1,400	7875
1"	1 3/4"	3,500	2,800	1,750	1,225	1,750	9875



BLOCK WALLS NOTES

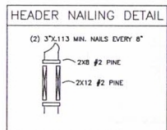
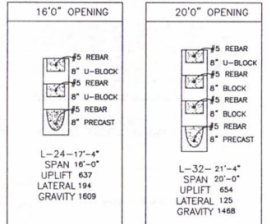
CONCRETE - SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 LINTEL - PRE-CAST OR POWER BOX LINTEL W/ (1) #5 REBAR HORIZ. SOLID FILLED CONCRETE.
 BLOCK WALL - STANDARD 8" THICK HEIGHT, WIDTH AND SHAPE OF EACH BLOCK CAN VARY.
 BLOCK COLUMN - SIZE, SHAPE AND HEIGHT MAY VARY W/ (1) #5 REBAR MIN. VERTICAL SOLID FILLED CONCRETE. SEE FLOOR PLAN FOR NUMBER OF REBAR.
 BOND BEAM - U-BLOCK WITH (1) #5 REBAR HORIZONTAL SOLID CONCRETE FILLED MASONRY FILL - PRECAST MASONRY SOL.
 REBAR 90° HOOK - #5 REBAR 12" OVERLAP REBAR HORIZ. AND 25" OVERLAP REBAR VERTICAL.
 VERTICAL FILLED CELL - (1) #5 REBAR VERTICAL SOLID FILLED CONCRETE.

TILE WALLS NOTES

SHOWER AREA TILE BACKER BOARD WITH TILE FASTENED WITH 1" P TILE BACKER SCREWS EVERY 5" ON FT. FINISHING STRIPS & 2X4 STU FRAMING.

BALCONY LINTEL DETAILS

LINTELS WITH 1 #5 REBAR TOP AND BOTTOM FILLED WITH GROUT TOTAL SAFE LOADS - POUNDS PER LINEAR FOOT (LBS/FT)



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(ALL CONTRACTORS & SUBCONTRACTORS) UNFORSEEN STRUCTURAL ISSUES "MUST BE MADE KNOWN" TO THE DESIGN PROFESSIONAL OF RECORD AT THE TIME OF DISCOVERY

FOR PRIORITY ATTENTION CALL/TEXT 388-561-8228

VACATION RENTAL
MULTI FAMILY
NEW CONSTRUCTION

OWNER:
TED BARNHILL

PLAN DATE:
12/26/2025

"FRAME CATEGORY B"
 2000 PSF BS. PL. BEARING COEFF
 2000 PSF BEARING COEFF
 2004 WPC DESIGN CRITERIA
 2004 WPC DESIGN CRITERIA
 STRUCTURALLY ADEQUATE FOR

ALTERNATION LEVEL: NEW
 RISK CATEGORY: 2
 WIND VELOCITY (DPF): 140
 EXPOSURE CATEGORY: B
 INTERNAL PRESSURE: 18
 CONSTRUCTION TYPE: IV

CORY A. BROCKETT, PE
 LICENSE #74677

LOCATION:
 1708 S. OCEAN SHORE BLVD.,
 FLAGLER BEACH, FL 32136

PAGE:
6

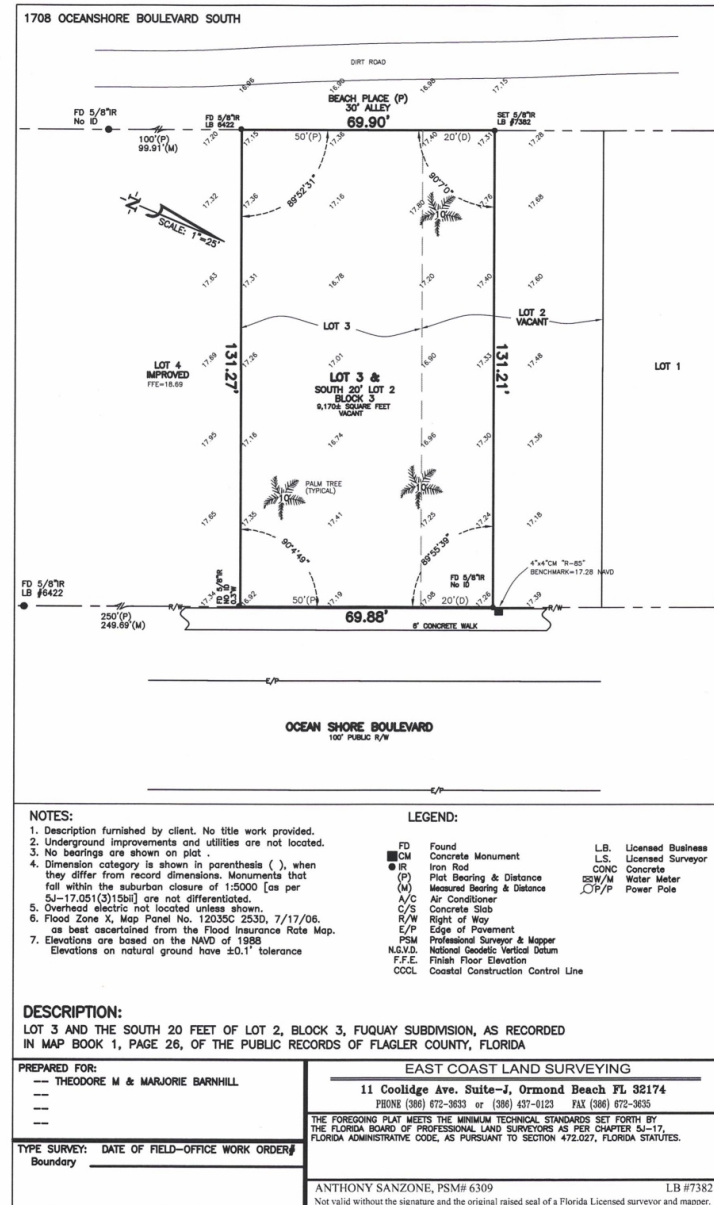
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2ND FLOOR PLAN

Flagler Beach Vacation Rental Characteristics

- Attractive three story concrete block building 34 ½ feet high built off of pilings
- Eight one-bedroom apartments (544 SF to 638 SF) with great views
- Private direct ocean view balconies and Florida rooms (124 SF to 153 SF)
- 2,558 sf building foot print
- 5,490 sf total living area, 7,752 sf total area including balconies and Florida rooms
- Shared dining/lounge/ lobby area
- Shared Laundry Facilities on each floor
- New (in contrast to older motels in Flagler)
- Nicely furnished
- Family oriented
- Relatively affordable
- Quieter (not in downtown Flagler Beach)

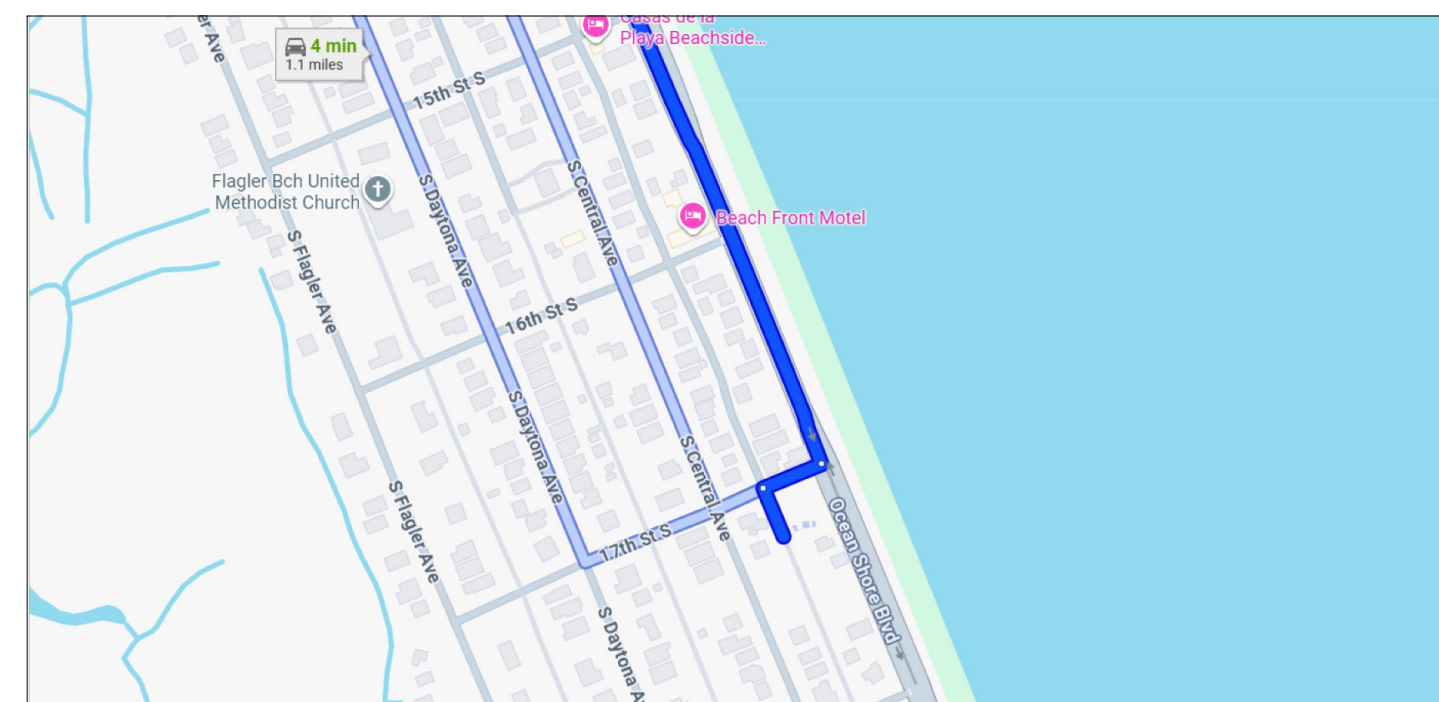
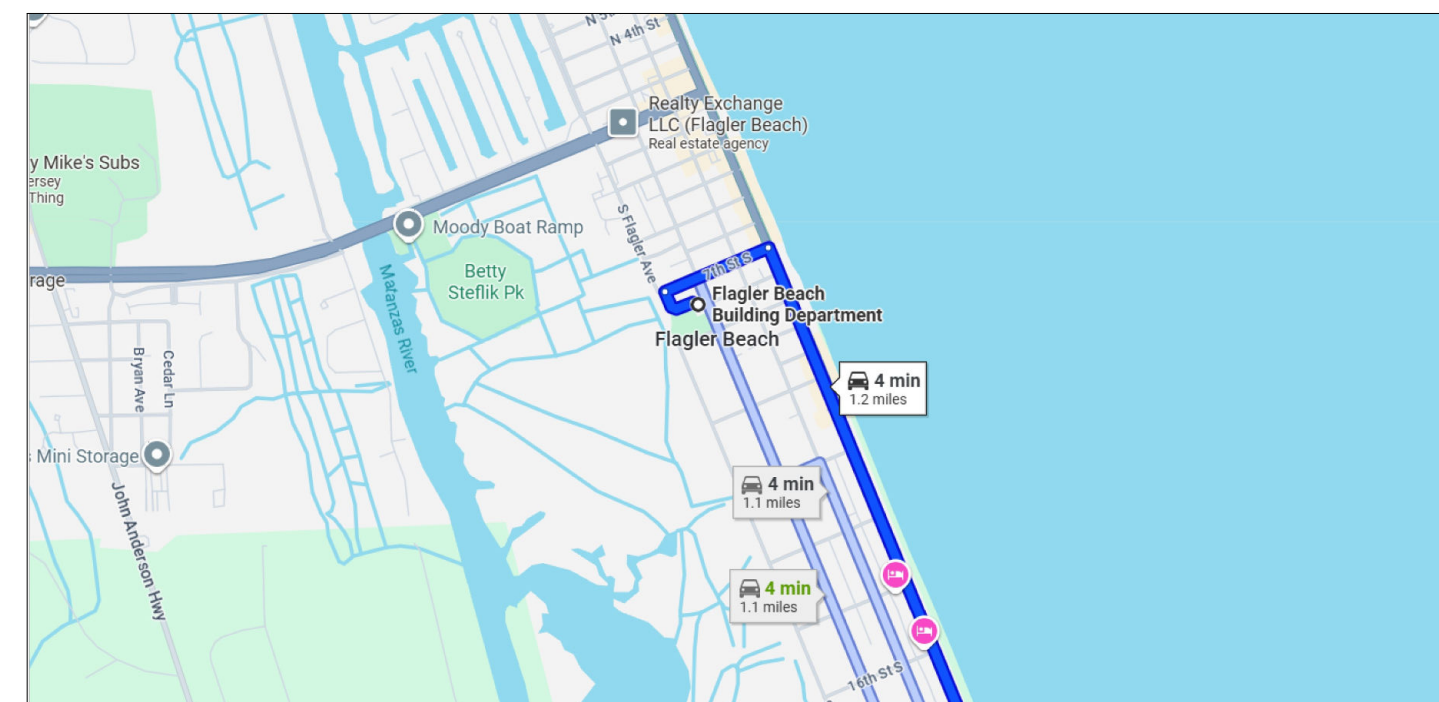
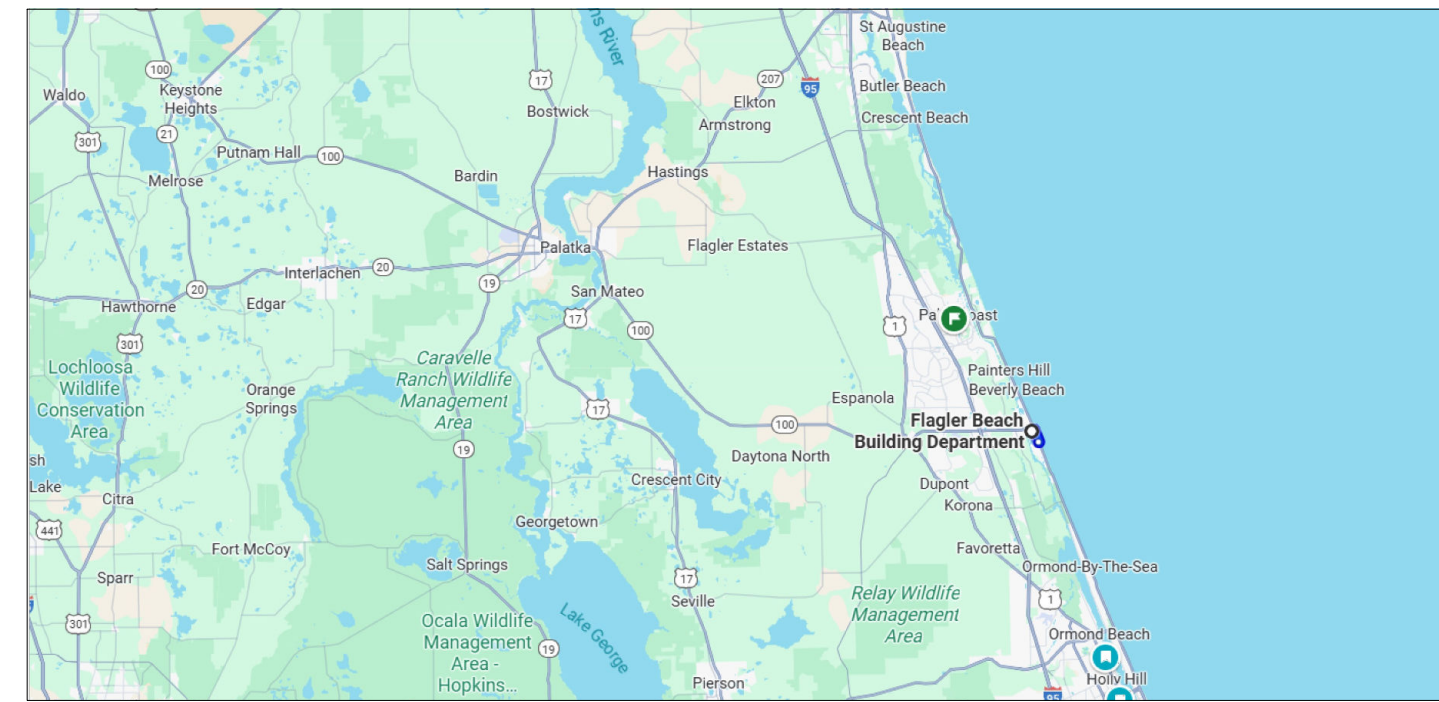
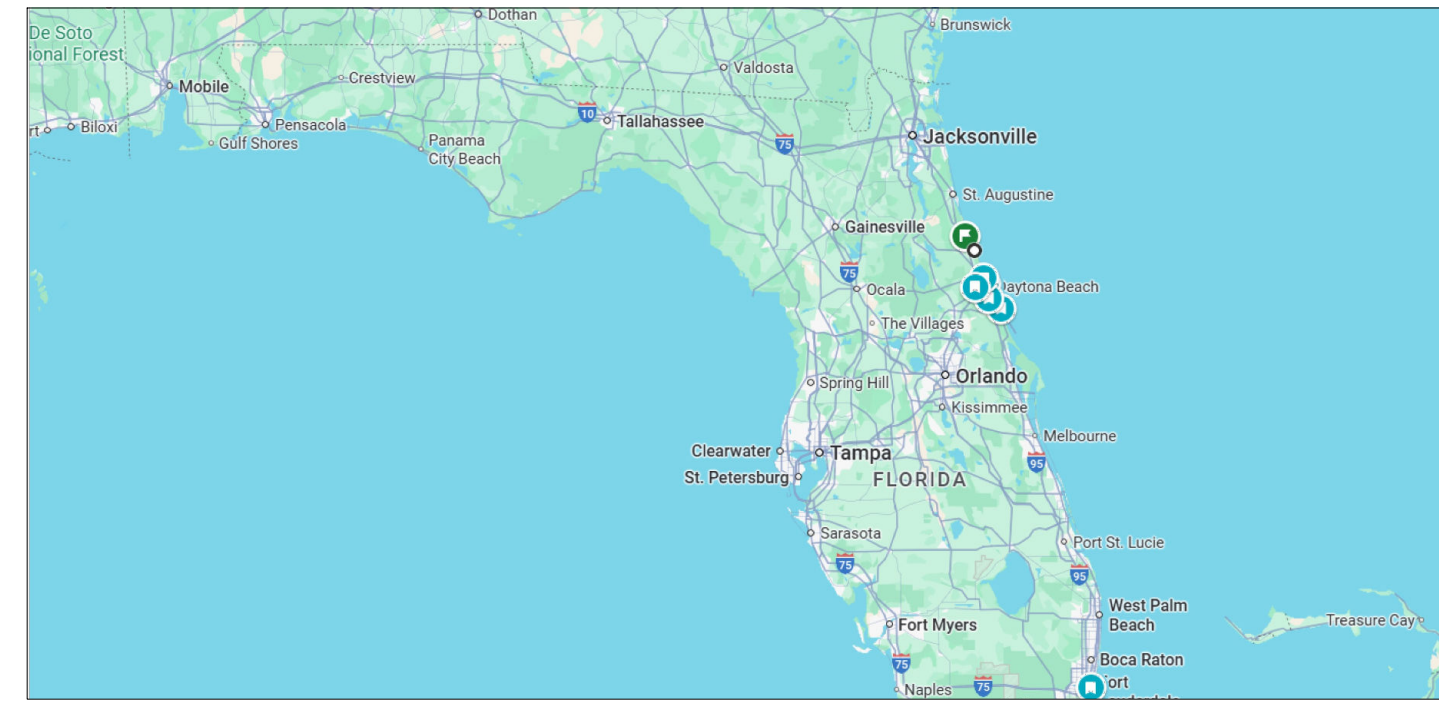
1708 S. Ocean Shore Blvd. Survey



Location Layout Characteristics

- 1708 S. Ocean Shore Blvd. is zoned Tourist Commercial
- Residential house to south (zoned TC), vacant lot to north (zoned TC), residential house to west (zoned residential)
- Nine 10 foot by 20 foot regular and one 12 foot by 20 foot handicapped parking spaces in front of building with access from South Ocean Shore Blvd
- Rollaway garbage containers in the rear of the building.
- Lot size 9,174 sf
- Impervious 973 sf (10.61%)
- Pervious 5,643 sf (61.51%) with porous sandy soil. Many ways for civil engineer to design adequate storm water management (forthcoming).
- 2,558 sf building coverage (27.02%)

LOCATION:



BOX FOR OFFICIALS USE

ALL TEXT REQUESTED TO BE PRESENTED THAT ARE NOT PRESENTED ON THESE DOCUMENTS SHALL BE REGARDED AS PRESENTED IN INITIALLY REQUIRED STATEMENT. "THESE PLANS CONFORM TO THE 2020 FLORIDA BUILDING CODE"

ABBREVIATIONS:

AB. ANCHOR BOLT	EA. EACH	M. MASTER	REQ'D. REQUIRED
ABV. ABOVE	EB. EYE BROW	MANUF. MANUFACTURER	RM. ROOM
A/C AIR CONDITIONER	ELECT. ELECTRICAL	MAX. MAXIMUM	RND. ROUND
ACI. AMERICAN CONCRETE INSTITUTE	ELEV. ELEVATION	MIN. MINIMUM	S. SHELF
AFF. ABOVE FINISHED FLOOR	EMBED. EMBEDMENT	MIRR. MIRROR	SBP. SOIL BEARING PRESSURE
AFI. ARC FAULT INTERRUPT	EW. EACH WAY	MJ. MECHANICAL JOINT	SD. SMOKE DETECTOR
AH. AIR HANDLER	EXT. EXTERIOR	MONO. MONOLITHIC	SECT. SECTION
ALUM. ALUMINUM	FRC. FLORIDA BUILDING CODE	MPH. MILES PER HOUR	SF. SQUARE FOOT
AMP. AMPERE	FIN. FINISH	MWFRS. MAIN WINDS FORCE RESISTING SYSTEM	SGD. SLIDING GLASS DOOR
APA. THE ENGINEERED WOOD ASSOCIATION	FIX. FIXTURE	NA. NOT APPLICABLE	SH. SINGLE HUNG
ASCE. AMERICAN SOCIETY OF CIVIL ENGINEERS	FG. FIXED GLASS	NDS. NATIONAL DESIGN SPECIFICATION	SPEC. SPECIFICATIONS
ATR. ALL THREADED ROD	FLR. FLOOR	NIC. NOT INCLUDED	SPP. SPRUCE PINE FIR
B. BOTTOM	FOUND. FOUNDATION	NO. NUMBER	SQ. FT. SQUARE FOOT
BFF. BELOW FINISH FLOOR	FOOT. FOOTING	NTS. NOT TO SCALE	SW. SWITCH
BLK. BLOCK	FWC. FOR WOOD CONSTRUCTION	OBS. OBSCURED	SWC. SHEAR WALL CONNECTOR
BOT. BOTTOM	GA. GYPSUM ASSOCIATION	OH. OVERHEAD DOOR	SWS. SHEAR WALL SEGMENT
BRG. BEARING	GAL. GALLON	OSB. ORIENTED STRAND BOARD	SYP. SOUTHERN YELLOW PINE
C+ C COMPONENTS AND CLADDING	GALV. GALVANIZED	PRESS. PRESSURE	T. TOP
CANT. CANTILEVER	GBR. GLASS BLOCK	PARA. PARALLEL	T&G. TONGUE AND GROOVE
CIR. CIRCLE	GDR. GIRDER	PL. PRECUT LINTEL	TEMP. TEMPERED
CLG. CEILING	GFI. GROUND FAULT INTERRUPT	PL. PRECUT LINTEL	THK. THICK
CMU. CONCRETE MASONRY UNIT	GLS. GLASS	PED. PEDESTAL	T-NAIL. TOENAIL
CO. CLEAN OUT	GYP. GYPSUM	PERP. PERPENDICULAR	TV. TELEVISION
COL. COLUMN	HR. HOSE BIB	PK. POCKET	TYP. TYPICAL
COMP. COMPACTED	HDR. HEADER	PLA. PLATE	U. URINAL
COND. CONDENSER	HGT. HEIGHT	PB. PLUMBING	UL. UNDERWRITERS LABORATORIES INC.
CONT. CONTINUOUS	HOR. HORIZONTAL	PW. PLYWOOD	UNO. UNLESS NOTED OTHERWISE
CPT. CARPET	HT. HEIGHT	PREF. PREFABRICATED	USG. UNITED STATES GYPSUM COMPANY
4. DOUBLE	HVAC. HEAT VENT. + COND.	PSF. POUNDS PER SQUARE FOOT	V. VOLTS
DBL. DOUBLE	INCAND. INCANDESCENT	PSI. POUNDS PER SQUARE INCH	VENT. VENTILATED
DECOR. DECORATIVE	INSUL. INSULATION	PT. PRESSURE TREATED	VIN. VINYL
DET. DETAIL	KD. KILN DRIED LUMBER	PVC. POLYVINYL CHLORIDE	VOL. WASHER
DH. DOUBLE HUNG	L. LAVATORY	Q. QUANTITY	W. WITH
DIA. DIAMETER	LBS. POUNDS	R. ROD	WC. WATER CLOSET
DISC. DISCONNECT	LL. LIVE LOAD	RECEPT. RECEPTACLE	WD. WOOD
DL. DEAD LOAD	LT. LAUNDRY TUB	REF. REFERENCE	WH. WATER HEATER
DR. DOOR	LVL. LAMINATED VAINER LUMBER	REFD. REINFORCED	TWH. TANKLESS WATER HEATER
DRY. DRYER		RES. RESIDENCE	WC. WELDED WIRE FRAME

LEGEND & SYMBOLS:

■ #5 DIA. ROD IN FILLED CELL	⊕ DUPLEX REC.	⊕ WATER CLOSET
▬ 2X4 FRAME WALL	⊕ 220 VOLT REC.	⊕ LAVATORY
▨ 8" CMU WALL	⊕ WEATHER PROOF REC.	⊕ KITCHEN SINK
▨ INTERIOR BEARING WALL	⊕ GROUND FAULT CIRCUITS INTERRUPTER REC.	⊕ LAUNDRY TUB
▬ PRECAST LINTEL	⊕ SWITCHED REC.	⊕ BATH TUB AND SHOWER
▬ CARPET TO TILE TRANSITION	⊕ SWITCH	⊕ CORNER TUB
▬ REFER TO DETAIL SHEET	⊕ 3 WAY SWITCH	⊕ SHOWER
▬ PRECAST COMPOSITE LINTEL SIZE	⊕ 4 WAY SWITCH	⊕ WASHING MACHINES
▬ 1x14" FRAME HEADER SIZE	⊕ INCAND. CEILING FIX.	⊕ WATER HEATER
▬ 1x12" FRAME HEADER SIZE	⊕ INCAND. WALL FIX.	⊕ SHOWER HEAD & VALVE
▬ 1x1 LAMINATED VENEER LUMBER SIZE	⊕ FLUORESCENT FIX.	
▬ TRUSS I.D.	⊕ CEILING FAN	
⊕ WALL FIX.	⊕ 220 VOLT JUNCTION BOX	
⊕ ELECT. PANEL	⊕ 110 VOLT JUNCTION BOX	
⊕ ELECT. METER	⊕ EXHAUST FAN	
⊕ EMERGENCY LIGHT WITH BATTERY BACKUP	⊕ SMOKE DETECTOR WITH BATTERY BACKUP & CARBON MONOXIDE DETECTOR	
⊕ VAPOR PROOF RECESSED CAN LIGHT	⊕ PHONE JACK	
⊕ RECESSED LIGHT	⊕ CABLE CONNECTION	
⊕ EXTERIOR FLOOD LIGHT		



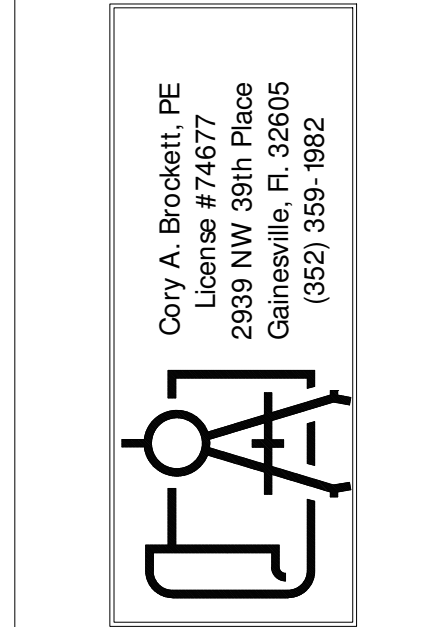
PROJECT'S DESIGNER
of PRELIMINARY VISION AND GUIDE

DESIGN FORTY FIVE LLC

2002 W. LAKE OF THE ISLES PKWY
MINNEAPOLIS, MN 55405



CRC:1326643
W.HOMES@AOL.COM
386.561.8209



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FOR PRIORITY ATTENTION
CALL/TEXT 386-561-8209

SEAL BOX (WIND LOADS ONLY)

VACATION RENTAL
MULTI FAMILY
NEW CONSTRUCTION

OWNER:
TED
BARNHILL

PLAN DATE:
5/18/2026

"PLANS CONFORM TO"
2023 6TH ED. FL. BUILDING CODE
2022 NATIONAL ELEC. CODE
2024 WFCM DESIGN CRITERIA
2022 ASCE 7-22 DESIGN CRITERIA
STRUCTURALLY ADEQUATE FOR

ALTERATION LEVEL: NEW
RISK CATEGORY: 2
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: D
INTERNAL PRESSURE: 1B
CONSTRUCTION TYPE: VB

CORY A. BROCKETT, PE
LICENSE #74677

LOCATION:
1708 S. OCEAN
SHORE BLVD.,
FLAGLER BEACH, FL.
32136

PAGE:
1

DRAWING INDEX:

- COVER PAGE
- NOTES
- ELEVATIONS
- ELEVATIONS
- 1ST FLOOR PLAN
- 2ND FLOOR PLAN
- 3RD FLOOR PLAN
- S-1 LOCATION LAYOUT
- S-2 LOCATION DETAILS
- S-3 SURVEY

SCOPE OF WORK:

- CONSTRUCTION OF A MULTI-FAMILY VACATION RENTAL BUILDING



NOTES & SPECIFICATIONS:

FOUNDATION

SEE FOUNDATION PLAN AND FOOTER DETAILS FOR INFORMATION.
BOTH MONOLITHIC AND OR STEMWALL FOUNDATIONS CAN BE USED FOR ALL WALL DETAILS.
STEMWALL BLOCK WALL HEIGHT MAY VARY DUE TO FIELD CONDITIONS.

BLOCK WALLS

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRANGTH OF 2500 PSI AT 28 DAYS.
C.M.U WALL=STANDARD 8" THICK, HIEGHT, WIDTH AND SHAPE MAY VARY PER BLOCK AND PER PLAN.
BLOCK COLUMN=SIZE, SHAPE AND HIEGHT MAY VARY, SEE FLOOR OF STRUCTURAL PLAN FOR SIZE.
LINTEL=PRE-CAST AND/OR STEEL LINTEL MAY BE USED.
BOND BEAM=U-BLOCK OR LINTEL MAY BE USED.
BOND BEAM=#5 CORNER BAR MINIMUM LAP 25" EACH WAY.
#5 REBAR 90 DEGREE HOOK VERTICAL=MINIMUM 10" OVERLAP REBAR HORIZONTAL AND 25" OVERLAP VERTICAL
EACH SIDE OF EXTERIOR OPENINGS ARE TO BE MINIMUM SOLID WITH REBAR.
#5 REBAR VERTIAL FILLED CELLS=AT ALL CORNERS, 8' MAXIMAM SPACE AND BOTH SIDES OF OPENINGS.
(2) #5 REBAR ON EACH SIDE OF OPENINGS 12' AND WIDER
#5 REBAR AT EACH END OF PORCH LINTES
REBARS ARE NOT REIQAURED TO LINE UP FROM FLOOR TO FLOOR AND ARE NOT REIQAURED AT T-INTERSECTIONS OF 2 MASONRY WALLS

FRAME WALLS

FRAME WALLS=LOAD BEARING TO BE MINIMUM 2X4 FRAMING #2 SPF WITH STUDS AT 16" O.C.
JACKS=(1) EACH SIDE OF HEADER SPAN 0"-49"
JACKS=(2) EACH SIDE OF HEADER SPAN 49" TO 73"
JACKS=(3) EACH SIDE OF HEADER SPAN 73" TO 97"
JACKS=(4) EACH SIDE OF HEADER SPAN 97" AND UP
HEADER=STANDARD (2) 2X12 OR LAMINATED BEAM, SEE FLOOR OR TRUSS PLAN FOR ODD SIZES.
POST=MINIMUM 4X4 SEE FLOOR PLAN FOR ACTUAL SIZE.
ALL FRAMING IN CONTACT WITH MASONRY IS TO BE PRESURE TREATED OR TO HAVE A VAPOR BARRIER.
BOLTS=FOUNDATION 1/2" BOLT X 10" MINIMUM WITH 7" EMBEDMENT, EPOXIED ALL THREAD IF MISSING OR 8" WEDGE ANCHORS
2"x2"x1/2" WASHERS ON ALL BOLTS
21" MAXIMUM SPACING ON ALL BOLTS
SIMPSON SP1 OR SPH4=AT STUD BOTTOM, 16"O.C. MAXIMUM SPACING AND EACH SIDE OF OPENINGS.
SIMPSON SP2 OR SPH4=AT STUD TOP, 16" O.C. MAXIMUM SPACING (NOT AT HEADERS)
SIMPSON CS16 OR LSTA=EACH SIDE OF HEADERS. (UNLESS MORE IS SPECIFIED)

INSULATION

MASONRY WALLS WILL REQUIRE R-11 RIDGED FOIL AND FOAM INSULATION.
FRAME WALLS WILL REQUIRE R-13 IN 2X4'S MIN.
CEILINGS WILL REQUIRED R-30 BLOWN OR BATTED.
IF USING SPRAYED FOAM INSULATION TO BOTTOM OF ROOFING SYSTEM THEN NO ROOF OR SOFIT VENTING IS REQUIRED.
ALL VOIDS/HOLES TO OUTSIDE, ATTIC, OR FLOOR SYSTEMS WILL BE FILLED WITH FIRE PROOF SPRAY FOAM.
ALL PIPES EXPOSED TO INSIDE OR OUTSIDE WILL REQUIRE PIPE INSULATION.

EXTERIOR FINISH

SEE ELEVATION FOR EXTERIOR FINISH.
BLOCK WALLS ADD 1X4 P.T. FURRING HORIZONTAL OR VERTICAL AT 16" O.C. FOR LAP CEMENT BOARD SIDING.
FRAME WALLS, LUMBER THAT IS IN CONTACT WITH MASONRY IS TO BE P.T..
FRAME WALLS WILL HAVE 1/2" SHEATHING NAILED W/8d AT 4" ON THE HORIZONTAL EDGES. 6" O.C. ON THE VERTICAL EDGES & 8" IN THE FIELD.
FRAME WALL WILL RECEIVE ROLL INSULATION HOUSE WRAP, THEN 15# FELT MIN. THEN WIRE OR PLASTIC LATH NAILED TO MANUFACTURES SPECIFICATIONS WITH REGARDS TO WALLS OR CEILINGS WITH A MIN. OF 7/8" OF PORTLAND CEMENT PLASTER.
(1) COAT OF ACRYLIC PRIMER SEALER.
(2) COATS OF ACRYLIC PAINT.

ROOFING

SEE ELEVATIONS FOR ROOFING TYPE.
ROOF-SHINGLES TO BE 110 MODIFIED.
ROOF-SHINGLES=30# FELT, 1/2" SHEATHING NAILED W/8d AT 4" ON EDGES & 6" IN THE FIELD.
ROOF-TILE=90# FELT, 5/8" SHEATHING NAILED W/8d AT 4" O.C. ON EDGES & 6" O.C. IN FIELD.
ROOF-METAL=30# FELT, 5/8" SHEATHING NAILED W/8d AT 4" O.C. ON EDGES & 6" O.C. IN FIELD.
FACIA=2X4 MIN. SEE ELEVATIONS FOR SIZE, CUT & OVERHANG.

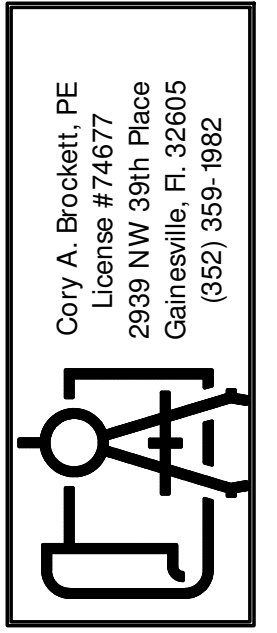
BUILDING CODE SUMMARY

THIS PROJECT COMES UNDER THE JURISDICTION OF THE FOLLOWING AGENCIES FOR PERMITTING AND APPROVALS:
VOLUSIA COUNTY, FLORIDA

FLORIDA BUILDING CODE : BUILDING

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION - RESIDENTIAL GROUP R-2
(602.1) - TYPE OF CONSTRUCTION - TYPE VB -SPRINKLED

(602)PROTECTION REQUIREMENTS OF BUILDING ELEMENTS



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FOR PRIORITY ATTENTION
CALL/TEXT 386-561-8209

SEAL BOX (WIND LOADS ONLY)

VACATION RENTAL
MULTI FAMILY
NEW CONSTRUCTION

OWNER:

TED
BARNHILL

PLAN DATE:

5/18/2026

PLANS CONFORM TO
2023 5TH ED. FL. BUILDING COD
2022 NATIONAL ELEC. CODE
2024 WFCM DESIGN CRITERIA
2022 ASCE 7-22 DESIGN CRITERIA
STRUCTURALLY ADEQUATE FOR

ALTERATION LEVEL: NEW
RISK CATEGORY: B
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: D
INTERNAL PRESSURE: 1.0
CONSTRUCTION TYPE: VB

CORY A. BROCKETT, PE
LICENSE #74677

LOCATION:

1708 S. OCEAN
SHORE BLVD.,
FLAGLER BEACH, FL
32136

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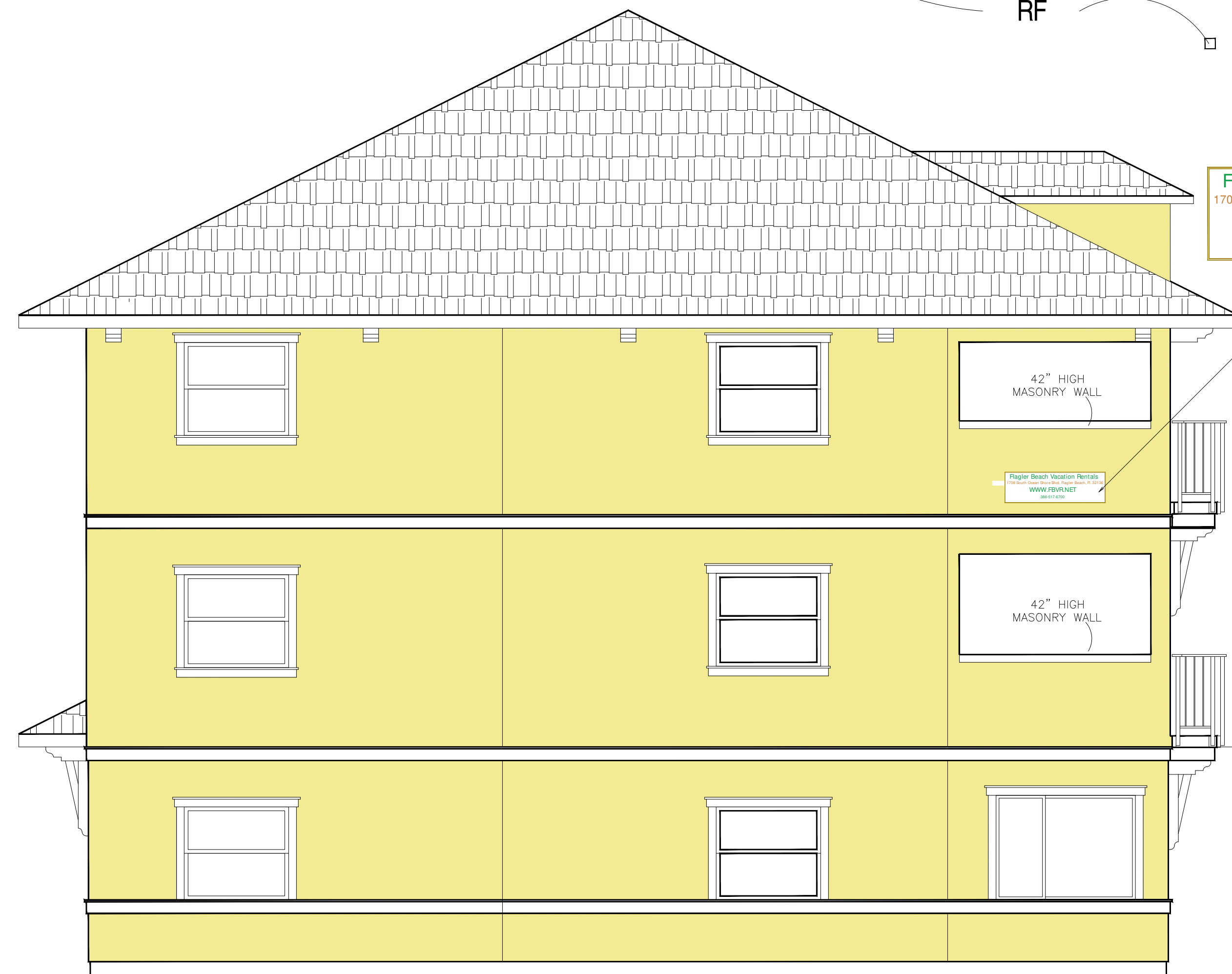
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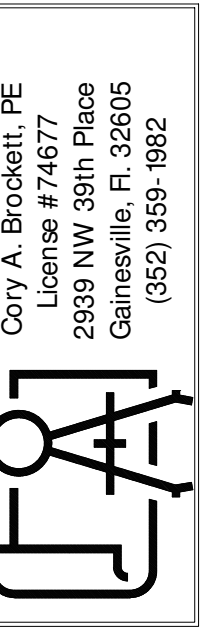
TRIM COLOR
WHITE
RAILING COLOR
WHITE



WOOD:
CONVENTIONAL STUCCO OVER WOOD SHOULD ALWAYS BE APPLIED AS A THREE-COAT SYSTEM. SCRATCH COAT =3/8 INCH THICK, BROWN COAT =3/8 INCH THICK, AND FINISH COAT =1/8 INCH THICK. THE SCRATCH COAT MUST BE SCORED HORIZONTALLY ON VERTICAL SURFACES. SUCCESSIVE COATS SHOULD BE APPLIED AS SOON AS POSSIBLE AFTER THE UNDERLYING COAT HAS SUFFICIENT STRENGTH AND RIGIDITY TO RESIST DAMAGE WHEN THE NEXT COAT IS APPLIED. A MIST CURE SHALL BE MAINTAINED AS NEEDED FOR CLIMATIC CONDITIONS.



Flagler Beach Vacation Rentals
1708 South Ocean Shore Blvd., Flagler Beach, FL 32136
WWW.FBVR.NET
386-517-6700



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2022 ASCE 7-22 DESIGN CRITERIA
STRUCTURALLY ADEQUATE FOR

ALTERATION LEVEL: NEW
RISK CATEGORY: 2
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: D
INTERNAL PRESSURE: 1B
CONSTRUCTION TYPE: VB

CORY A. BROCKETT, PE
LICENSE #74677

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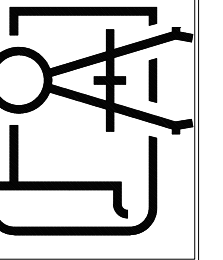
3

SCALE: 1/4" = 1 FOOT

ELEVATIONS

PLEASE NOTE THE POSITION OF THE WOOD STRUCTURAL PANEL (OSB OR PLYWOOD), IN THE RECOMMENDED ILLUSTRATION. IT IS RAISED OFF THE CONCRETE AND ALIGNED WITH THE FACE OF THE FOUNDATION. CARE MUST BE TAKEN TO CONSTRUCT FOUNDATION WALLS STRAIGHT AND TRUE. IN AREAS WHERE THE BOTTOM OF THE WOOD STRUCTURAL PANEL IS EXPOSED, IT SHALL HAVE AN

Cory A. Brockett, PE
License #74677
2939 NW 39th Place
Gainesville, FL 32605
(352) 359-1962



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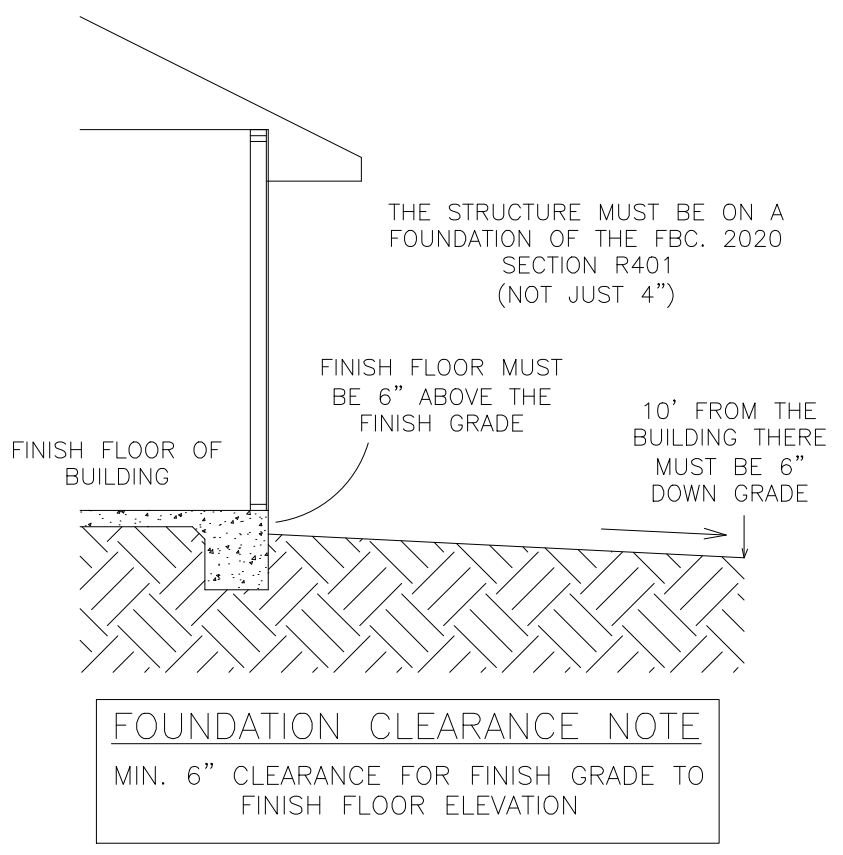
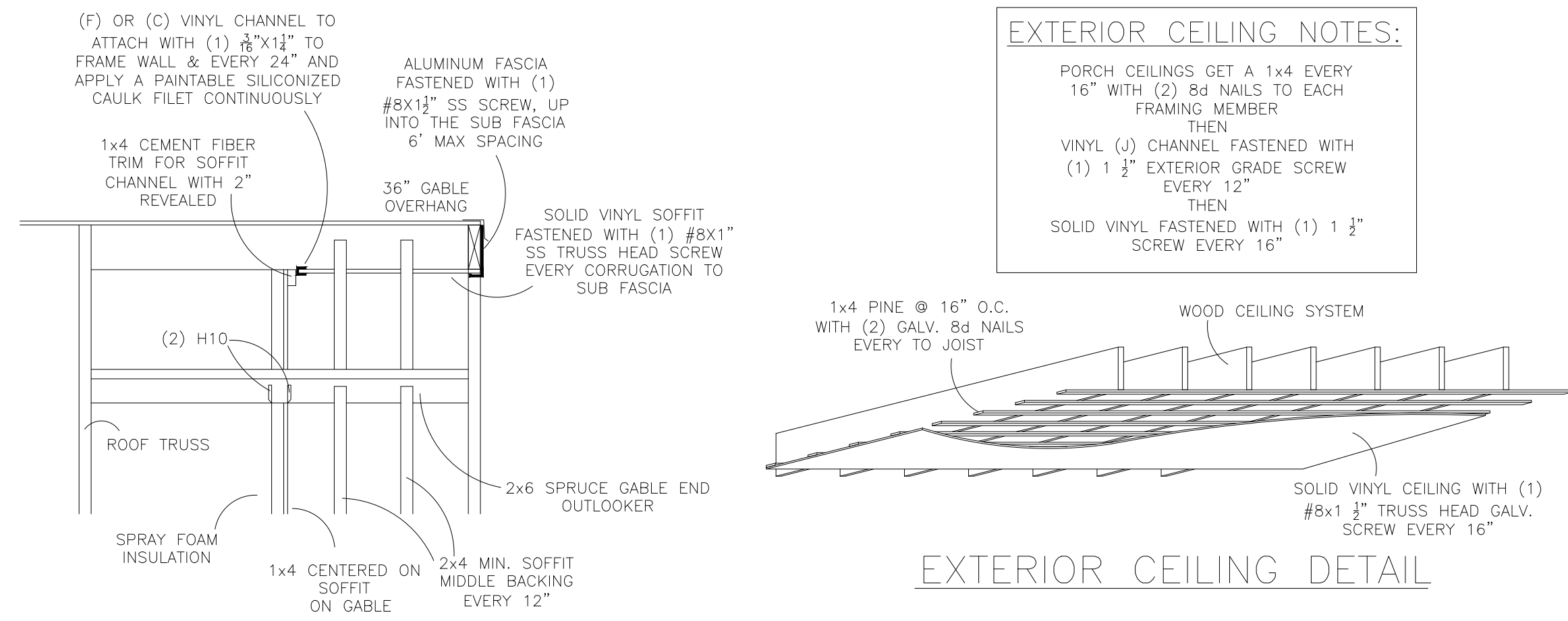
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CONSTRUCTION TYPE: VB

CORY A. BROCKETT, PE
LICENSE #74677

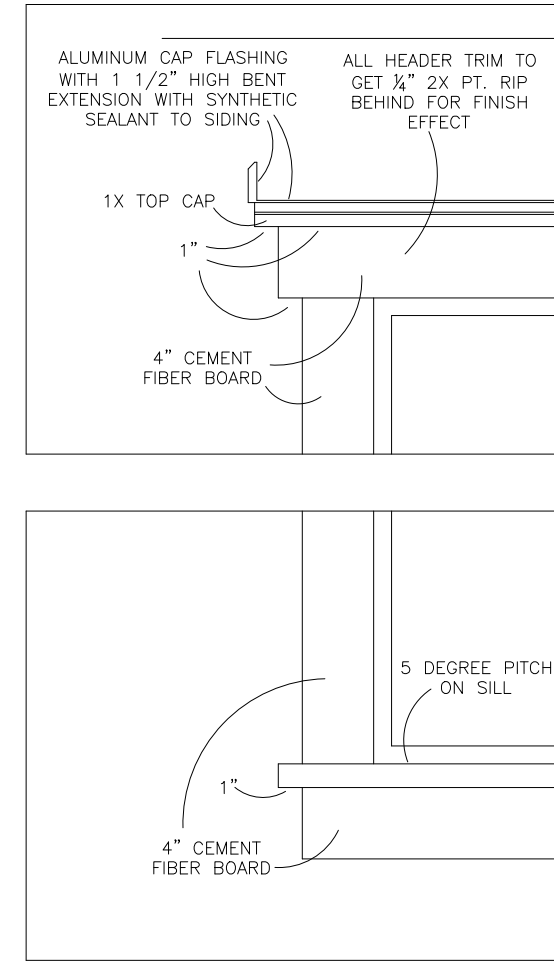
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32136

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SCALE: 1/4" = 1 FOOT



EXTERIOR TEXTURE NOTES: MASONRY
2-COAT SYSTEM OF GRAY EXTERIOR PORTLAND CEMENT TO MATCH EXISTING METHODS WITH PLASTIC STOPS, CORNER BEADS, PRIMER AND PAINT.

EXTERIOR TEXTURE NOTES: FRAME
ALL WOOD FRAME WALL AREAS THAT GET PLASTERED GET (2) APPLICATIONS OF HOUSE WRAP, PLASTIC LATH NAILED WITH 1 1/2" GALV. ROOFING NAILS EVERY 5" APART MAX. 3-COAT SYSTEM OF GRAY EXTERIOR PORTLAND CEMENT, 3/8" TOTAL THICKNESS WITH PLASTIC STOPS, CORNER BEADS, PRIMER AND PAINT.
ALL MASONRY WALL GET 2-COAT SYSTEM OF GRAY EXTERIOR PORTLAND CEMENT TO MATCH EXISTING METHODS WITH PLASTIC STOPS, CORNER BEADS, PRIMER AND PAINT.



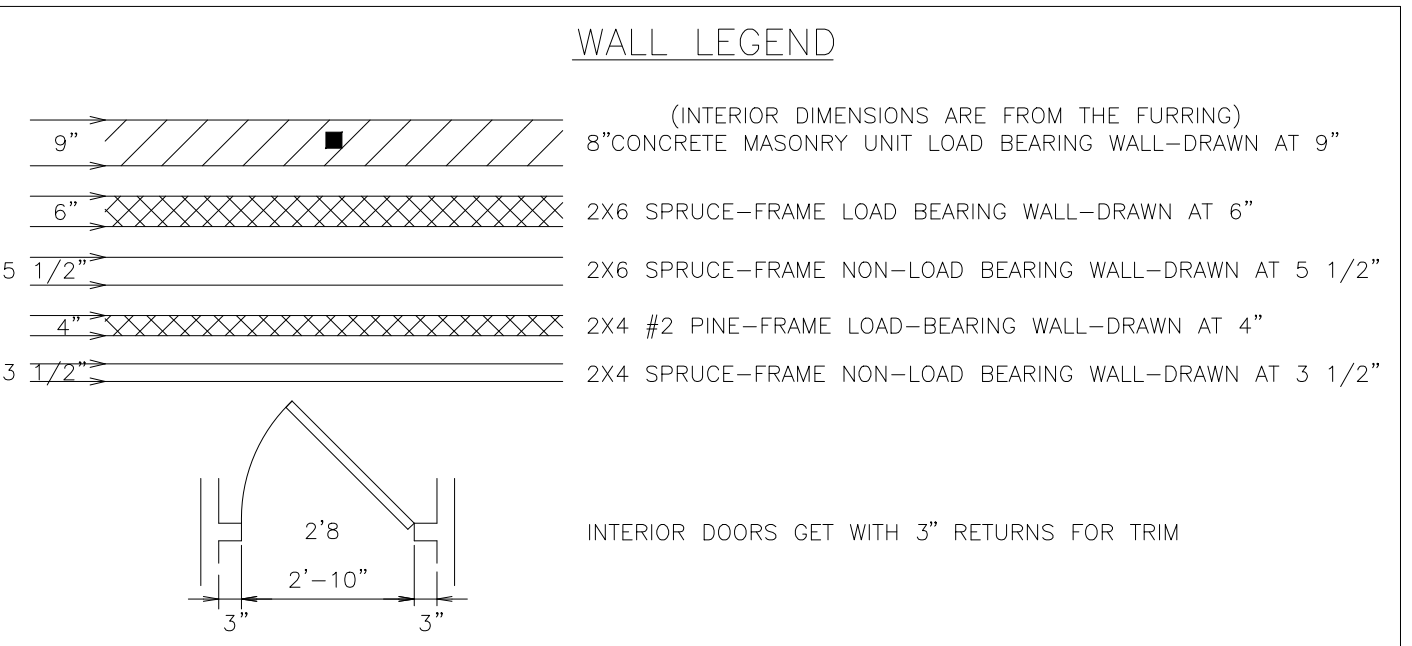
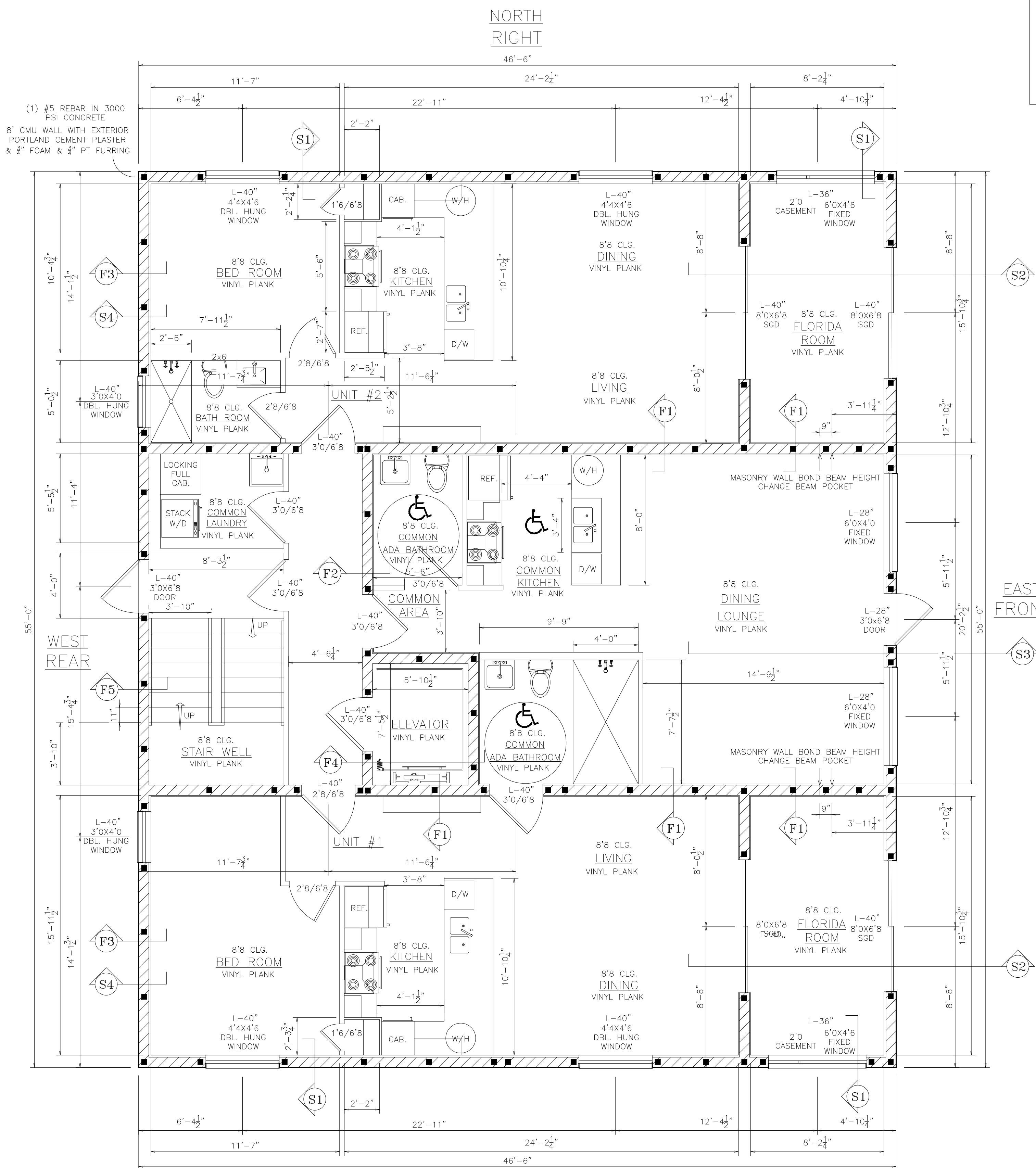
ELEVATIONS

1ST FLOOR AREA TABULATIONS	
638sf	UNIT #1 LIVING
153sf	UNIT #1 FLORIDA ROOM
638sf	UNIT #2 LIVING
153sf	UNIT #2 FLORIDA ROOM
578sf	COMMON AREA LIVING
398sf	STORAGE AREA
	LAUNDRY ROOM
	CORRIDOR
	STAIR WELL
	ELEVATOR
1,850sf	1ST LIVING TOTAL
2,558sf	1ST FLOOR TOTAL

2ND FLOOR AREA TABULATIONS	
638sf	UNIT #3 LIVING
153sf	UNIT #3 OCEAN DECK
544sf	UNIT #4 LIVING
124sf	UNIT #4 OCEAN DECK
638sf	UNIT #5 LIVING
153sf	UNIT #5 OCEAN DECK
347sf	LAUNDRY ROOM
	CORRIDOR
	STAIR WELL
	ELEVATOR
1,820sf	2ND LIVING TOTAL
2,597sf	2ND FLOOR TOTAL

3RD FLOOR AREA TABULATIONS	
638sf	UNIT #6 LIVING
153sf	UNIT #6 OCEAN DECK
544sf	UNIT #7 LIVING
124sf	UNIT #7 FLORIDA ROOM
638sf	UNIT #8 LIVING
153sf	UNIT #8 OCEAN DECK
347sf	LAUNDRY ROOM
	CORRIDOR
	STAIR WELL
	ELEVATOR
1,820sf	3RD LIVING TOTAL
2,597sf	3RD FLOOR TOTAL

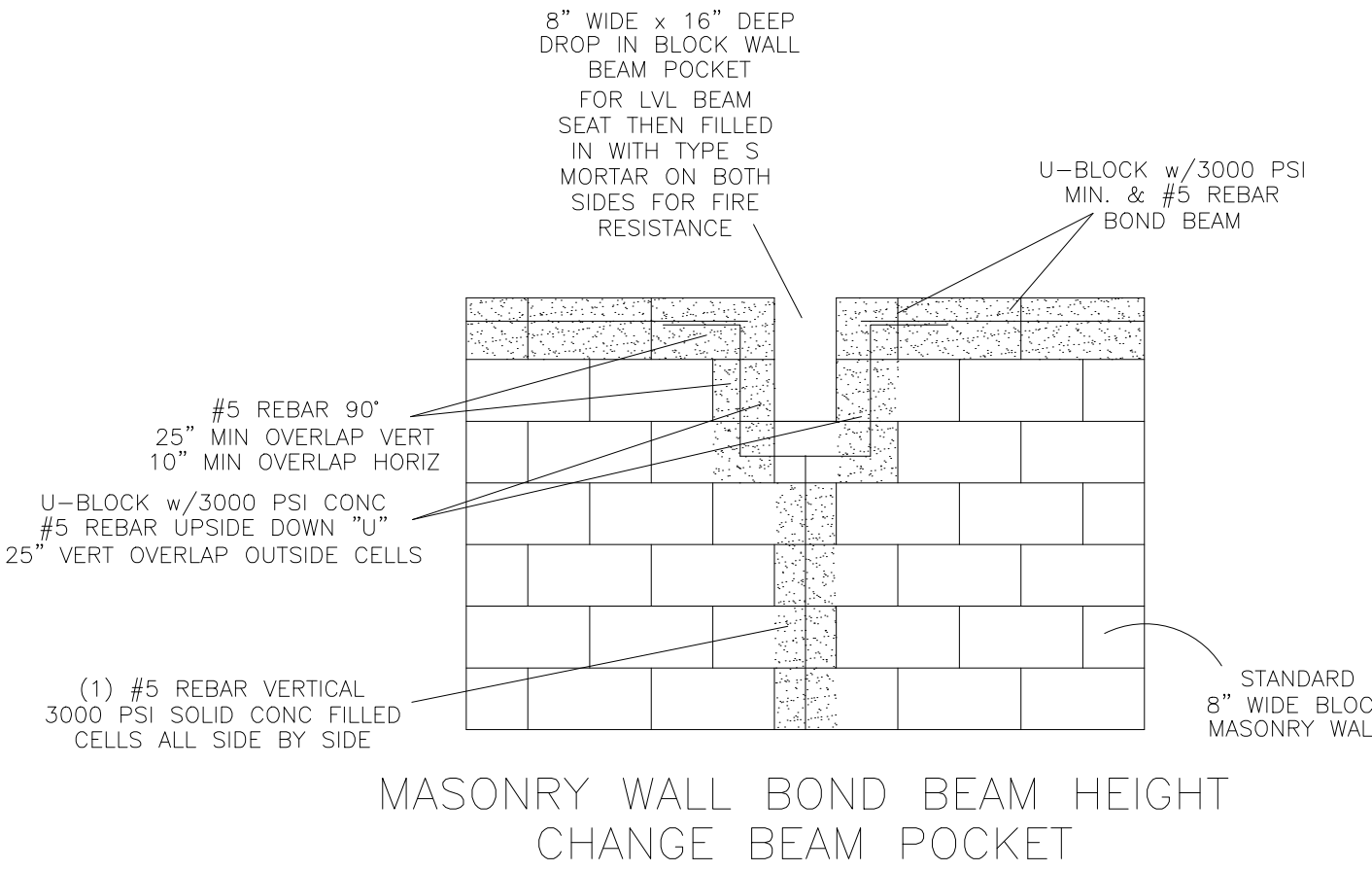
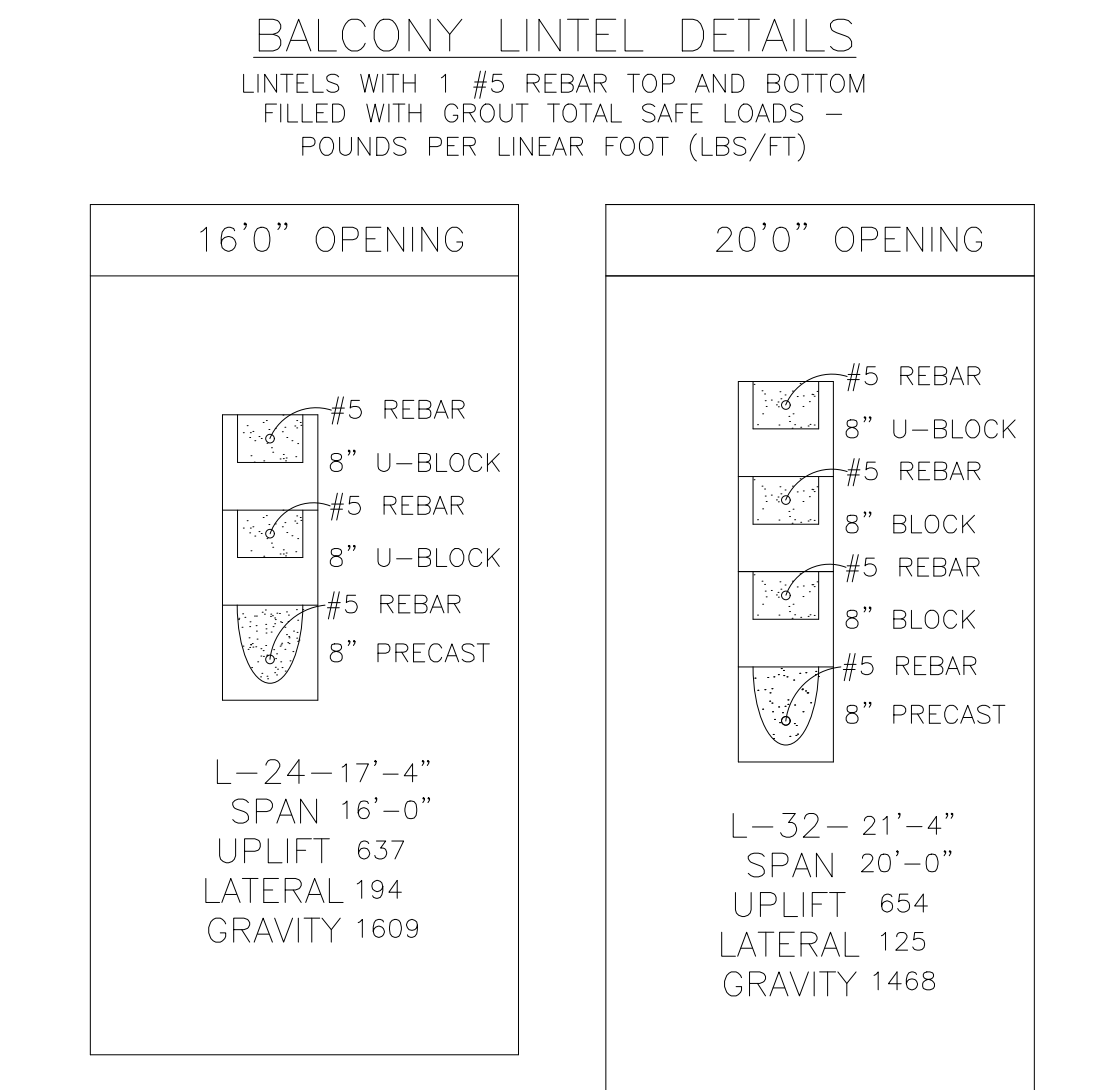
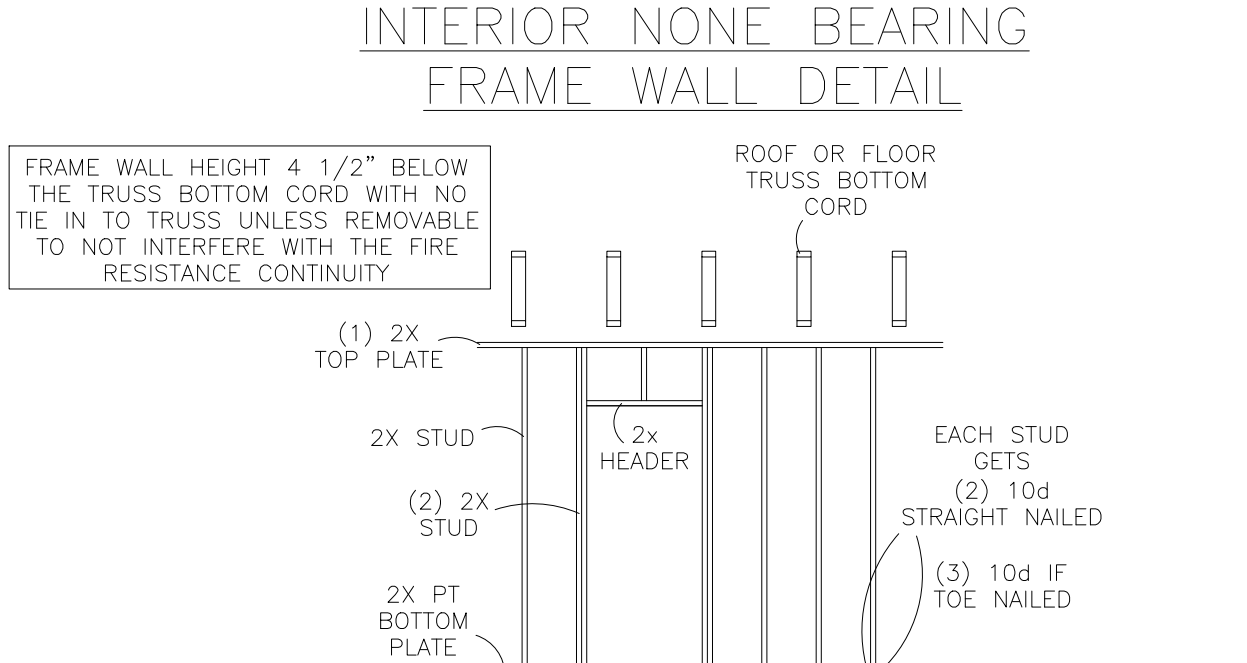
TOTAL AREA TABULATIONS	
5,490sf	LIVING
7,752sf	TOTAL



SIMPSON ANCHOR SYSTEM
CATALOG C-2010

2500 PSI MIN. CONCRETE STRENGTH

ANCHOR DIA.	DRILL BIT DIA. (IN)	EMBED. DEPTH (IN)	TENSION LOAD BASED ON BOND STRENGTH				TENSION LOAD BASED ON STEEL STRENGTH
			NO EDGE	NEAR EDGE	CORNER	AT	
5/8"	1 1/16"	3/4"	AT	SAT	AT	SAT	5875
			2 1/2	2125	1695	1065	
5/8"	1 1/16"	3/4"	AT	SAT	AT	SAT	5875
			9 3/8	7920	8350	4830	



TILE WALLS NOTES

SHOWER AREA TILE BACKER BOARD WITH TILE FASTENED WITH 1 1/2" TILE BACKER SCREWS EVERY 5" ON PT. FURRING STRIPS & 2X4 STD FRAMING

BLOCK WALLS NOTES

CONCRETE - SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
LINTEL - PRE-CAST or POWER BOX LINTEL W/(1) #5 REBAR HORIZ. SOLID FILLED CONCRETE
BLOCK WALL - STANDARD 8" THICK. HEIGHT, WIDTH AND SHAPE OF EACH BLOCK CAN VARY.
BLOCK COLUMN - SIZE, SHAPE AND HEIGHT MAY VARY W/(1) #5 REBAR MIN VERTICAL SOLID FILLED CONCRETE. SEE FLOOR PLAN or STRUCTURAL PLAN FOR NUMBER OF REBAR
BOND BEAM - U-BLOCK WITH (1) #5 REBAR HORIZONTAL SOLID CONCRETE FILLED
MASONRY SILL - PRECAST MASONRY SILL
REBAR 90° HOOK - #5 REBAR 10" OVERLAP REBAR HORIZ. AND 25" OVERLAP REBAR VERTICAL.
VERTICAL FILLED CELL - (1)#5 REBAR VERTICAL SOLID FILLED CONCRETE

Cory A. Brockett, PE
License #74677
2839 NW 38th Place
Gainesville, FL 32605
(352) 359-1982

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(ALL CONTRACTORS & SUB-CONTRACTORS) UNFORESEEN STRUCTURAL ISSUES "MUST BE MADE KNOWN" TO THE DESIGN PROFESSIONAL OF RECORD AT THE TIME OF DISCOVERY

FOR PRIORITY ATTENTION
CALL/TEXT 386-561-8209

VACATION RENTAL
MULTI FAMILY
NEW CONSTRUCTION

OWNER:
TED
BARNHILL

PLAN DATE:
5/18/2026

PLANS CONFORM TO
2023 6TH ED. FL. BUILDING CODE
2022 NATIONAL ELEC. CODE
2024 WFCM DESIGN CRITERIA
2022 ASCE 7-22 DESIGN CRITERIA
STRUCTURALLY ADEQUATE FOR

ALTERATION LEVEL: NEW
RISK CATEGORY: 2
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: D
INTERNAL PRESSURE: 1B
CONSTRUCTION TYPE: VB

CORY A. BROCKETT, PE
LICENSE #74677

LOCATION:
1708 S. OCEAN
SHORE BLVD.,
FLAGLER BEACH, FL.
32136

PAGE:
5

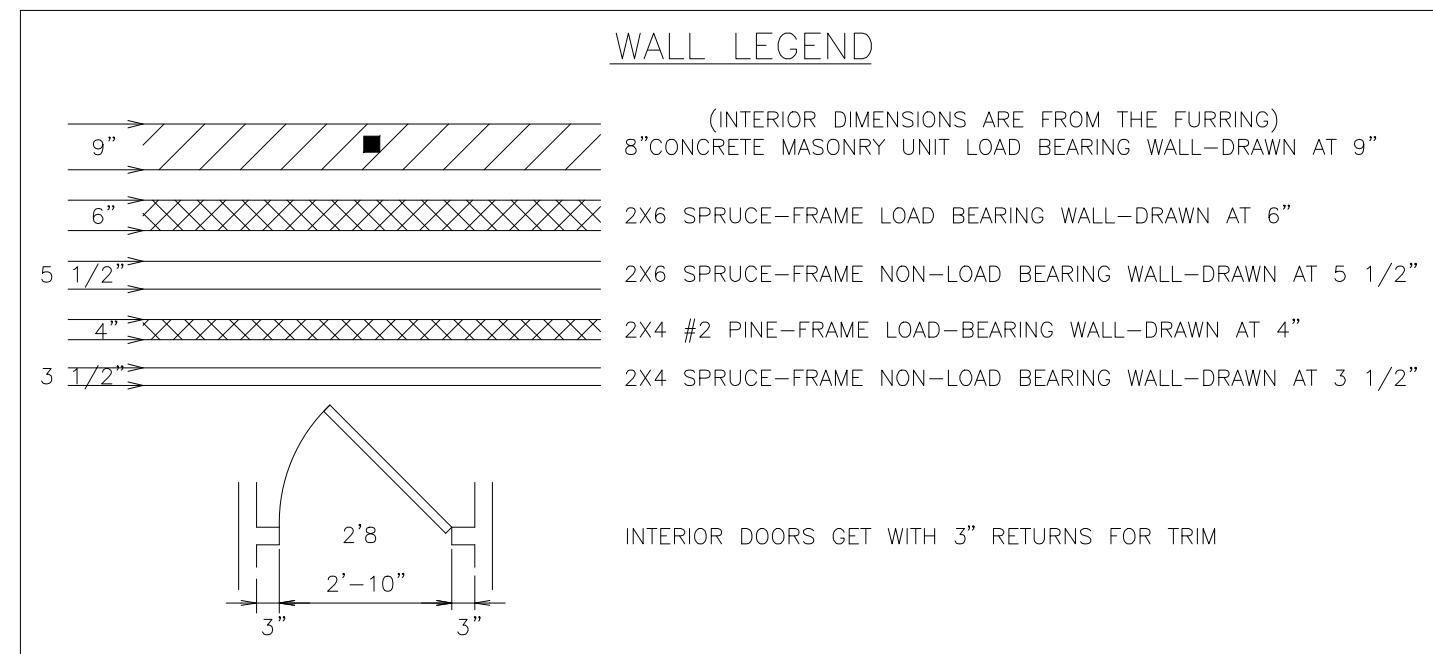
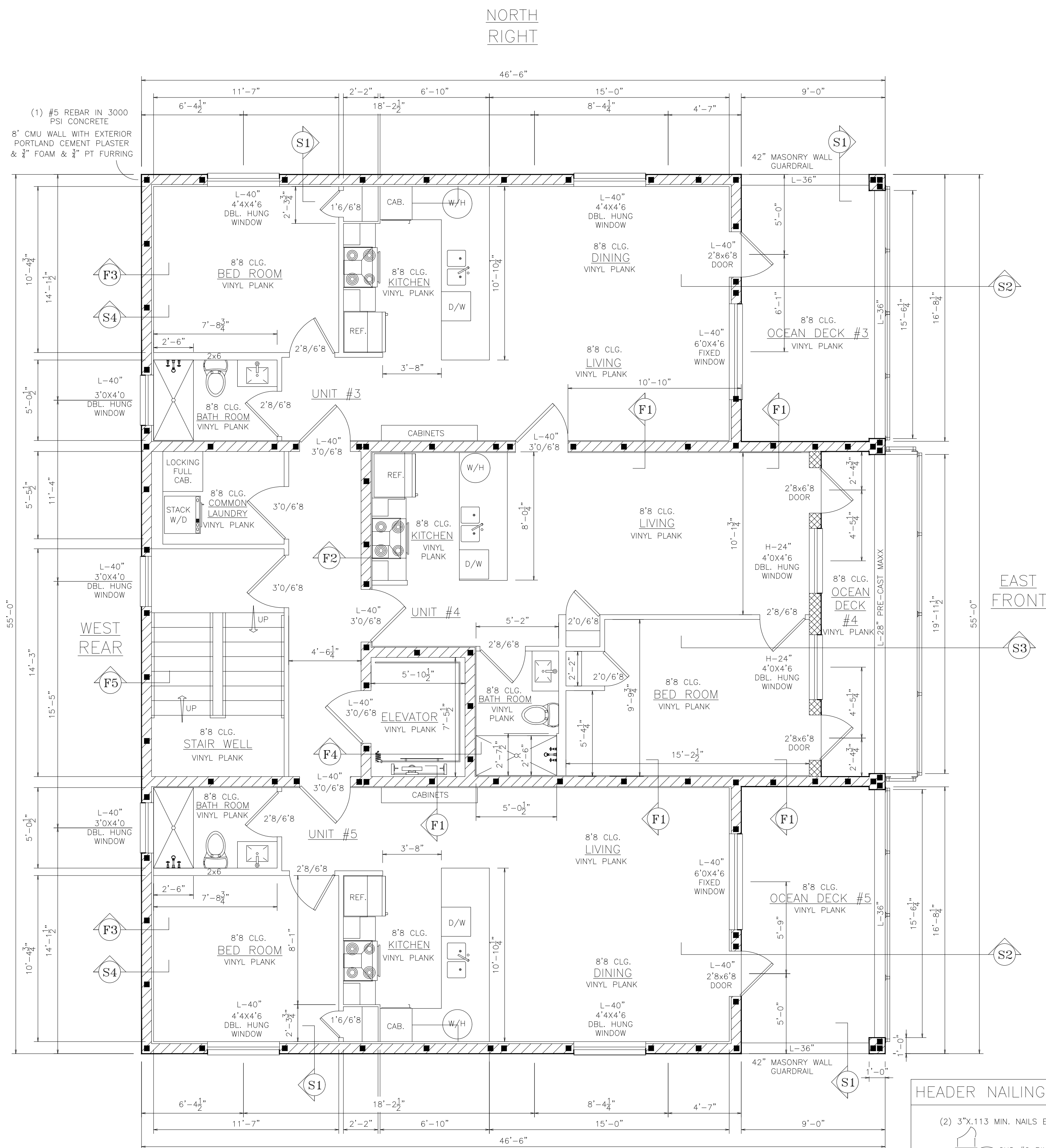
SCALE: 1" = 1 FOOT

1ST FLOOR AREA TABULATIONS	
638sf	UNIT #1 LIVING
153sf	UNIT #1 FLORIDA ROOM
638sf	UNIT #2 LIVING
153sf	UNIT #2 FLORIDA ROOM
578sf	COMMON AREA LIVING
	STORAGE AREA
	LAUNDRY ROOM
398sf	CORRIDOR
	STAIR WELL
	ELEVATOR
1,850sf	1ST LIVING TOTAL
2,558sf	1ST FLOOR TOTAL

2ND FLOOR AREA TABULATIONS	
638sf	UNIT #3 LIVING
153sf	UNIT #3 OCEAN DECK
544sf	UNIT #4 LIVING
124sf	UNIT #4 OCEAN DECK
638sf	UNIT #5 LIVING
153sf	UNIT #5 OCEAN DECK
	LAUNDRY ROOM
	CORRIDOR
	STAIR WELL
	ELEVATOR
1,820sf	2ND LIVING TOTAL
2,597sf	2ND FLOOR TOTAL

3RD FLOOR AREA TABULATIONS	
638sf	UNIT #6 LIVING
153sf	UNIT #6 OCEAN DECK
544sf	UNIT #7 LIVING
124sf	UNIT #7 FLORIDA ROOM
638sf	UNIT #8 LIVING
153sf	UNIT #8 OCEAN DECK
	LAUNDRY ROOM
	CORRIDOR
	STAIR WELL
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1,820sf	3RD LIVING TOTAL
2,597sf	3RD FLOOR TOTAL

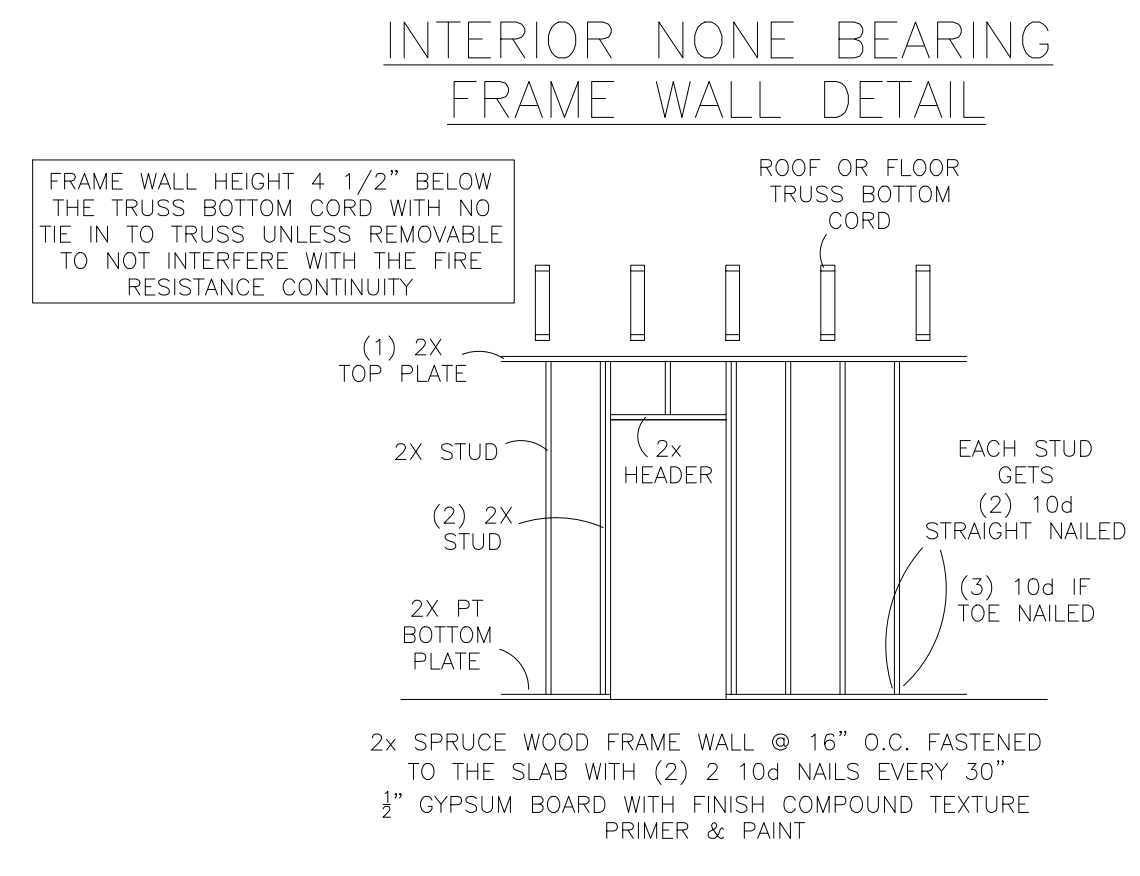
TOTAL AREA TABULATIONS	
5,490sf	LIVING
7,752sf	TOTAL



SIMPSON ANCHOR SYSTEM CATALOG C-2010

2500 PSI MIN. CONCRETE STRENGTH

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			NO EDGE	NEAR EDGE	AT CORNER	AT CORNER		
5/8"	11/16"	3/4"	2 1/2"	2125	1695	1065	815	5875
			5 1/2"	6505	6680	3255	3205	
			9 3/8"	7920	8350	4830	5345	



BLOCK WALLS NOTES

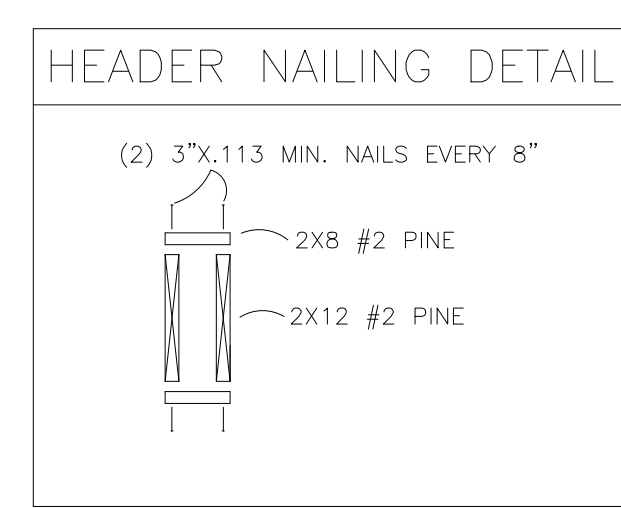
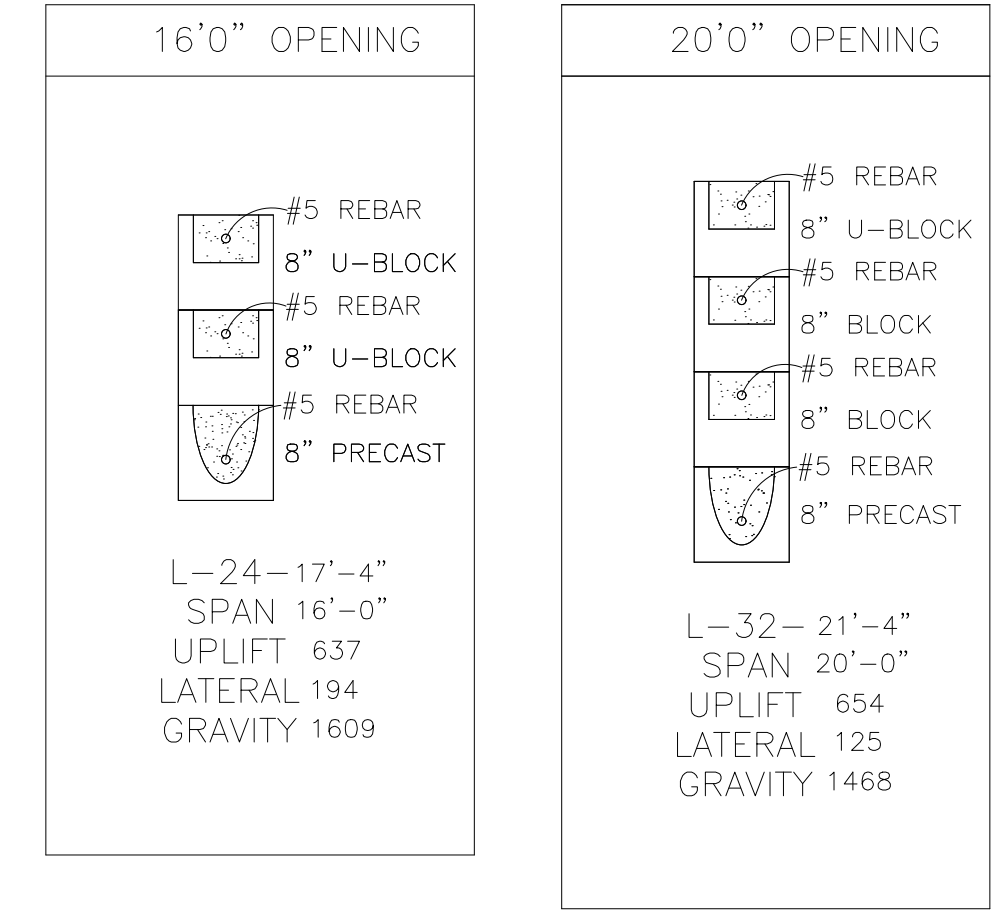
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TILE WALLS NOTES

SHOWER AREA TILE BACKER BOARD WITH TILE FASTENED WITH 1 1/2" TILE BACKER SCREWS EVERY 5" ON FT. FURRING STRIPS & 2X4 STD FRAMING

BALCONY LINTEL DETAILS

LINTELS WITH 1 #5 REBAR TOP AND BOTTOM FILLED WITH GROUT TOTAL SAFE LOADS - POUNDS PER LINEAR FOOT (LBS/FT)



Cory A. Brockett, PE
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2839 NW 38th Place
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(352) 359-1982

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FOR PRIORITY ATTENTION
CALL/TEXT 386-561-8209

VACATION RENTAL
MULTI FAMILY
NEW CONSTRUCTION

OWNER:
TED BARNHILL
PLAN DATE:
5/18/2026

"PLANS CONFORM TO"
2023 FTH ED. FL. BUILDING CODE
2022 NATIONAL ELEC. CODE
2024 WFCM DESIGN CRITERIA
2022 ASCE 7-22 DESIGN CRITERIA
STRUCTURALLY ADEQUATE FOR

ALTERATION LEVEL: NEW
RISK CATEGORY: 2
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: D
INTERNAL PRESSURE: 1B
CONSTRUCTION TYPE: VB

CORY A. BROCKETT, PE
LICENSE #74677

LOCATION:
1708 S. OCEAN SHORE BLVD., FLAGLER BEACH, FL. 32136

PAGE:
6
SCALE: 1" = 1 FOOT

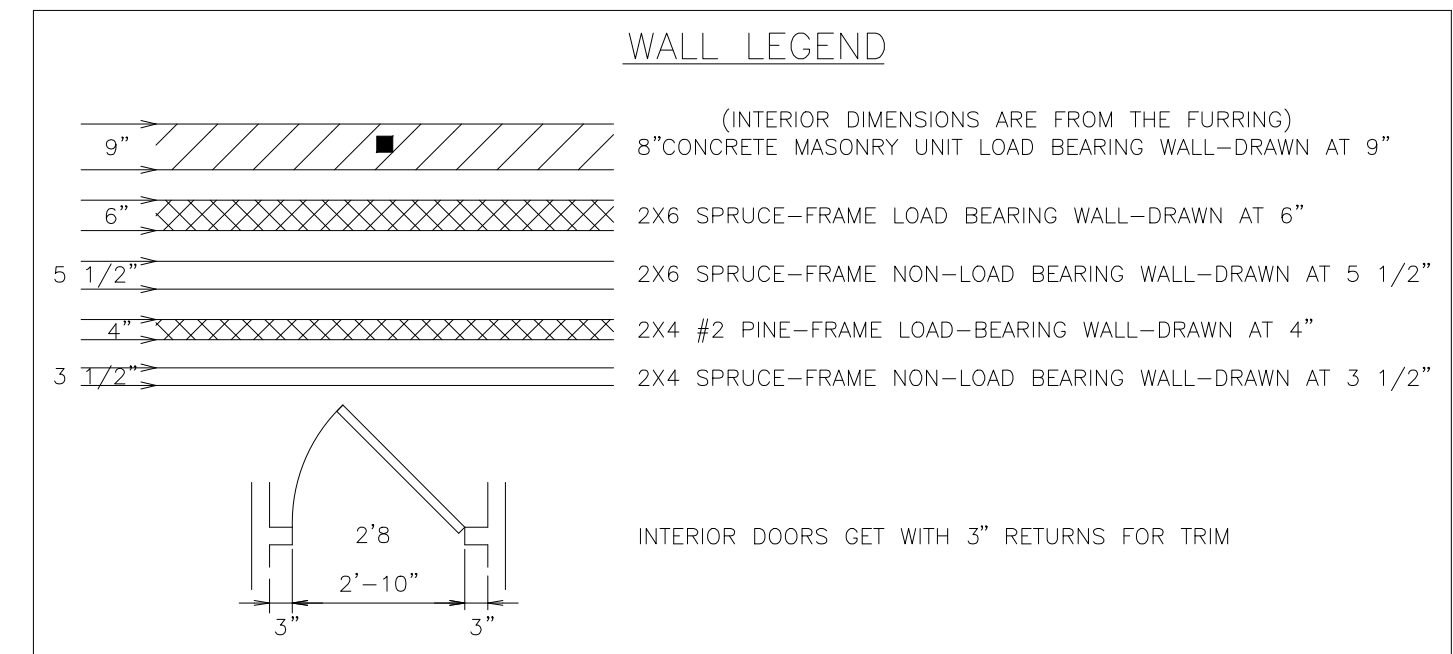
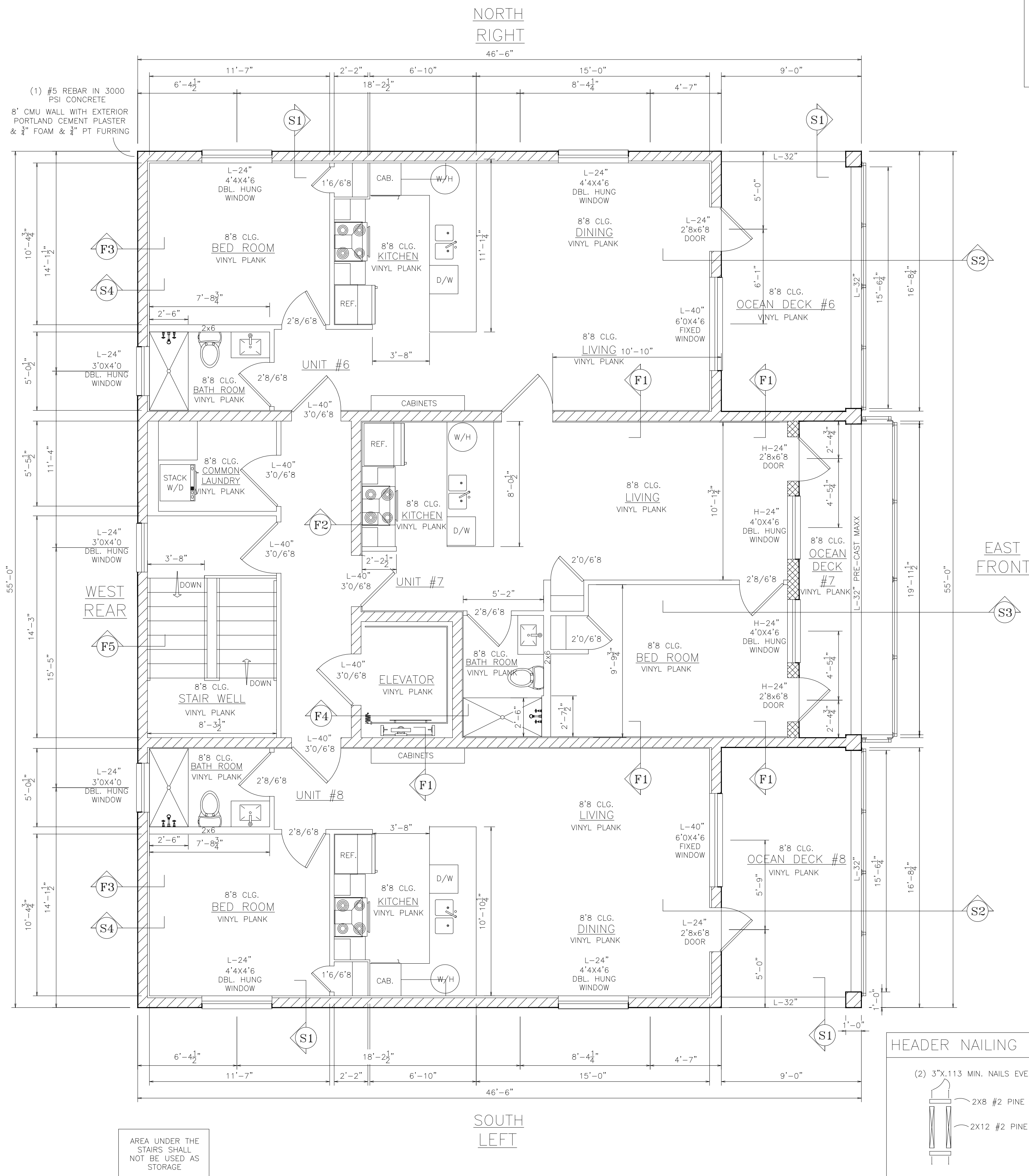
2ND FLOOR PLAN

1ST FLOOR AREA TABULATIONS	
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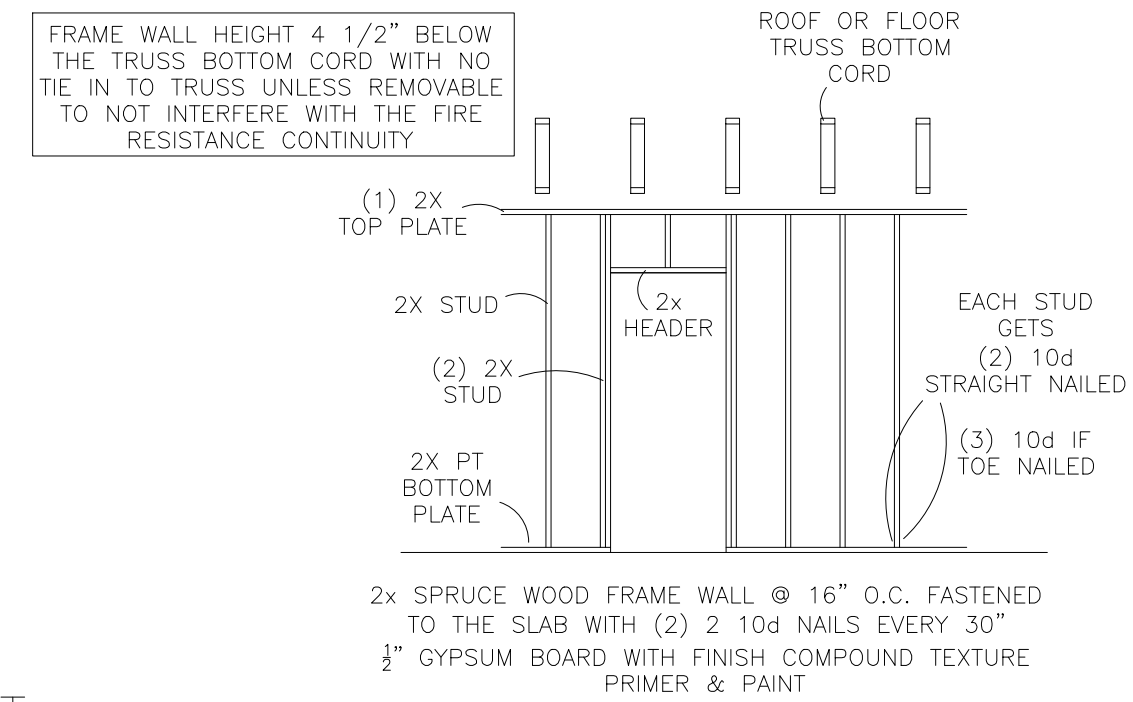


SIMPSON ANCHOR SYSTEM CATALOG C-2010

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			5 1/2"	6505	6680	3255	3205	
			9 3/8"	7920	8350	4630	5345	

INTERIOR NON-BEARING FRAME WALL DETAIL



BLOCK WALLS NOTES

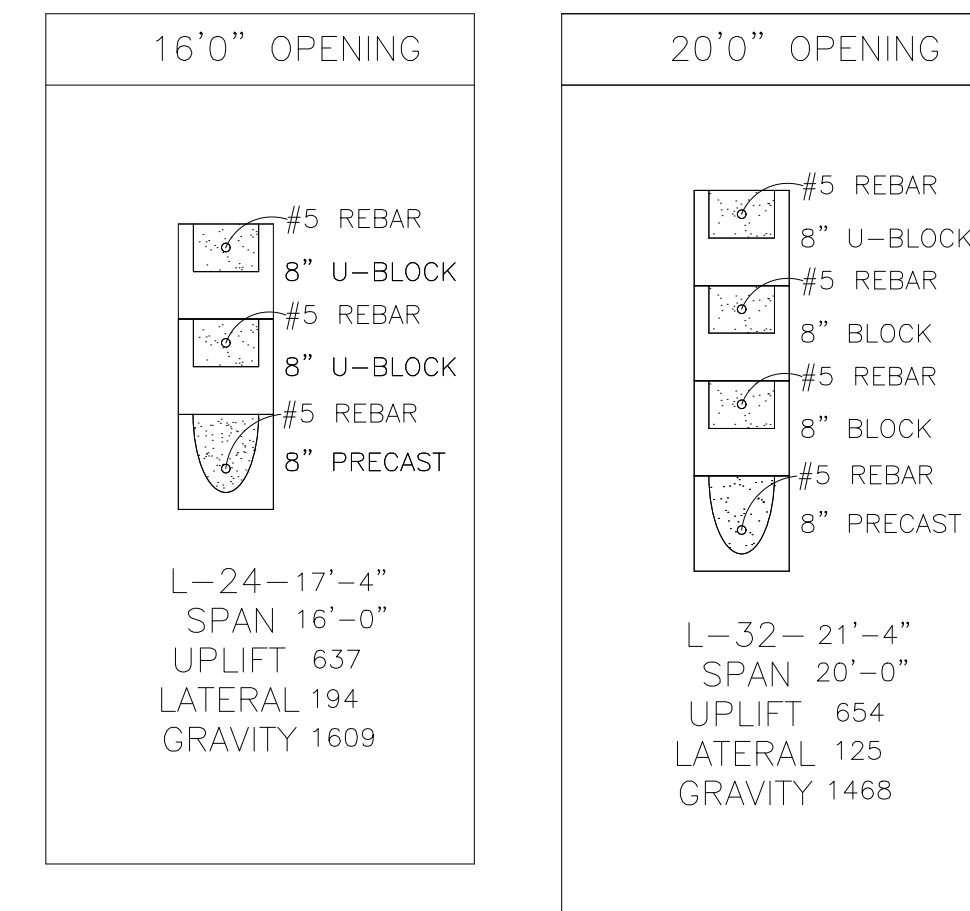
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SHOWER AREA TILE BACKER BOARD WITH TILE FASTENED WITH 1" TILE BACKER SCREWS EVERY 5" ON PT. FURRING STRIPS & 2X4 STD FRAMING

BALCONY LINTEL DETAILS

LINTELS WITH 1 #5 REBAR TOP AND BOTTOM FILLED WITH GROUT TOTAL SAFE LOADS - POUNDS PER LINEAR FOOT (LBS/FT)



HEADER NAILING DETAIL

(2) 3"x.113 MIN. NAILS EVERY 8"

2X8 #2 PINE
2X12 #2 PINE

3RD FLOOR PLAN

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FOR PRIORITY ATTENTION
CALL/TEXT 386-561-8209

SEAL BOX (WIND LOADS ONLY)

VACATION RENTAL
MULTI FAMILY
NEW CONSTRUCTION

OWNER:
TED BARNHILL
PLAN DATE:
5/18/2026

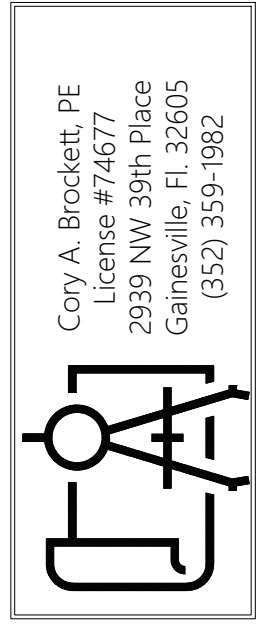
PLANS CONFORM TO
2023 6TH ED. FL. BUILDING CODE
2022 NATIONAL ELEC. CODE
2024 WFCM DESIGN CRITERIA
2022 ASCE 7-22 DESIGN CRITERIA
STRUCTURALLY ADEQUATE FOR

ALTERATION LEVEL: NEW
RISK CATEGORY: 2
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: D
INTERNAL PRESSURE: 1B
CONSTRUCTION TYPE: VB

CORY A. BROCKETT, PE
LICENSE #74677

LOCATION:
1708 S. OCEAN SHORE BLVD.,
FLAGLER BEACH, FL.
32136

PAGE:
7
SCALE: 1" = 1 FOOT



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SEAL BOX (WIND LOADS ONLY)

**VACATION RENTAL
 MULTI FAMILY
 NEW CONSTRUCTION**

**OWNER:
 TED
 BARNHILL**

**PLAN DATE:
 5/18/2026**

"PLANS CONFORM TO"
 2023 8TH ED. FL. BUILDING CODE
 2022 NATIONAL ELEC. CODE
 2024 WFCM DESIGN CRITERIA
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 STRUCTURALLY ADEQUATE FOR

ALTERATION LEVEL: NEW
 RISK CATEGORY: 2
 WIND VELOCITY (MPH): 140
 EXPOSURE CATEGORY: D
 INTERNAL PRESSURE: .18
 CONSTRUCTION TYPE: VB

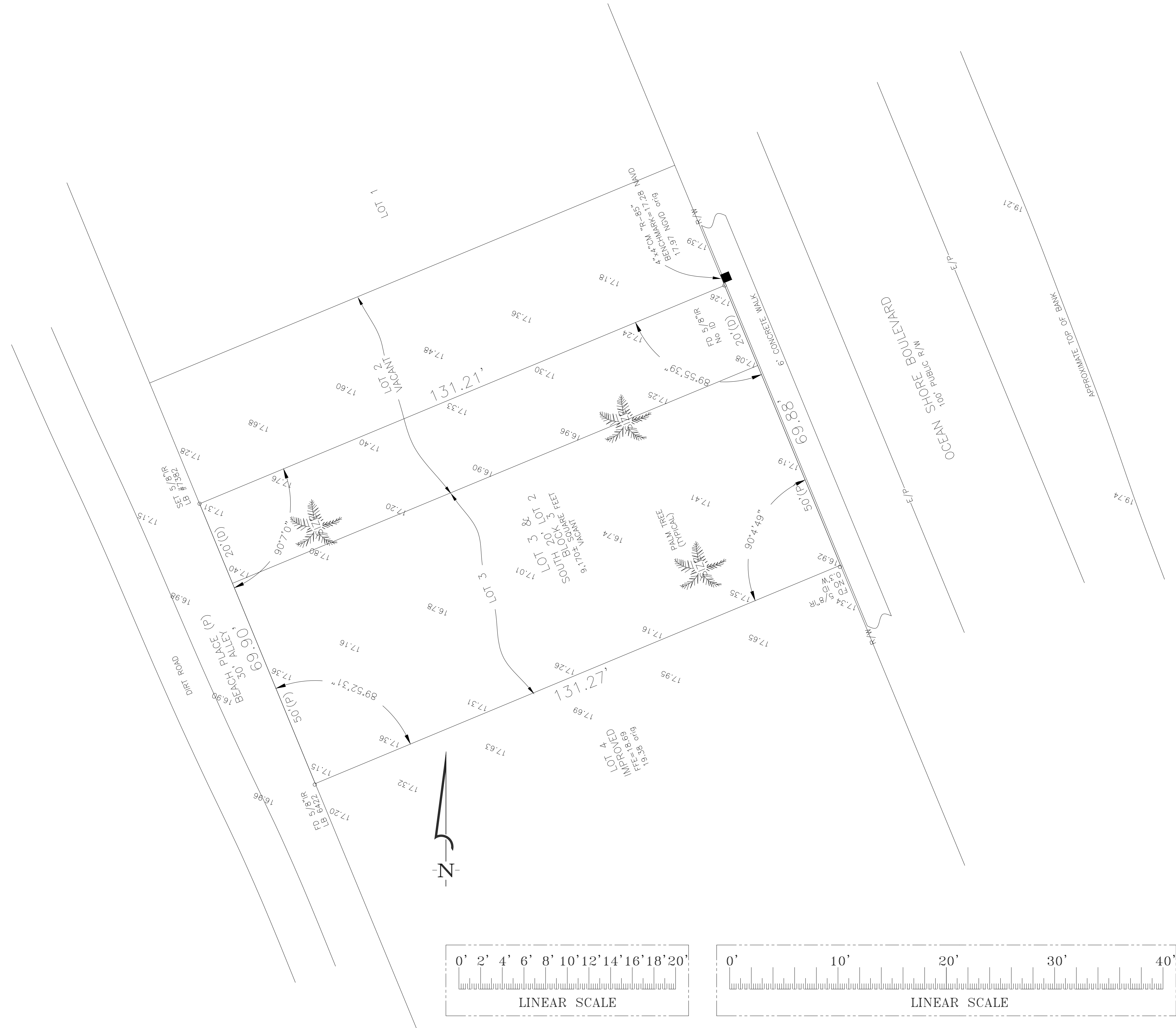
CORY A. BROCKETT, PE
 LICENSE #74677

LOCATION:

1708 S. OCEAN
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 32136

PAGE:

S - 3



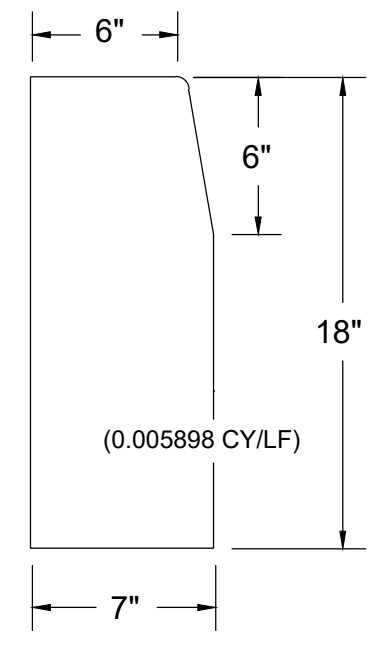
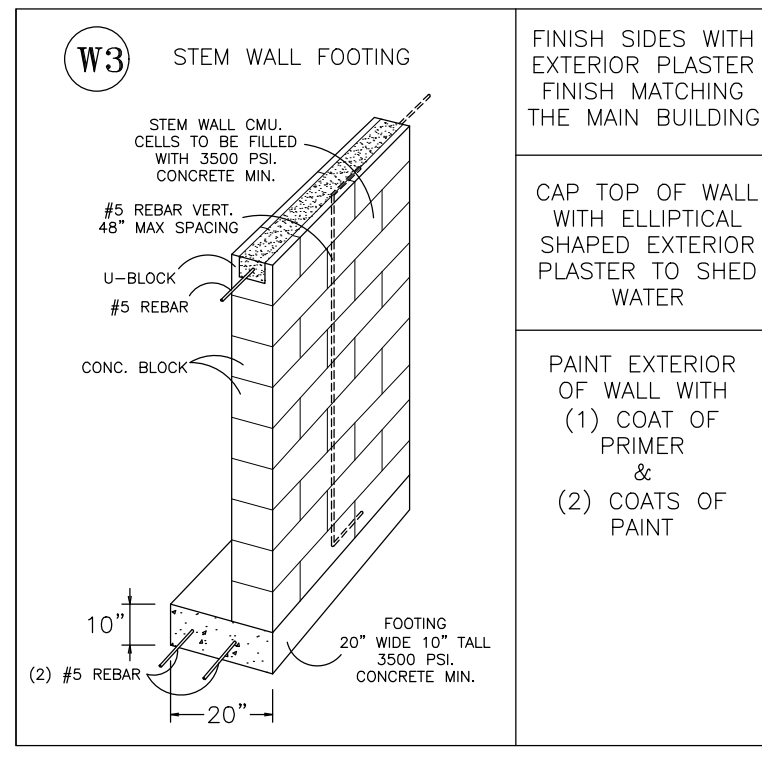
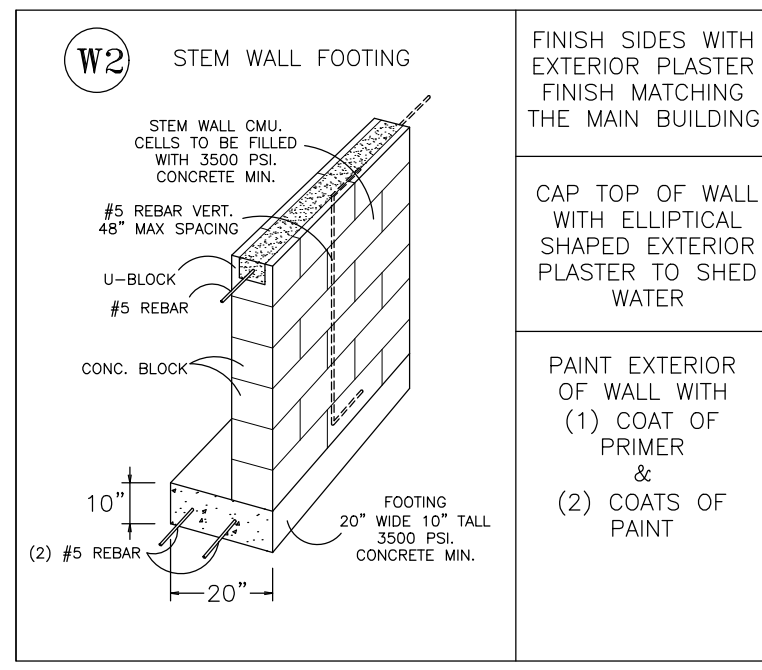
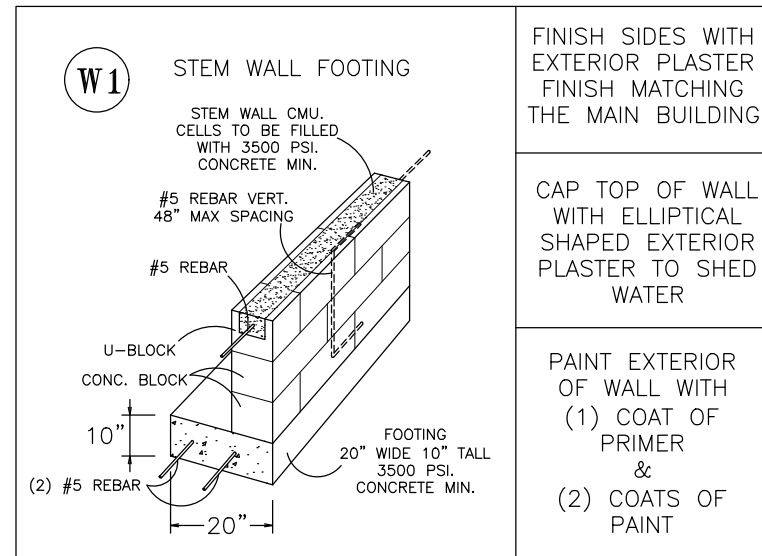
SURVEY

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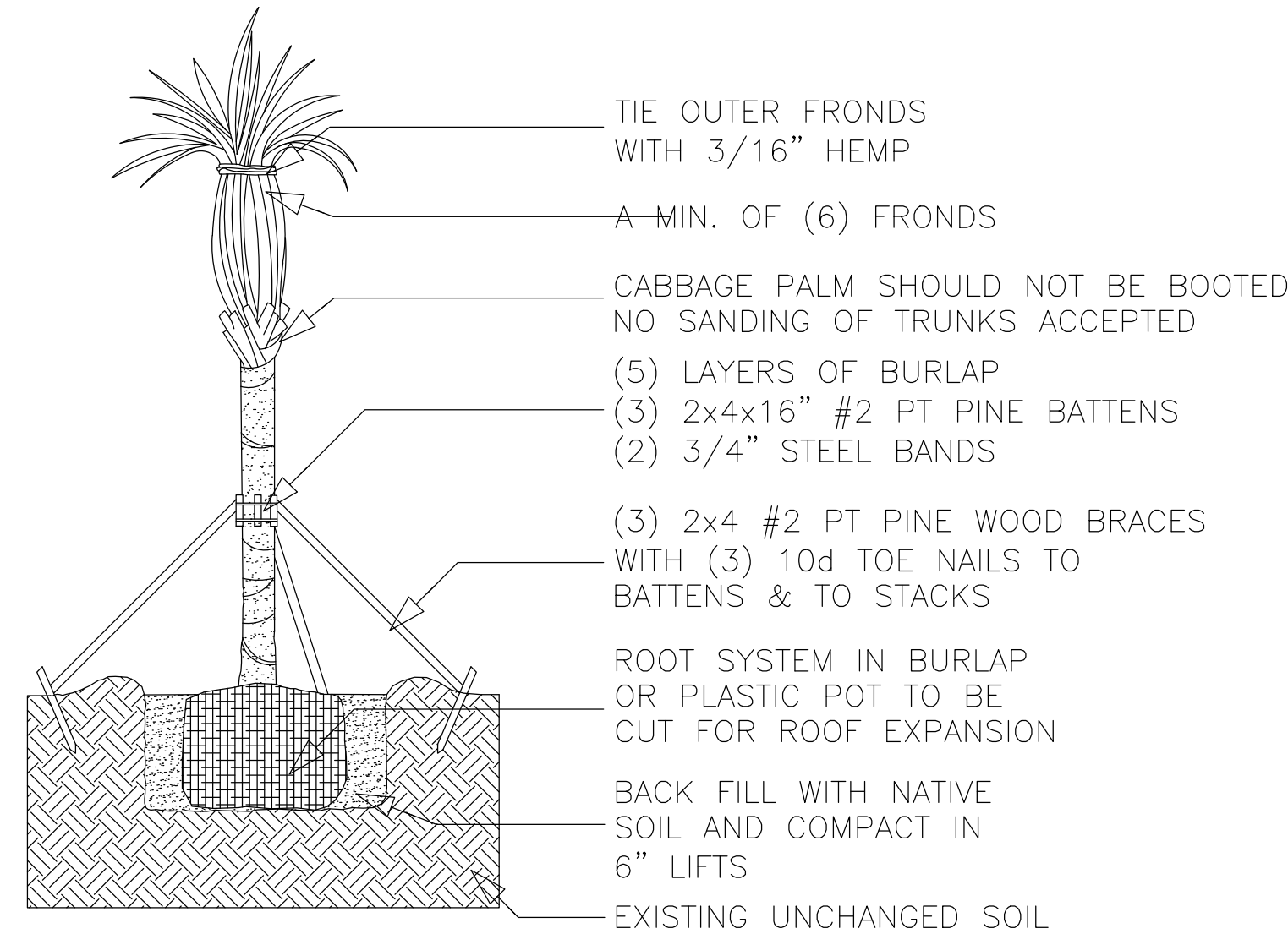
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HEADER CURB
 SPECIFIC USE: PARKING LOTS, TREE PROTECTION, ETC. NOT FOR USE IN ROADWAYS UNLESS APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT

8' HIGH PALM PLANTING & STACKING DETAIL



SEAL BOX (WIND LOADS ONLY)

VACATION RENTAL
 MULTI FAMILY
 NEW CONSTRUCTION

OWNER:
 TED BARNHILL

PLAN DATE:
 5/18/2026

"PLANS CONFORM TO"
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CORY A. BROCKETT, PE
 LICENSE #74677

LOCATION:

1708 S. OCEAN SHORE BLVD., FLAGLER BEACH, FL. 32136

PAGE:

S-2

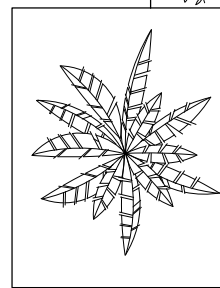
LOCATION LAYOUT NOTES

C = CONCRETE
 S = SHELL
 DG = DRIVEWAY PAVERS/GRAY GRAVEL
 D = DRY WELL
 W = WOOD DECK
 T = TRASH RECEPTACLES

100%	9,174sf	TOTAL LOT
27.02%	2,479sf	BUILDING COVERAGE
1.83%	168sf	A/C CONCRETE
10.77%	988sf	ADA CONCRETE
1.09%	100sf	TRASH CORRAL CONCRETE
40.76%	3,739sf	TOTAL NONE PERCOLATION

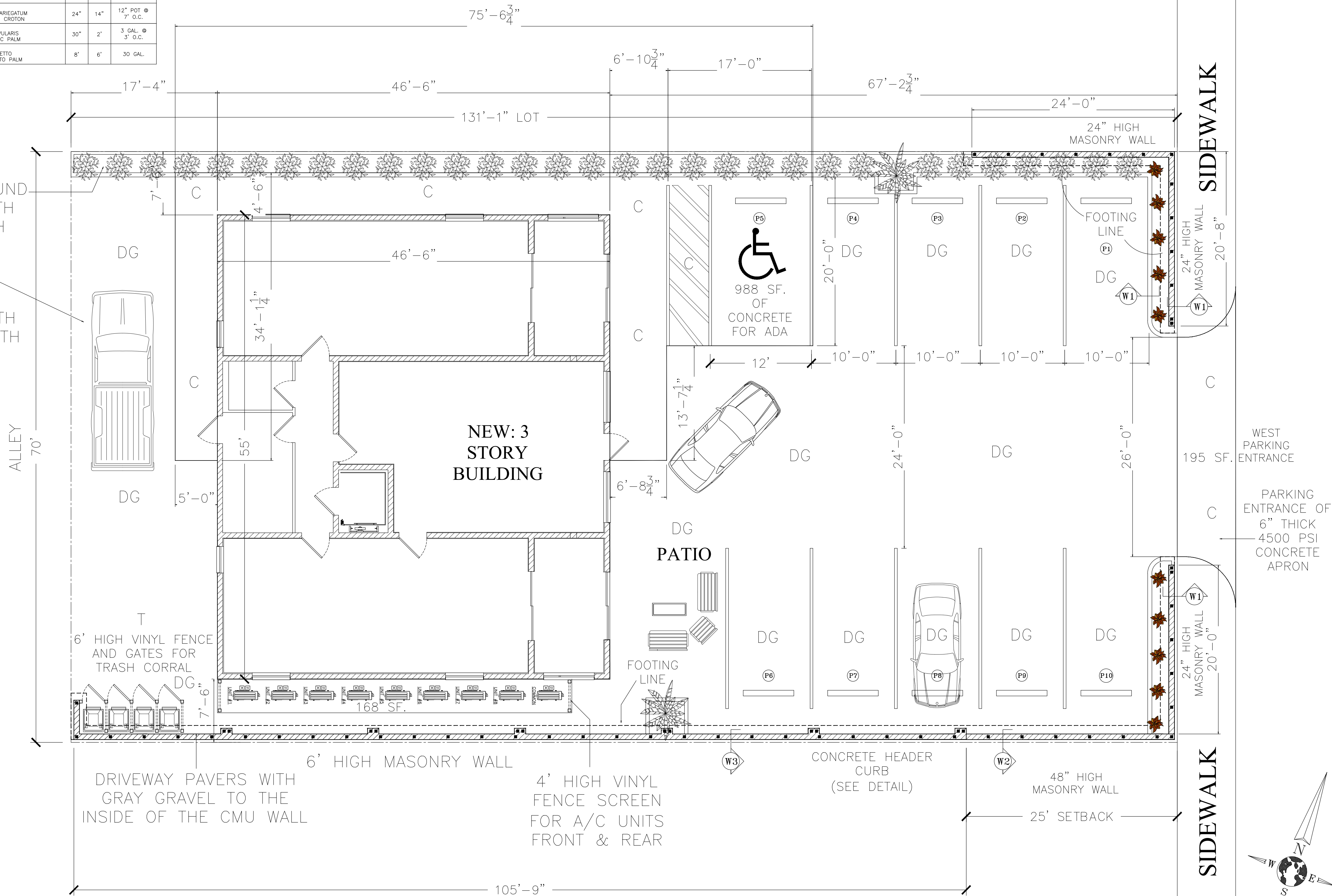
SITE PLANTING SCHEDULE

SYMBOL	QTY.	TYPE	HGT.	SPRD.	REMARKS
	10	ABBRV.-CV BOTANICAL-CODIAEUM VARIEGATUM COMMON NAME-GARDEN CROTON	24"	14"	12" POT @ 7" O.C.
	32	ABBRV.-RR BOTANICAL-RAVENEA RIVULARIS COMMON NAME-MAJESTIC PALM	30"	2'	3 GAL. @ 3" O.C.
	2	ABBRV.-SP BOTANICAL-SABAL PALMETTO COMMON NAME-PALMETTO PALM	8'	6'	30 GAL.



HEADER CURB AROUND
 PLANTER AREA WITH
 PLANTS & MULCH

DRIVEWAY PAVERS WITH
 OPEN CELL FILLED WITH
 GRAY GRAVEL



HWY A1A

VACATION RENTAL
 MULTI FAMILY
 NEW CONSTRUCTION

OWNER:
TED BARNHILL
 PLAN DATE:
5/18/2026

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 32136

PAGE:

S-1

SCALE: 1/4" = 1 FOOT

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SEAL BOX (WIND LOADS ONLY)

LOCATION LAYOUT