

FLAGLER COUNTY

TECHNICAL REVIEW COMMITTEE COMMENTS

MEETING DATE: 6 / 21 / 2023

RESUBMITTAL FOR SITE DEVELOPMENT PLAN IN A PUD (PLANNED UNIT DEVELOPMENT) DISTRICT – COQUINA COMMONS

APPLICANT: Meta World Civil Consulting / OWNER: Bijou Developments, LLC

Distribution date: June 16, 2023

Project #: 2023020081

Application #: 3352

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

REVIEWING DEPARTMENT: BUILDING DEPARTMENT

No comments at this time.

REVIEWING DEPARTMENT: COUNTY ATTORNEY

No comments at this time.

REVIEWING DEPARTMENT: COUNTY ENGINEERING

No comments at this time.

REVIEWING DEPARTMENT: DEVELOPMENT ENGINEERING

1. All area within the building should be included in the parking calculations.
2. Provide notes on the site plan that the viewing deck will not be used as a part of the restaurant/bar.
3. Sheet 3 of the plans indicates that the viewing deck is above the restaurant.
The area I was curious about is the Northeast corner of the building, I believe it is included as the leasing office? Please label on the site plan.
4. Provide the SJRWMD Permit when received.
5. Has the City of Palm Coast approved the site for water service and the MSOA approved sanitary sewer service?
6. Provide sidewalk access to the existing sidewalk at the property to the South.

REVIEWING DEPARTMENT: E-911 STAFF

No comments at this time.

REVIEWING DEPARTMENT: ENVIRONMENTAL HEALTH DEPT

No comments at this time.

REVIEWING DEPARTMENT: FIRE INSPECTOR

For a sprinkled building I can't seem to find the FDC location. Please have it noted on the plans.

REVIEWING DEPARTMENT: PLANNING DEPARTMENT

All comments have been addressed.

May 17, 2023

Staff Review Committee

Flagler County Planning & Development Services

RE: Application #: 3352

Dear Staff Review Committee,

Thank you for your comments for the above referenced project dated April 14, 2023. Please accept this letter as our official responses to your comments ([responses in blue](#)):

Building Permit

1. No comments at this time.

[Comment acknowledged. Thank you.](#)

County Attorney

1. No comments at this time.

[Comment acknowledged. Thank you.](#)

Development Engineering

1. It appears that the entrance onto A1A has been deleted. Provide an entrance onto A1A.

[As discussed at the April 19th TRC, the developer does not wish to have direct access to A1A.](#)

2. The site uses need to have specific data tables to justify the parking.

[Please see Sheet 8 for the updated tables.](#)

3. The site data table needs to have the appropriate setbacks called out in the table and not “as shown”. The information is actually not shown on that sheet. The existing PUD zoning and setback information needs to be included with this site data table.

[As discussed at the April 19th TRC, the setback dimension shown for allowed/required is based on the previously approved plan. The PUD document itself could just be altered. Please see the updated](#)

table on Sheet 8.

4. The restaurant appears to have outdoor seating. All seating within and outdoors of the needs to be included in the site data table to ensure the appropriate parking is provided.

Please see throughout the plan set that the second story deck seating has been removed. No other outdoor seating is proposed.

5. Has this been provided to the SJRWMD for compliance review.

Yes, the permit modification is underway.

6. The northeast corner of the building appears to be space that is not included in the data table. Please clarify.

Please see on Sheet 5 that it is called out as a Viewing Deck. It has already been added to the Building Use Table on Sheet 8.

7. The building called out on sheet 6 in the front is also called out as a gazebo on sheet 5. If it is a building it should also be included in the site data table.

Please see Sheet 6 for the updated call out, identifying it as a Gazebo.

8. The existing inlets to remain should be identified as such on the grading plan.

Please see Sheet 6 for the updated call out.

9. The site will drain onto the adjacent property along the southern property line. Provide additional grading along the south and west sides to ensure the runoff is contained within the site.

As discussed at the April 19th TRC, the site is designed to capture runoff and direct to regional ponds per approved SJRWMD Permits. The proposed plan will actually alleviate ponding that currently occurs along the property line.

10. The site is part of the Matanzas Shores master stormwater system. The drainage should connect to the existing Matanzas Shores stormwater system. There should not be a direct discharge to A1A ROW.

Please see response to comment 9. Runoff from this site and A1A is supposed to be captured in the swale along A1A and then piped to the pond under San Carlos Dr.

Additional comments may be provided upon future submittals.

E-911 Staff

1. The parcel is addressed already as 6700, not 6750 like they put in the application.

We have reached out several times to clarify this comment. We will address the site whatever address we are assigned. Please clarify what address you would like us to use.

2. This lot should be addressed on San Carlos rather than N Ocean Shore. This is comparable to other businesses along this road further south. I can see why addressing vacant lots has become an issue in the past now.

We have reached out several times to clarify this comment. We will address the site whatever address we are assigned. Please clarify what address you would like us to use.

Environmental Health Department

1. No comments or objections providing water and/or wastewater service is not supplied by well and/or onsite septic system.

Water will be provided by the City of Palm Coast and through the Matanzas Shores Regional system.

Fire Inspector

1. Florida Fire Prevention Code Chapter 18 section 18.2.2.1 Shall be followed for each tenant space and restaurant area. One knox box with keys to all units. Is this build being completely sprinkled or just the restaurant area?

The building will be completely sprinkled.

Planning Department

1. Why is the FDOT driveway connection removed?

As discussed at the April 19th TRC, the developer does not wish to have direct access to A1A.

2. Provide setbacks (and label in feet to the nearest parcel line) for both the structure and the monument sign.

Please see on Sheet 5 that all proposed structures have been dimensioned to nearest parcel line or that this lies on a dimensioned buffer/setback line.

3. There are no index trees (only Sabal Palms) on site according to Sheet 4 of 10 and Sheet LA1 of 4. Please confirm that Existing Sabal Palms outside of the development area will be preserved.

The existing Sabal Palms not within the limits of construction will be preserved.

4. On Sheet 5, the perimeter parking spaces are all dimensioned as 18 feet by nine feet. LDC Sec. 3.06.04.b.1 requires spaces to be 20 feet by nine feet, with an up to two foot extension of the space depth from the face of the wheel stop into the landscaped area. Please revise.

As discussed at the April 19th TRC, the wheel stops have been moved to the back of the parking spaces that are 18 feet to allow for the overhang.

5. On Sheet 8 in the Parking Summary Table, the note at the bottom of the Table indicates that a reduced parking rate (i.e., minimum number of off street parking spaces) is being requested. This will require an approval by the Board of County Commissioners based on LDC Sec. 3.06.04.D.

Please see that the second story seating for the restaurant has been removed and a variance is no longer required.

6. On Sheet 8 in the Parking Summary Table, please provide breakdown of offstreet restaurant (9,395 s.f.) parking spaces. Flagler County Land Development Code (FCLDC), Section 3.06.04(A)(15) Restaurant/bar use: minimum One (1) space for each fifty (50) square feet of gross seating area, plus one (1) space for each employee per shift.

Please see Sheet 8 for the revised parking table.

7. On Sheet 8 in the Parking Summary Table, please provide breakdown of offstreet tenant (seven tenants totaling 10,284 s.f.) parking spaces; FCLDC, Section 3.06.04(A)(10) All commercial uses excepting motels and hotels: minimum One (1) space for each two hundred (200) square feet of gross floor area.

Please see Sheet 8 for the revised parking table.

8. Recognizing that the subject parcel is within the Matanzas Shores DRI and predates the establishment of the A1A Scenic Corridor Overlay District (and recognizing the vesting provisions specifically mentioned at LDC Sec. 3.06.11.J), either provide the 40 foot wide front perimeter landscape area adjacent to A1A (on Sheet LA2 of 4) or respond as to why this parcel is exempt/vested. The same applies to side (15 foot wide) and rear (20 foot wide) perimeter landscaping: see LDC Sec. 5.01.04(5)(a)2a.

Thank you for your comment. The Developer has decided to move forward with the application without the second story restaurant that was previously proposed, and as such, will no longer require any request for variance or leniency. Therefore, this project is vested, as the differences between the subject application and the previously approved development plan for Plaza Del Playa, referenced by the County in the comment below, are minimal and would qualify as Minor Deviations per City of Palm Coast LDC Sec. 3.04.02.G. We qualify for this provision as:

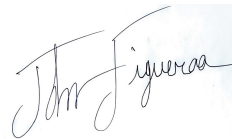
- 1) The building footprint is the same and the floorspace has been halved, compared to the previously approved plan;
 - 2) The open space is greater than previously approved plan; and
 - 3) Site circulation has been improved as updated parking space requirements were applied to the site, and access was removed from A1A. In addition, pedestrian circulation has been improved as an ADA connection to the sidewalk alongside San Carlos Dr. has been proposed, which was not in the previously approved plan set.
9. In lieu of the site plan amendment submittal, the currently approved site development plan may be utilized as previously approved for Plaza Del Playa and would be considered vested, provided that

all previous Board conditions are satisfied and that the project ultimately builds-out in substantial conformance with the approved site development plan, including the approved landscape plan.

[Thank you for your comment. This proposed plan closely replicates the approved development plan and would be in substantial conformance. Please see response to comment 8 regarding vesting.](#)

We hope that these responses to your comments, and the associated modifications to the proposed plan, will meet the County's requirements and provide the necessary clarifications/verifications. Please feel free to contact me via e-mail at amalek@metaworldengineering.com or by phone at (386) 944-9737 with any additional comments or questions.

Sincerely,



John Figueroa
for
Amir H. Malek, PE
Project Engineer
MetaWorld Civil Consulting, LLC

Attachments:

- #01- Updated Plan Set
- #02- Updated Architecture Plans
- #03- Updated Landscape Architecture Plans

FLAGLER COUNTY

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No comments at this time.



MetaWorld
Engineering
Solutions

METAWORLD CIVIL CONSULTING, LLC
3930 S. NOVA RD., SUITE 104
PORT ORANGE, FL 32127
PH: (386) 944-9737
EMAIL: AMALEK@METAWORLDENGINEERING.COM

CERTIFICATE OF AUTHORIZATION NO. 30269

CONSTRUCTION PLANS
FOR

COQUINA COMMONS

A1A AT SAN CARLOS DR.
FLAGLER COUNTY, FL

ENGINEERING PLANS SHEET INDEX:

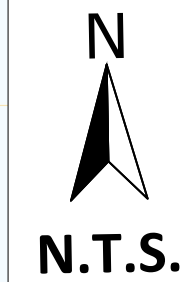
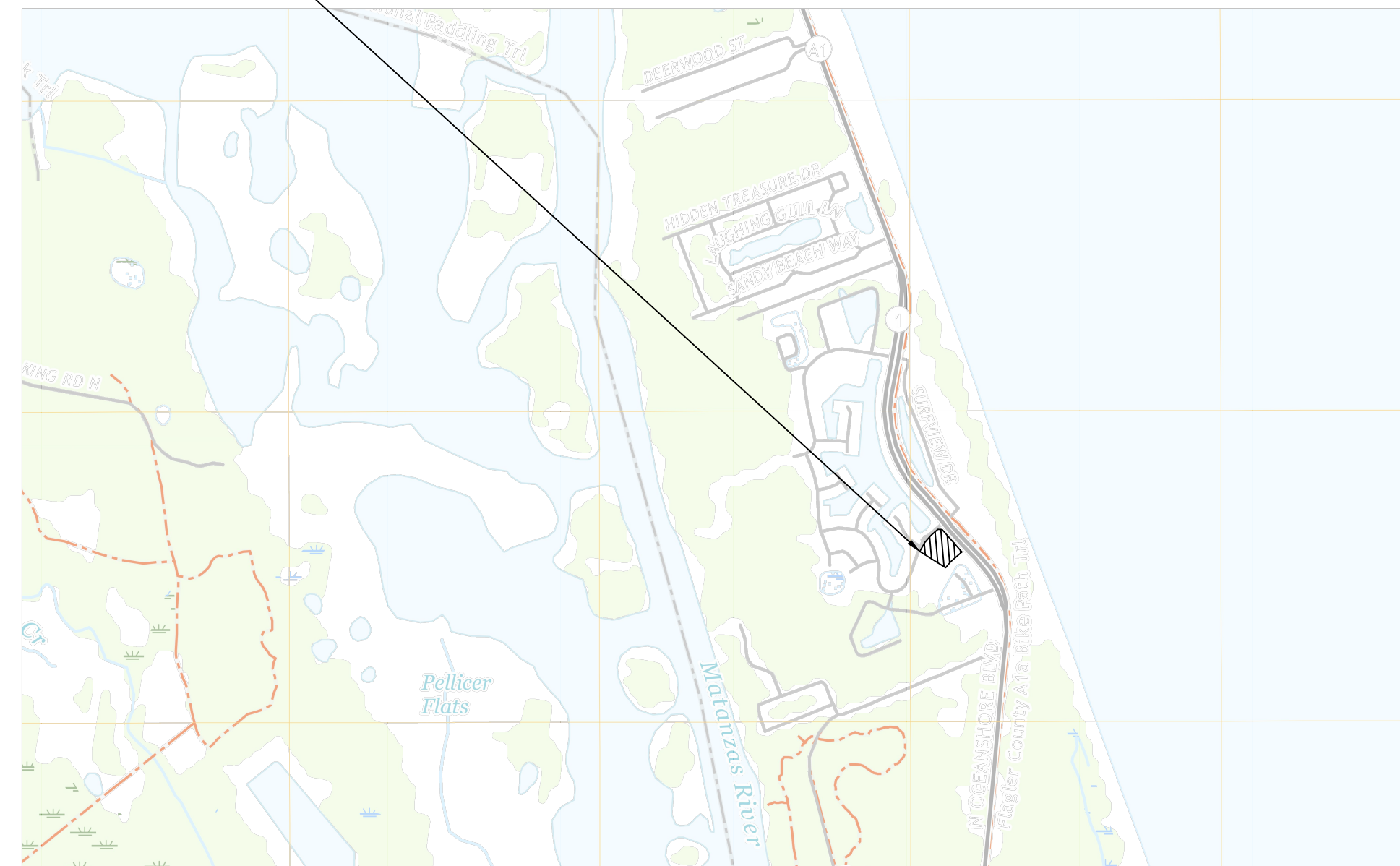
COVER	1
GENERAL NOTES	2
OVERALL DEVELOPMENT PLAN	3
DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN	4
SITE PLAN	5
GRADING AND DRAINAGE PLAN	6
UTILITIES PLAN	7
PERMITTING NOTES & DETAILS	8
CONSTRUCTION DETAILS	9-10

OTHER COMPONENTS OF CONTRACT DOCUMENTS:

LANDSCAPE ARCHITECTURE & IRRIGATION PLANS
ARCHITECTURAL ELEVATIONS

- OWNER:** BIJOU DEVELOPMENTS, LLC
2 JUNGLE HUT RD., SUITE 2
PALM COAST FL 32137
CONTACT: JOHN WALLIS
(847)312-8888
- ARCHITECT:** BEN P. BUTERA, INC.
1364 N. US HWY 1, SUITE 502
ORMOND BEACH, FL 32174
CONTACT: BEN BUTERA
(386) 676-2789
- PROJECT ENGINEER:** METAWORLD CIVIL CONSULTING, LLC
3930 S. NOVA RD., SUITE 104
PORT ORANGE, FL 32127
CONTACT: AMIR H. MALEK, PE
(386) 944-9737
- SURVEYOR:** EFIRD SURVEYING GROUP, INC
475 S. BLUE LAKE AVENUE
DELAND, FL 32724
CONTACT: LARRY EFIRD
(386) 740-4144
- GEOTECHNICAL:** ECS FLORIDA, LLC
2330 SOUTH NOVA RD., SUITE A
DAYTONA BEACH, FL 32119
CONTACT: MAX KEMNITZ, P.E.
(386) 944-9588
- LANDSCAPE ARCHITECT:** BURNS GOLF AND LANDSCAPE DESIGN, LLC
1145 MAYNARD PATH
THE VILLAGES, FL 32163
CONTACT: STEPHEN BURNS, PLA, LEED AP
(386) 843-2805

PROJECT LOCATION



VICINITY MAP

STATEMENT OF INTENT:

THE PROPOSED PROJECT IS SEEKING APPROVAL FOR A COMMERCIAL SITE WITHIN THE PREVIOUSLY APPROVED MATANZAS SHORES DRI PUD.

LEGAL DESCRIPTION:

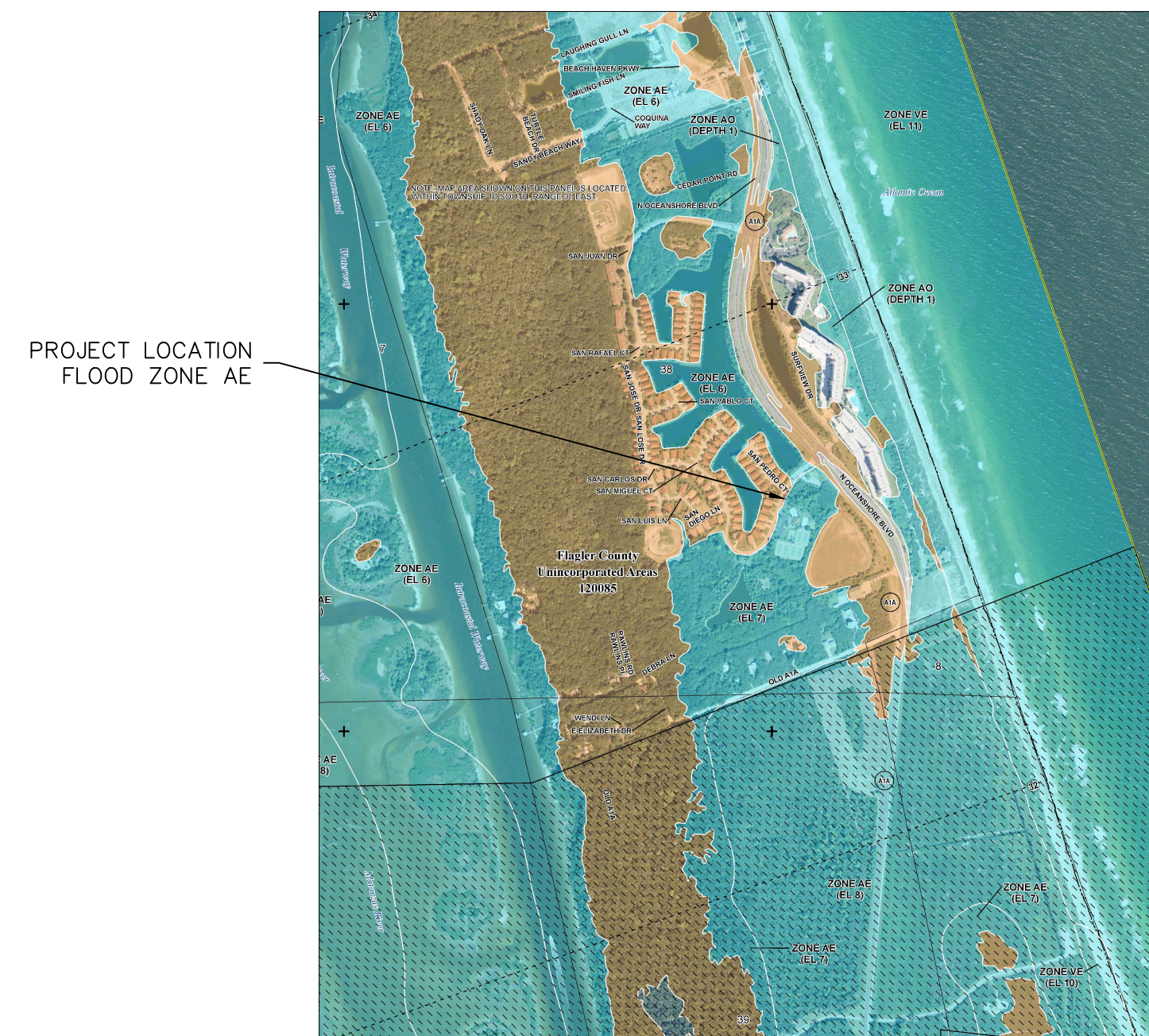
DESCRIPTION: (PER O.R.B. 2641, PG. 1594)

A PARCEL OF LAND LYING IN GOVERNMENT SECTION 38, TOWNSHIP 10 SOUTH, RANGE 31 EAST, BEING A PORTION OF THE "SUBDIVISION PLAT SECTION 88, PALM COAST" RECORDED IN MAP BOOK 26, PAGE 4 AND 5 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

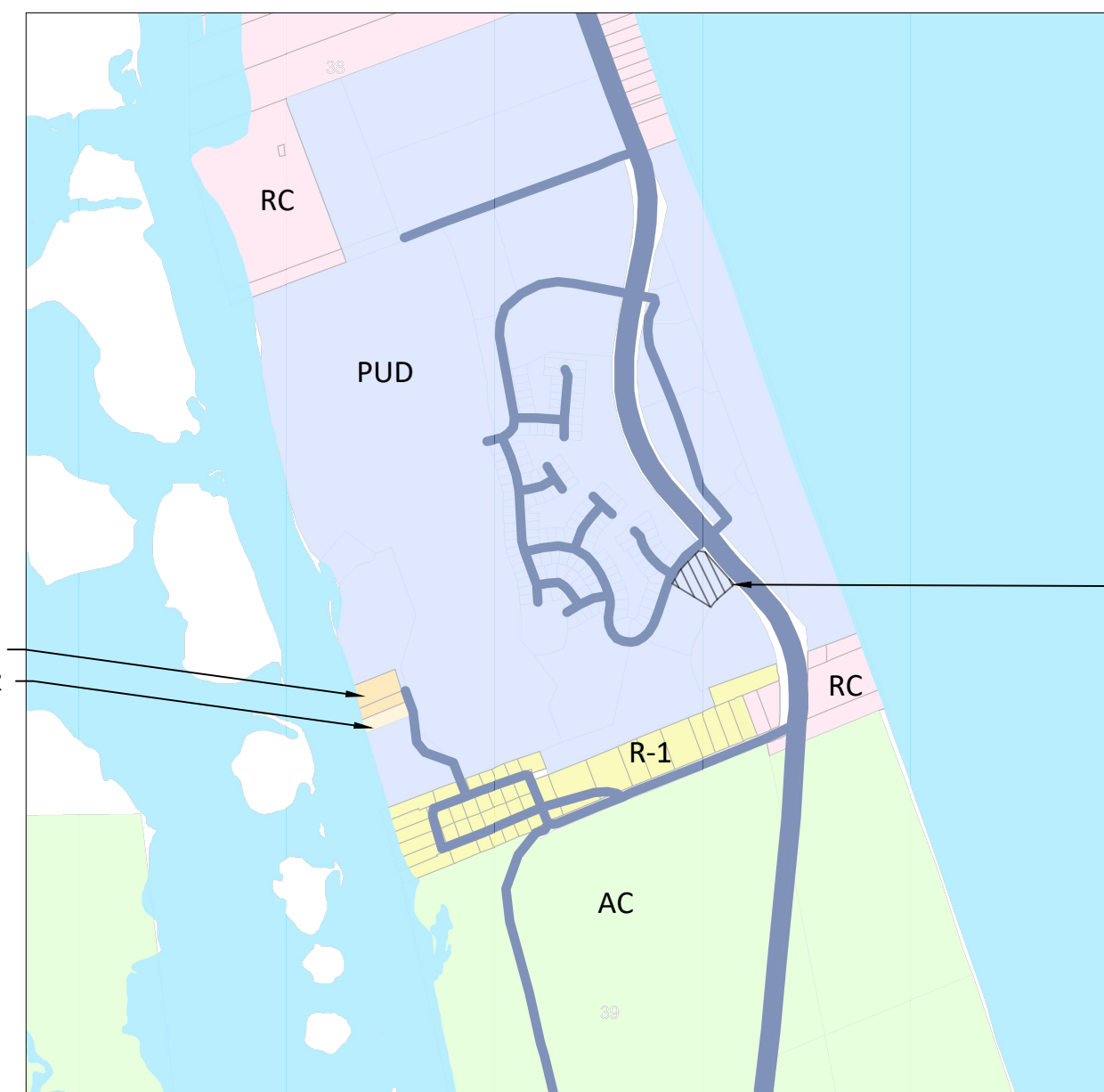
A POINT OF REFERENCE BEING THE INTERSECTION OF THE SOUTHERLY LINE OF SAID GOVERNMENT SECTION 38 EXTENDED WESTERLY TO THE EASTERLY RIGHT-OF-WAY LINE OF THE INTRACASTAL WATERWAY (500' R/W); THENCE NORTH 17°14'45" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 551.91 FEET TO A POINT BEING THE NORTHWEST CORNER OF "WILLOW WOODS SUBDIVISION" RECORDED IN MAP BOOK 5, PAGE 76; THENCE DEPARTING SAID INTRACASTAL WATERWAY NORTH 69°59'00" EAST ALONG THE COMMON BOUNDARY OF SAID "WILLOW WOODS" AND SAID SECTION 88, PALM COAST" A DISTANCE OF 3024.54 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD A-1-A AS RECORDED IN OFFICIAL RECORDS BOOK 388, PAGES 110 THROUGH 112, SAID POINT BEING ON A CURVE, THENCE NORTHWESTERLY ALONG SAID RIGHT-OF-WAY 585.77 FEET ALONG A CURVE TO THE LEFT (CONCAVE WESTERLY) HAVING A CENTRAL ANGLE OF 28°21'53"; A RADIUS OF 1183.24 FEET, A CHORD BEARING OF NORTH 27°22'50" WEST AND A CHORD DISTANCE OF 579.81 FEET TO A POINT OF TANGENCY; THENCE NORTH 41°23'47" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 61.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY SOUTH 48°36'13" WEST A DISTANCE OF 155.25 FEET TO A POINT OF CURVATURE; THENCE 85.73 FEET ALONG A CURVE TO THE LEFT (CONCAVE SOUTHEASTERLY) HAVING A CENTRAL ANGLE OF 16°22'27", A RADIUS OF 300.00 FEET, A CHORD BEARING OF SOUTH 40°25'00" WEST AND A CHORD DISTANCE OF 85.44 FEET; THENCE DEPARTING SAID CURVE NORTH 57°46'13" WEST ALONG A RADIAL LINE A DISTANCE OF 321.05 FEET TO A POINT OF NON-RADIALY INTERSECTING A CURVE, THENCE NORTHEASTERLY 230.80 FEET ALONG A CURVE TO THE RIGHT (CONCAVE SOUTHEASTERLY) HAVING A CENTRAL ANGLE OF 26°55'00", A RADIUS OF 470.00 FEET, A CHORD BEARING OF NORTH 35°08'43" EAST AND A CHORD DISTANCE OF 218.77 FEET TO A POINT OF TANGENCY; THENCE NORTH 48°36'13" EAST A DISTANCE OF 85.56 FEET; THENCE SOUTH 86°23'47" EAST A DISTANCE OF 45.25 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID STATE ROAD A-1-A; THENCE SOUTH 41°23'47" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 314.78 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES:

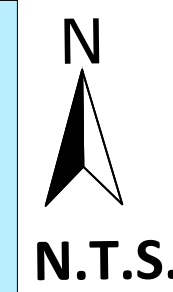
1. THE SCALE OF THIS PLAN SET MAY HAVE BEEN ALTERED DUE TO REPRODUCTION. PLAN SHEETS ARE SCALABLE WHEN PLOTTED ON FULL SIZE 24" X 36" CONSTRUCTION PLAN SHEETS.
2. THIS SITE IS LOCATED WITHIN THE FEMA FLOOD ZONE "AE" WITH A BASE FLOOD ELEVATION OF 7.0.
3. ALL SURVEY AND TOPOGRAPHIC INFORMATION BASED ON SURVEY INFORMATION PROVIDED BY THE SURVEYOR OF RECORD. CONTRACTOR TO COORDINATE WITH SURVEYOR FOR BENCHMARK INFORMATION.
4. THE LOCATION OF EXISTING UTILITIES HAS BEEN OBTAINED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND SHALL BE EACH CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT NATURE OF ALL UTILITIES AND PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY THE ENGINEER OF RECORD AS TO DISCREPANCIES, IF ANY EXIST. THE OWNER IS NOT RESPONSIBLE FOR LOCATES.



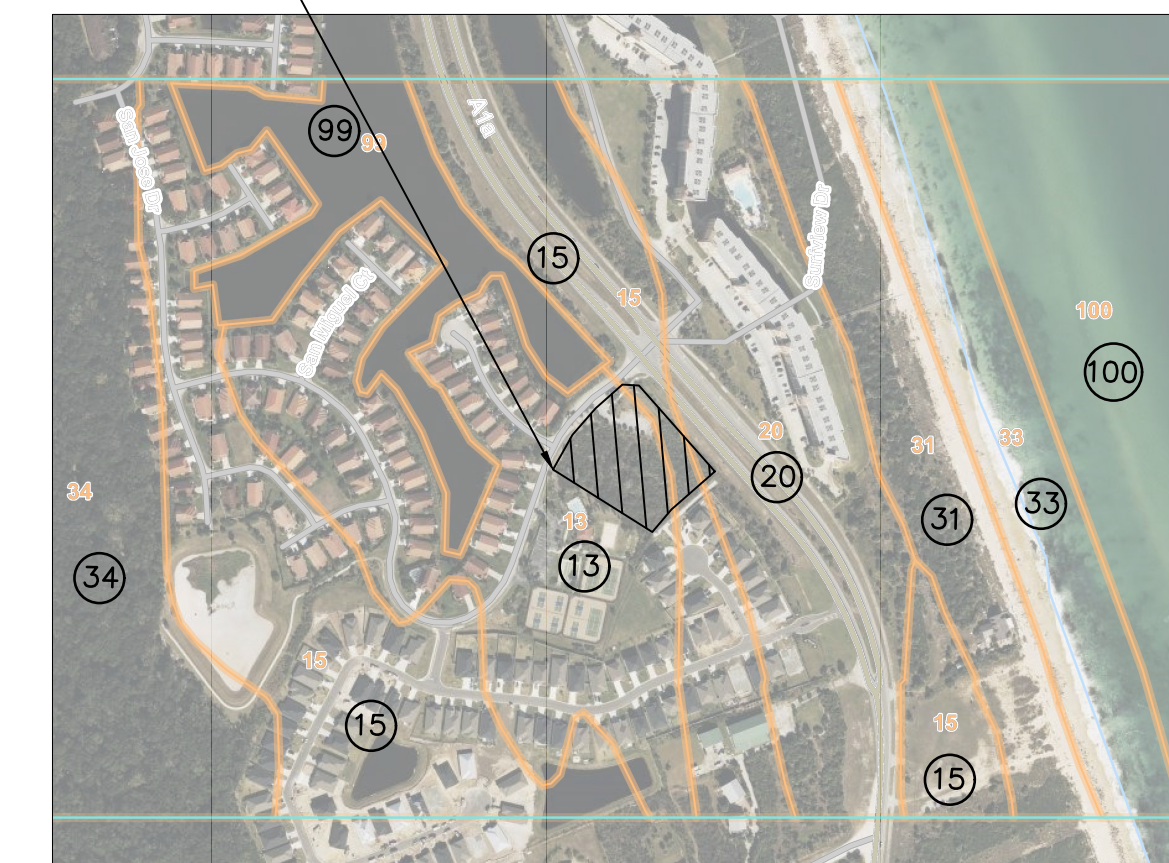
FLOOD MAP



ZONING MAP



PROJECT LOCATION



NRCS SOILS MAP



- 13 - Immokalee fine sand, 0 to 2 percent slopes
- 15 - Pomello fine sand, 0 to 5 percent slopes
- 20 - Orsino fine sand, 0 to 5 percent slopes
- 31 - Palm Beach gravelly sand, 0 to 8 percent slopes
- 33 - Beaches
- 34 - Cocoa-Bulow complex, 0 to 5 percent slopes
- 99 - Water
- 100 - Waters of the Atlantic Ocean

PROJECT LOCATION
PUD

ENGINEER CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, PRACTICING WITH METAWORLD CIVIL CONSULTING, LLC; A CORPORATION AUTHORIZED TO OPERATE AS AN ENGINEERING BUSINESS, CERTIFICATE OF AUTHORIZATION #30269, BY THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS; AND THAT I, OR OTHERS UNDER MY DIRECT SUPERVISION, HAVE PREPARED OR APPROVED THE EVALUATIONS, FINDINGS, OPINIONS, CALCULATIONS, CONCLUSIONS OR TECHNICAL ADVICE HEREBY REPRESENTED BY THIS PLAN SET.

COQUINA COMMONS

AMIR H. MALEK, P.E. 2023.05.17
FLORIDA LICENSE NO. 72482
FBPE FIRM CERTIFICATE OF AUTHORIZATION NO. 30269



Know what's below.
Call before you dig.

GENERAL NOTES:

1. CONTRACTOR TO FURNISH AND INSTALL IMPROVEMENTS SHOWN ON THESE PLANS EXCEPT WHERE SHOWN OR NOTED OTHERWISE TO BE EXISTING.
2. THE TECHNICAL SPECIFICATIONS FOR SITE WORK FOR THIS PROJECT ARE AS PER THESE PLANS AND REFERENCES MADE TO OTHER SPECIFICATIONS.
3. REFERENCES TO FLORIDA DEPT. OF TRANSPORTATION (FDOT) INCLUDES REFERENCE TO THE CURRENT EDITION OF ROADWAY AND TRAFFIC DESIGN STANDARDS. REFERENCES TO FDOT STANDARDS OR SPECIFICATIONS REFER TO THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. ELEVATION DATUM IS NAVD 1988 DATUM
5. SOO ALL AREAS DISTURBED BY ROAD RIGHTS-OF-WAY
6. THE CONTRACTOR SHALL MAINTAIN ONE SET OF THESE SITE IMPROVEMENT PLANS WITH DEVIATIONS MARKED IN RED PENCIL. UPON SUBstantial COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL RETURN ALL PLANS BEING ACCURATELY AND SUBMIT THEM TO THE ENGINEER. THE SAME PROCEDURE SHALL APPLY TO OTHER SITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, UNDERGROUND ELECTRIC, UNDERGROUND TELEPHONE, IRRIGATION AND LANDSCAPE CONSTRUCTION.
7. CONSTRUCTION LAYOUT SHALL BE UNDER RESPONSIBLE CHARGE OF A FLORIDA LICENSED SURVEYOR/MAPPER
8. UNDERGROUND UTILITIES SUCH AS TELEPHONE, ELECTRIC, CATV, WATER, SEWER, ETC. MAY EXIST ON OR ADJACENT TO THIS SITE. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL REQUEST LOCATION OF EXISTING UTILITIES FROM THE SUNSHINE STATE ONE-CALL CENTER (1-800-432-4270) PURSUANT TO THE UNDERGROUND UTILITY. DAMAGE PREVENTION AND SAFETY ACT (FLORIDA STATUTES CHAPTER 556.
9. CONTRACTORS (OR SUB-CONTRACTORS) INSTALLING WATER, SEWER, DRAINAGE AND PAVEMENT IMPROVEMENTS SHALL BE LICENSED TO CONSTRUCT PUBLIC IMPROVEMENTS BY THE FLORIDA DEPT. OF BUSINESS AND PROFESSIONAL REGULATION.
10. SAFETY PRECAUTIONS, BARRICADES AND MAINTENANCE OF TRAFFIC TO BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL SUPPLY ADDITIONAL SAFETY PRECAUTIONS AT HIS EXPENSE IF REQUESTED BY THE LOCAL GOVERNING AUTHORITY.
11. IT IS THE RESPONSIBILITY OF THE APPLICANT TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH CITY STAFF AFTER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE CITY, AND PRIOR TO STARTING ANY SITE ACTIVITIES INCLUDING LAND CLEARING.
12. ALL INVASIVE SPECIES AS LISTED BY THE STATE OF FLORIDA OR ANY OTHER FEDERAL AGENCY SHALL BE REMOVED FROM THE SITE.
13. SUBMITTAL OF AS-BUILT SITE SURVEY INCLUDING BENCHMARKS, IS REQUIRED PRIOR TO SCHEDULING A FINAL INSPECTION OF THE BUILDING BY THE BUILDING DEPARTMENT AND THE FIRE MARSHAL.

CLEARING NOTES:

1. PRIOR TO BIDDING, THE CONTRACTOR SHALL DETERMINE WHETHER BURNING IS ALLOWABLE BY GOVERNING AUTHORITIES. BURNING OF CLEARED MATERIAL IS APPROVED AND PERMITTED THROUGH THE BUNNELL OFFICE OF THE FLORIDA FORESTRY SERVICE, WHERE BURNING IS NOT PERMITTED, IT SHALL BE REMOVED AND TRANSPORTED TO AN APPROVED AND PAID FOR DISPOSAL OF CLEARING DEBRIS. NEITHER CLEARING NOR BURNING SHALL BE STARTED IN AN AREA WITHOUT THE APPROVAL OF THE INSPECTING ENGINEER.
2. THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND SUPERVISION NECESSARY TO CLEAR AND GRUB THE AREAS INDICATED ON THE CONTRACT DRAWINGS IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS. THIS REQUIREMENT INCLUDES REMOVAL OF ALL TRIMMER, BRUSH, LOGS, STUMPS, ROOTS, WEEDS, RUBBISH, ETC. (2) MACHINERY REQUIRED TO CLEAR AREAS (3) STRIPPING OF ALL GRASSY AREAS TO BE FILLED (4) DISPOSAL OF ALL LAND DEBRIS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. APPLICABLE GOVERNMENTAL REGULATIONS. (5) ALL REPAIRS, TREE TREATMENT, REGRASSING AND OTHER WORK REQUIRED TO CORRECT CONTRACTOR DAMAGE. (6) ALL CLEAN-UP IN THE WORK AREA.
3. CLEARING LIMITS SHALL BE STAKED BY THE CONTRACTORS SURVEYOR AS FOLLOWS: GUARD STAKES (LATH) SHALL BE SET AND LABELED ALONG THE CLEARING LIMITS AT 100 FOOT INTERVALS ALONG THE STRAIGHT LINES AND IRREGULAR CURVES AND IRREGULAR LINES. TURNING POINTS IN CLEARING LIMIT LINES SHALL BE DOUBLE STAKED AND MARKED TO INDICATE THE CHANGE IN DIRECTION OF CLEARING LIMITS.
4. WHERE SO ORDERED BY THE INSPECTING ENGINEER, SPECIMEN TREES WITHIN THE CLEARING LIMITS SHALL BE PROTECTED AND LEFT STANDING. ALL WORK SHALL BE DONE WITH CARE SO AS NOT TO DAMAGE VEGETATION ADJACENT TO THE LIMITS OF CLEARING WORK.

GENERAL EARTHWORK NOTES:

1. EARTHWORK PERFORMED SHALL INCLUDE ALL ITEMS INCIDENTAL TO ITS PERFORMANCE, INCLUDING BUT NOT LIMITED TO: EXCAVATION, DEWATERING, COMPACTION, SHORING, BRACING, HAULING AND SPREADING OF MATERIALS UNSUITABLE FOR BACKFILL.
2. EXISTING APPURTENANCES SUCH AS PIPES, POLES AND STRUCTURES SHALL BE CAREFULLY SUPPORTED AND PROTECTED FROM INJURY, AND IN CASE OF DAMAGE, THEY SHALL BE RESTORED BY THE CONTRACTOR WITHOUT COMPENSATION. ALL UNDERGROUND UTILITY LINES THAT MUST BE DISTURBED SHALL BE REPAIRED PROPERLY. NO ADDITIONAL PAYMENT SHALL BE MADE UNLESS SUCH AN ITEM IS SPECIFIED IN THE CONTRACT. THE CONTRACTOR SHALL BE PROVIDED WITH THE UTILITIES LIST TO THE BEST OF HIS KNOWLEDGE AND TO HIS BEST KNOWLEDGE OF THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THIS INFORMATION AND REQUEST DETAILED FIELD LOCATIONS FROM THE APPROPRIATE UTILITY COMPANY.
3. SOILS DATA OR CONDITIONS OF EXISTING PIPING AND STRUCTURES ARE SHOWN ON THE CONTRACT DRAWINGS ONLY FOR INFORMATIONAL PURPOSES. IT IS LIMITED TO THE LOCATIONS ON THE DATA INDICATED AND INDICATES ONLY THAT A PROBLEM MAY BE PRESENT AS AN INDICATION OF CONDITIONS THAT MAY ACTUALLY BE DEVELOPED THROUGH THE PERIOD OF CONSTRUCTION. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR VARIATIONS IN DATA BETWEEN THE DATA ABOVE REFERRED TO AND ACTUAL FIELD CONDITIONS THAT DEVELOP THROUGH THE PERIOD OF CONSTRUCTION.
4. TEMPORARY BRIDGES, CROSSINGS OR ACCESS WAYS SHALL BE BUILT BY THE CONTRACTOR WHERE REQUIRED TO MAINTAIN TRAFFIC DURING EXCAVATION.
5. THE CONTRACTOR SHALL AT ALL TIMES DURING CONSTRUCTION PROVIDE ADEQUATE MEANS AND DEVICES WITH WHICH TO REMOVE AND DISPOSE PROMPTLY OF ALL WATER ENTERING TRENCHES AND DRAINAGE STRUCTURES AND STRUCTURES AND STRUCTURES. ALL WATER PUMPED OR DRAINED FROM STRUCTURES TO BE BUILT THEREIN ARE COMPLETED. ALL WATER PUMPED OR DRAINED FROM STRUCTURES TO BE BUILT THEREIN ARE COMPLETED. ALL WATER PUMPED OR DRAINED WITH APPLICABLE LAWS WITHOUT DAMAGE TO OTHER WORK OR PROPERTY.

ROCK AND UNSUITABLE MATERIALS:

1. WHENEVER EXCAVATED MATERIALS ARE DEEMED BY THE INSPECTING ENGINEER TO HAVE EXCESSIVE CLAY, SILT, ORGANIC, OR OTHER UNDESIRABLE CONTENT AND CANNOT BE USED FOR BACKFILL, RESULTING IN INSUFFICIENT SUITABLE MATERIAL FROM THE EXCAVATION TO COMPLETE THE FILL, THE CONTRACTOR SHALL OBTAIN SUITABLE BACKFILL MATERIAL FROM OTHER SOURCES AND LOCAL GOVERNMENT REGULATIONS.
2. UNSUITABLE MATERIALS EXCAVATED SHALL BE HAULED AND NEATLY SPREAD WITH TWO-THOUSAND-FEET (2000') IN A NON-LOAD BEARING AREA APPROVED BY THE INSPECTING ENGINEER.
3. ROCK IS HEREBY DEFINED AS ANY MATERIAL WHICH, IN THE OPINION OF THE INSPECTING ENGINEER, CANNOT BE EXCAVATED WITH THE TYPE AND SIZE OF EQUIPMENT NORMALLY USED BY THE CONTRACTOR FOR THE EXCAVATION PERFORMED. IF ROCK IS ENCOUNTERED, EXCAVATION SHALL BE MADE TO AT LEAST SIX-INCHES (6") BELOW THE FINISH GRADE OF THE PIPE OR STRUCTURE, AND THE RESULTANT OVER-EXCAVATION SHALL BE FILLED AND COMPACTED WITH COMPACTOR TO THE FINISH GRADE. ROCK SHALL NOT BE INSTALLED ON ROCK EXCAVATED ROCK SHALL BE DISPOSED OF WITHIN TWO-THOUSAND-FEET (2000') AT THE DIRECTION OF THE INSPECTING ENGINEER. CUTTING OF ROCK EXCAVATED SHALL BE DETERMINED BY THE INSPECTING ENGINEER USING THE AVERAGE-END-AREA-METHOD RE-4.
4. THIS SITE PLAN REQUIRES THE REMOVAL OF WETLANDS, AND AS SUCH, WILL REQUIRE THE REMOVAL OF MUCK, ORGANIC SOILS, AND OTHER UNSUITABLE MATERIALS. THE COR FOR THIS PLAN SET IS NOT RESPONSIBLE FOR ANY GEOTECHNICAL OR FOUNDATION RECOMMENDATIONS OF ANY KIND. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTED IMPROVEMENTS ARE CONSTRUCTION AND DESIGN COMPLIANT WITH STATE RULES AND REGULATIONS AND/OR THE ARCHITECTURAL/STRUCTURAL DESIGNER.

GENERAL UTILITY NOTES:

1. ALL UTILITIES (ELECTRIC, PHONE, CATV, ETC) SHALL BE INSTALLED UNDERGROUND WITHIN THE PROJECT LIMITS SHOWN OTHERWISE ON THE PLANS. THE DESIGN OF THESE FACILITIES WILL BE PROVIDED BY THE UTILITY PROVIDER.
2. NOTIFY ENGINEER 24 HOURS IN ADVANCE OF INSTALLATION OF DRAINAGE AND WATER AND SEWER SYSTEMS.
3. WATER SERVICE AND SEWER SERVICE MATERIALS AND INSTALLATION TO BE IN ACCORDANCE WITH LOCAL PLUMBING CODE AND THE REQUIREMENTS OF THE LOCAL UTILITY PROVIDER.
4. FILTER FABRIC (IF ANY REQUIRED) FOR THIS PROJECT TO BE MIRAF1 140NS OR AMOCO 454S OR APPROVED EQUAL.
5. OPEN CUT TRENCHES SHALL BE SLOPED, SHEETED OR A DRAG BOSS USED AS REQUIRED BY O.S.H.A. AND ANY GOVERNING STATE LAWS AND MUNICIPAL ORDINANCES AS MAY BE NECESSARY TO PROTECT LIFE, PROPERTY OR THE WORK.
6. SHOP DRAWINGS ARE REQUIRED FOR WATER, SEWER AND DRAINAGE STRUCTURES AND MATERIALS % MAXIMUM DENSITY (PER AASHTO T-98), 95% IN UNPAVED AREAS. THE CONTRACTOR SHALL PROVIDE ONE SET OF SHOP DRAWINGS FOR EACH STRUCTURE.
7. PAVED AREAS TO BE MECHANICALLY COMPACTED TO 98 RANDOM DENSITY TEST PER 300 FEET OF PIPE (OR MINIMUM ONE TEST PER PIPE RUN BETWEEN STRUCTURES), AND ONE FULL DEPTH DENSITY TEST AT EACH STRUCTURE LOCATION. THESE DENSITY TESTS SHALL BE TRANSMITTED TO THE ENGINEER WITH TEST RESULTS SHALL BE IMMEDIATELY TRANSMITTED TO THE ENGINEER WITH ONE ADDITIONAL COPY TO THE LOCAL GOVERNING AUTHORITY'S INSPECTOR.
8. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT CRACKING OF UTILITY PIPES DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTHEN RAMPS, ETC. DAMAGED UTILITY PIPES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AT NO EXPENSE TO THE OWNER.

CURB AND SIDEWALK NOTES:

1. WHERE APPLICABLE, SIDEWALK INTERSECTIONS WITH ROADWAY AND CURBS TO BE CONSTRUCTED WITH CURB CUT RAMPS IN ACCORDANCE WITH FOOT STANDARD PLAN 522-002. WHERE APPLICABLE, NEW ROADWAYS OR DRIVEWAYS INTERSECT EXISTING SIDEWALKS, A SUFFICIENT LENGTH OF SIDEWALK SHALL BE REMOVED AND RECONSTRUCTED TO COMPLY WITH THE SLOPES AND DIMENSIONS OF FOOT STANDARD PLAN 522-002.

EROSION CONTROL NOTES:

1. COVER ALL INLET GRATES WITH FILTER FABRIC UNTIL FINAL PROJECT INSPECTION
2. THE EROSION CONTROL MEASURES LISTED ABOVE AND DELINEATED ON THE PLANS ARE THE MINIMUM REQUIRED WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED.

SEEDING, MULCHING AND SODDING NOTES:

1. SEEDING SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATION SECTION 981. MINIMUM QUANTITY: 100 LBS. PER ACRE.
2. MULCHING SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATION SECTION 981. MINIMUM QUANTITY: 5 TONS PER ACRE.
3. FERTILIZATION OF AREAS SEEDDED AND MULCHED SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATION SECTION 981. MINIMUM QUANTITY: 500 LBS. PER ACRE.
4. NEW SOO SHALL BE FRESH GREEN BAHIA SOO. REPLACEMENT SOO FOR EXISTING LAWN AREAS DISTURBED BY CONSTRUCTION SHALL MATCH THE TYPE BEING REPLACED.
5. IN AREAS WHERE SLOPES ARE SUCH THAT THE SOO MAY SLIDE, THE SOO SHALL BE PEGGED TO

FIRM EARTH. ROLLED SOO MAY BE USED IN LIEU OF PEGGED SOO AND, IF DESIRED, ROLLED SOO MAY BE USED THROUGHOUT THE PROJECT OR IN ISOLATED LOCATIONS DETERMINED BY THE CONTRACTOR TO BE IN THE BEST INTERESTS OF THE PROJECT.

GENERAL ROAD CONSTRUCTION NOTES:

1. THOSE ASPECTS OF THE ROAD CONSTRUCTION WHICH ARE NOT SPECIFICALLY DETAILED WITHIN THESE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. IN ROADWAY EMBANKMENT AREAS, THE ORIGINAL GROUND SHALL BE GRADDED FREE OF ORGANIC MATERIALS AND PREPARED TO A DEPTH OF SIX-INCHES (6") IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
3. AFTER PLACING, COMPACTING AND FINE GRADING THE BASE MATERIAL, MANHOLE CASTINGS MUST BE ADJUSTED TO CONFORM WITH THE FOLLOWING REQUIREMENTS: (A) THE ELEVATION OF THE CASTING SHALL BE AS SHOWN ON THE CONTRACT DRAWINGS. (B) THE CASTINGS SHALL BE PROPERLY TILTED TO CONFORM TO THE CROSS SLOPE OF THE PAVEMENT, AND SECURELY ANCHORED IN PLACE. ONLY NON-SHRINKING WATERPROOF GROUT SHALL BE USED. (C) ADJUSTMENT OF THE CASTING IS TO BE PERFORMED AFTER THE ROAD BASE MATERIAL IS IN PLACE. THE LOOSE MATERIAL ROUND THE CASTING SHALL BE REMOVED TO EXPOSE THE COMPACTED BASE COURSE (MINIMUM TWELVE-INCHES (12") ALL AROUND THE CASTING) AND THE VOID FILLING TO THE LEVEL OF THE BASE COURSE WITH TWO-THOUSAND-FIVE-HUNDRED (2500) P91 TWENTY-EIGHT (28) DAY CONCRETE. THIS CONCRETE RINGS SHALL BE SUFFICIENT DEPTH (MINIMUM TEN-INCHES (10") TO BEAR ON THE CONCRETE MANHOLE STRUCTURE.

NOTES REGARDING TESTING & INSPECTION REQUIREMENTS:

1. THE TESTING REQUIREMENTS LISTED ON THESE PLANS ARE THE REQUIREMENTS OF THE DESIGN ENGINEER. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO PROVIDE TESTING AS REQUIRED BY THE FOLLOWING, WHERE APPLICABLE: (1) LOCAL COUNTY REQUIREMENTS. (2) SERVICE PROVIDER REQUIREMENTS (FOR WATER A SANITARY SEWER IMPROVEMENTS). FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION DRINKING WATER SYSTEM PERMIT, FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION WASTEWATER COLLECTION PERMIT.
2. WHERE TESTING REQUIREMENTS ARE IN CONFLICT, THE MORE RESTRICTIVE REQUIREMENTS SHALL BE APPLIED AS DETERMINED BY THE INSPECTING ENGINEER.
3. INSPECTION FEES REQUIRED BY CITY AND/OR COUNTY SHALL BE PAID BY THE OWNER. HOWEVER, RE-INSPECTION FEES, IF REQUIRED, SHALL BE PAID FOR BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
4. THE CONTRACTOR SHALL NOTIFY CITY AND/OR COUNTY AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION, AND AT LEAST 48 HOURS PRIOR TO ANY TESTING BEING DONE ON THE SITE.
5. MATERIALS.

THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS, LABORATORIES, OR AGENCIES APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUBMIT SUCH SAMPLES OR TEST PIECES OF MATERIALS AS THE ENGINEER OF RECORD MAY REQUIRE. THE CONTRACTOR SHALL NOT REPLY MATERIAL TO THE CONTRACTOR UNTIL THE RESULTS OF THE TESTING ARE KNOWN AND THE INSPECTIONS OR TESTS ARE KNOWN AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER OF RECORD THAT THE MATERIAL OR FINISHED ARTICLE IS ACCEPTED. ALL MATERIALS MUST BE OF THE SPECIFIED QUANTITY AND BE EQUAL TO THE APPROVED SAMPLE. IF A SAMPLE HAS BEEN SUBMITTED, CERTIFIED COPIES OF ALL TESTS MADE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AS WELL AS TO THE LOCAL GOVERNING BODY'S DESIGNATED SITE INSPECTOR. THE LOCAL INSPECTING ENGINEER WILL BE ADVISED BY THE LOCAL GOVERNING BODY OF ALL TESTING RESULTS AND CERTIFICATES PRIOR TO THE ENGINEER OF RECORD REQUESTING A FINAL PROJECT INSPECTION.

6. LABORATORY CONTROL AND CERTIFICATIONS:
 - 6.1. SPECIFICATIONS, SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE MSH TO OR ASTM, WHERE MSH TO OR ASTM SPECIFICATIONS ARE AVAILABLE. TESTS NOT SPECIFIED SHALL BE MADE TO THE MOST RECENT STANDARD SPECIFICATIONS OR TENTATIVE SPECIFICATIONS OF THE MSH TO OR ASTM IN FORCE ON THE DATE OF THE TEST.
 - 6.2. TEST & CERTIFICATE: THE CONTRACTOR SHALL ENGAGE AN APPROVED TESTING LABORATORY TO PROVIDE THE FOLLOWING TESTS AND CERTIFICATIONS SIGNED BY A REGISTERED ENGINEER OF THE STATE OF FLORIDA. ALL TECHNICIANS PERFORMING THE TESTS SHALL BE STATE CERTIFIED FOR THE TESTING PERFORMED. ADDITIONAL TESTS THAT MAY BE REQUIRED BY EITHER THE ENGINEER OF RECORD OR THE LOCAL GOVERNING BODY SHALL ALSO BE PROVIDED BY THE CONTRACTOR, AND THE FOLLOWING SHALL NOT BE TAKEN AS A COMPLETE AND EXHAUSTIVE LIST OF THE CONTRACTOR'S TESTING RESPONSIBILITIES:
 - 6.2.1. SOIL ANALYSIS FOR STRUCTURAL FILL MATERIAL PRIOR TO INSTALLATION.
 - 6.2.2. PROCTOR DENSITIES, MOISTURE CONTENT, COMPACTED FILL DENSITIES AND ATTERMENT LIMITS.
 - 6.2.3. ANALYSIS OF RECYCLED CONCRETE BASE MATERIAL PRIOR TO INSTALLATION.
 - 6.2.4. ASPHALT MIX DESIGN, BITUMEN CONTENT, SIEVE ANALYSIS, HUBBARD FIELD STABILITY TESTS, NUCLEAR DENSITY TESTS (BACKSCATTER METHOD), AND ANALYSIS OF CORE SAMPLERS.
 - 6.2.5. CONCRETE MIX DESIGNS FOR ALL APPLICATIONS INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS, APRONS AND DRIVEWAYS.
 - 6.2.6. COMPRESSIVE TEST CYLINDERS AND SLUMP TESTS FOR ALL APPLICATIONS OF CONCRETE, INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS, APRONS, AND DRIVEWAYS.
7. ALL UNDERGROUND UTILITY TESTING TO BE COMPLETED IN ACCORDANCE WITH THE LOCAL GOVERNING BODY'S UTILITIES DEPARTMENT DESIGN STANDARDS.

SIGNAGE, TRAFFIC CONTROL AND PAVEMENT MARKING NOTES:

1. TRAFFIC MARKINGS SHALL CONSIST OF REFLECTORIZED STRIPES, EXTRUDED THERMOPLASTIC WITH GLASS SPHERES, PER FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991 AND 1994 SUPPLEMENTAL SPECIFICATIONS.
2. WHERE CENTERLINE STRIPING IS SPECIFIED ON THE PLANS, STRIPE SHALL BE SIX (6) INCHES WIDE AND OF COLOR (WHITE OR YELLOW) AS SPECIFIED. STRIPES SHALL BE INSTALLED AT THE RATIO OF TEN (10) FEET OF STRIPE AND THIRTY (30) FEET OF SKIP OF EACH FOOTY (40) FEET OF ROADWAY UNLESS OTHERWISE NOTED.

3. UNLESS SPECIFIED OTHERWISE CENTERLINE MARKINGS SHALL BE ONE HUNDRED (100) FEET OF BLUE V-LOUVE STRIPING WHEN APPROACHING A NON-SIGNALIZED INTERSECTION.
4. BLUE, BIDIRECTIONAL, REFLECTIVE PAVEMENT MARKERS (RPMs) USED TO IDENTIFY FIRE HYDRANTS ARE TO BE RESTORED/INSTALLED IN THE MIDDLE OF THE ADJACENT TRAVEL LANE OF ADJACENT STREET(S). RPMs TO BE IN ACCORDANCE WITH FOOT INDEX NO. 17352.
5. TRAFFIC CONTROL DURING CONSTRUCTION TO BE IN ACCORDANCE WITH FOOT INDEX NO. 605 THROUGHOUT THE CONSTRUCTION PERIOD.
6. TRAFFIC SIGNS SHALL BE IN ACCORDANCE WITH FOOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
7. TRAFFIC NAME SIGNS TO BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL GOVERNMENT PUBLIC WORKS DEPARTMENT.
8. TRAFFIC AND STREET SIGN POSTS SHALL BE ROUND ALUMINUM POSTS PER FOOT INDEX NO. 11860.

WEEDING, MULCHING AND SODDING NOTES:

1. EIGHT INCHES (8") IN DIAMETER AT CHEST HEIGHT THAT ARE DAMAGED BY THE CONTRACTOR WILL BE TREATED BY ONE OF THE FOLLOWING METHODS: PINE TREES (ALL SPECIES): A MIXTURE OF TWELVE PERCENT (12%) BENZINE HEXACHLORIDE (60%) EMULSIFIED CONCENTRATE SHALL BE MIXED AT THE RATE OF ONE (1) PART OF BEE HIVE GALLON OR #2 FUEL OIL SPRAY DAMAGED AREA LIBERALLY. SPRAY THE TRUNK OF THE TREE FROM GROUND LEVEL TO A HEIGHT OF SIX-FOOT (6"). SPRAYING OF DAMAGE TREES SHALL BE COMPLETED WITHIN FIVE (5) DAYS AFTER INJURY OCCURS. FOR HARDWOODS OR TREES INCLUDING PALMS AND PALM TREES, TREE TRUNK SPRAYING POINT WILL BE APPLIED TO THE DAMAGED AREA. THE PAINT SHALL BE APPLIED IN SUFFICIENT QUANTITY SO AS TO FORM AN AIR-TIGHT SEAL. SPRAYING OR PAINTING OF THE DAMAGED TREES SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS AFTER THE INJURY OCCURS. IN THE CASE OF SEVERE DAMAGE TO "SPECIMEN" HARDWOODS, THE INSPECTING ENGINEER MAY REQUIRE THE CONTRACTOR TO RETAIN A SKILLED AND LICENSED TREE SURGEON TO PROPERLY TREAT THE DAMAGE. NO COMPENSATION SHALL BE MADE TO THE CONTRACTOR FOR TREATING DAMAGED TREES.

DESIGN ENGINEER'S NOTES:

DISREGARD NOTES ON THIS SHEET THAT ARE NOT APPLICABLE TO THIS PROJECT. IN CASE OF CONFLICTING SPECIFICATIONS OR NOTES, THE MORE RESTRICTIVE CONDITION SHALL APPLY AS DETERMINED BY THE DESIGN ENGINEER.

STORMWATER CONSTRUCTION NOTES:

1. ALL MATERIALS, INSTALLATION AND SEDIMENT AND EROSION CONTROL FOR SUBDIVISIONS AND SITE PLANS SHALL CONFORM TO LOCAL STANDARDS, FDEP STANDARDS, FOOT STANDARD SPECIFICATIONS AND BRIDGE CONSTRUCTION (LATEST EDITION), AND FOOT DESIGN STANDARDS (LATEST EDITION).
2. CONTRACTOR SHALL FOLLOW REQUIRED EROSION AND SEDIMENT CONTROL PRACTICES AND INCLUDE AN EROSION CONTROL STATEMENT AND EROSION CONTROL PLAN. THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS. THE LOCAL GOVERNING BODY RESERVES THE RIGHT TO ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT AND THROUGHOUT PROJECT CONSTRUCTION.
3. WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH INTENDS TO REMAIN THROUGHOUT CONSTRUCTION, CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE. IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH SLOTTED CURBS OR HARDWOODS, CONTRACTOR MAY APPLY AN APPLICATION OF GEOTEXTILE PROTECTION FROM IMPACT DUE TO CONSTRUCTION. THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED.
4. AFTER A CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. GRASS COVERAGE IS TO BE ESTABLISHED WITHIN THIRTY DAYS.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY (20) DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR SHALL INSTALL SEED AND MULCH OR SOO AND WATERING, AS REQUIRED.
6. FOR INSTANT CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
7. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED, INCLUDING WATERING AND TRIMMING BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED.
8. ANY BURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE PERMITS AND LICENSING DIVISION PRIOR TO EACH DAY OF BURNING BURNED.
9. LANDSCAPE PLANS SHALL SHOW THE DESIGN LOCATION OF TEMPORARY AND PERMANENT PLANTINGS RELATIVE TO THE LOCATION OF PUBLIC UTILITIES AND STORMWATER INFRASTRUCTURE IN ORDER TO EVALUATE POTENTIAL CONFLICTS.
10. THE MAXIMUM PERMISSIBLE SLOPE OF ANY NEW SITE GRADING IS 1:3 (VERTICAL: HORIZONTAL). THIS LIMIT APPLIES TO ALL AREAS EXCEPT STORMWATER COLLECTION AND TREATMENT SYSTEMS WHICH HAVE A MAXIMUM SIDE SLOPE OF 1:4. (EXCEPT BELOW THE WATER TABLE LEVEL).
11. ALL SWALES AND DITCHES SHALL HAVE A MAXIMUM PERMITTED FRONT (SIDE) SLOPE NOT STEEPER THAN 1:4. THE MAXIMUM PERMITTED BACK (SIDE) SLOPE SHALL BE 1:3. PROVIDED THAT A 6" WIDE BERM IS INSTALLED ON EITHER SIDE OF THE SWALE AND TOP OF BERM ELEVATIONS SHALL BE MODIFIED AT INTERVALS OF 100' AND AT SIGNIFICANT GRADE CHANGES.
12. NORMAL ROADSIDE SWALES ARE PERMITTED TO BE CONSTRUCTED TO A MAXIMUM DEPTH OF 18" BELOW THE OUTSIDE EDGE OF PAVEMENT OR CONCRETE CURB.
13. WHEN CULVERTS ARE INSTALLED TO MAINTAIN THE FLOW OF EXISTING DRAINAGE WAYS WHERE

NEWLY PROPOSED ROADS WOULD OTHERWISE SEVER THE DRAINAGE RIGHT-OF-WAY, CULVERTS CROSSING RIGHT-OF-WAYS SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE UNDER THE ROADWAY. CULVERTS SHALL BE DESIGNED TO ACCOMMODATE THE FLOW FROM THE 100 YEAR 24 HOUR STORM EVENT WITHOUT FLOODING ADJACENT PROPERTY OR SURCHARGING THE SAID ROADWAY.

13. WET POND DEPTHS SHALL BE EIGHT FEET MINIMUM TO FIFTEEN FEET MAXIMUM, MEASURED FROM STREAM BED OR GROUND SURFACE TO BOTTOM OF DEPTHS.
14. WHEN A WET POND IS INCORPORATED WITHIN A SUBDIVISION AND IS ABUTTED BY LOTS, SUCH ABUTTING LOT LINES SHALL EXTEND INTO THE LAKE PROPORTIONATELY ENCOMPASSING ALL OF THE LAKE AREA.
15. WET POND INFLOW AND OUTLET STRUCTURES SHALL GENERALLY BE CONSTRUCTED WITH REINFORCED CONCRETE AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY. SKIMMERS FOR WET PONDS SHALL BE CONSTRUCTED SUCH THAT THE BOTTOM EXTENDS 6" BELOW THE NORMAL WATER LEVEL AND 6" ABOVE THE OVERFLOW. FOR DRY PONDS, THE SKIMMER BOTTOM SHALL BE SET 6" BELOW THE LOWEST OVERFLOW ELEVATION AND 6" ABOVE THE HIGHEST POINT OF OVERFLOW. ALL SKIMMERS SHALL BE CONSTRUCTED WITH A MINIMUM 1/4" THICK ALUMINUM OR FIBERGLASS ADEQUATELY SUPPORTED TO PREVENT DEFLECTION.
16. ADEQUATE MAINTENANCE BERMS, MINIMUM 10' IN WIDTH, SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL WET PONDS AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF LAKES. APPLICABLE CROSS SECTIONS SHALL BE INCLUDED ON ALL FINAL DEVELOPMENT PLANS.
17. STORM SEWERS AND CULVERTS LOCATED IN ROADWAY RIGHT-OF-WAYS AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF CLASS II RIB-RING REINFORCED CONCRETE PIPE. OUTSIDE OF ROADWAY EASEMENTS AND R.O.W., PIPE MAY BE MADE OF ALTERNATE MATERIALS INCLUDING:
 - * SMOOTH INNER WALL, HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, SHASHTO MP7, ASTM D3338 AND ASTM D2412 FOR SIZES UP TO 42" IN DIAMETER OR
 - * PVC IN ACCORDANCE WITH THE PROVISION NOTED IN THE "SEWER DETAILS" OF THESE SPECIFICATIONS.
18. ALL UNDERGROUND UNDERGROUNDS, PIPE JOINTS LOCATED IN ROADWAY RIGHT-OF-WAYS AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH NON-WOVEN FILTER FABRIC WITH A MINIMUM WIDTH OF 24" AND A MINIMUM OF 20% OVERLAP. GASKETS ARE NOT PERMITTED AS AN EQUIVALENT TO WRAPPING. WRAPPING OF UNDERGROUNDS AND PIPE JOINTS IS ENCOURAGED ON PRIVATE SITES. ADDITIONALLY, ALL JOINTS SHALL BE RUBBER GASKETED FOR BOTH ROUND AND ELLIPTICAL PIPE.
19. DEPTH OF COVER MEASURED TO THE TOP OF PIPE (INCLUDING THE BELL JOINT) SHALL BE A MINIMUM OF 3 FEET OVER RCP. DEVIATION FROM THIS REQUIREMENT MAY BE ALLOWED BY INCREASING THE PIPES STRUCTURAL STRENGTH. IF AN ALTERNATE MATERIAL IS APPROVED, THE DEPTH OF COVER SHALL MEET MANUFACTURER'S RECOMMENDATIONS.
20. STORMWATER FORCE MAINS WILL USE NO. 12 INSULATED SINGLE STRAND COPPER WIRE SHALL BE ATTACHED TO ALL PIPES AND TERMINATED AT THE VALVES IN ACCORDANCE WITH RECLAIM WATER VALVE AND VALVE BOX DETAIL. TRACER WIRE SHALL BE TESTED FOR CONTINUITY UNDER SUPERVISION BY CITY REPRESENTATIVE AFTER INSTALLATION.
21. STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE FOOT COMPLIANT. ENTIRE PORED IN PLACE OR PRECAST REINFORCED CONCRETE STRUCTURES ARE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION. ALL STRUCTURES SHALL COMPLY WITH ASTM C-478 AND SHALL HAVE 6" THICK WALLS. THINNER WALLS MAY BE PERMITTED PROVIDING THE DESIGN IS SUBMITTED TO THE LOCAL GOVERNING BODY FOR APPROVAL. THE DEPTH OF COVER SHALL BE AS SPECIFIED TO ACCEPT ONE HUNDRED PERCENT OF THE DESIGN STORM RUNOFF WITHOUT IMPEDING THE FLOW OF TRAFFIC. FOR ROADWAY SECTIONS WITH DESIGN SPEEDS OF 45 MPH AND LESS AND WITHOUT FULL WIDTH SHOULDERS, THE LOCAL INSPECTOR SHALL BE ADVISED OF ROADWAY CROSS SECTIONS PER HOUR SHALL EXCEED ONE-HALF OF THE TRAVEL LANE ADJACENT TO THE GUTTER. FOR SITE PLANS, INLET SPACING SHALL BE DESIGNED TO ACCEPT ONE HUNDRED PERCENT OF THE RUNOFF FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR WITHOUT RESULTING IN PONDING OF WATER AROUND THE INLET.
22. ALL STORMWATER INLETS SHALL MEET FOOT CRITERIA IN THE FOOT DESIGN STANDARD LATEST EDITION.
23. ALL STORMWATER INLETS SHALL BE REINFORCED CONCRETE PIPE MEETING FOOT SPECIFICATIONS.
24. ALL GASKETS SHALL BE LUBRICATED BEFORE BEING INSTALLED.
25. ALL FITTINGS SHALL MEET THE MINIMUM RESTRAINED REQUIREMENTS PER ANSI/AWWAW/DWPA. POTENTIAL SEVERITY TO THE ROADWAY SHALL BE RESTRAINED.
26. THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CONDITIONS OF STATE AND LOCAL PERMITS AND SHALL MEET THE REQUIREMENTS OF THE ENTITY WHICH WILL OPERATE THE SYSTEM. IN CASE OF CONFLICTING SPECIFICATIONS, THE MORE RESTRICTIVE CONDITION SHALL BE FOLLOWED.
27. "RCP" OR "ERCP" DRAINAGE PIPE TO BE REINFORCED CONCRETE PIPE MEETING FOOT SPECIFICATIONS.
28. AFTER CLEARING LIMITS, PIPE 4-INCH THROUGH 24-INCH DIAMETER TO BE SMOOTHED HIGH-DENSITY POLYETHYLENE CONFORMING TO AASHTO CLASSIFICATION "TYPE S" (GROUTED INNER WALL) AND MANUFACTURED IN ACCORDANCE WITH AASHTO STANDARD M-294. GASKETS FOR JOINTS SHALL MEET AASHTO STANDARD E-477. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ASTM RECOMMENDED PRACTICE D2321.
29. PIPES EXTENDING INTO INLETS AND MANHOLES SHALL BE CUT NEARLY FLUSH WITH THE INSIDE SURFACE OF THE WALL.
30. ALL HANDLING HOLES AND ANNULAR SPACES IN CONCRETE STRUCTURES SHALL BE PLUGGED WATER TIGHT WITH EMBOCO NO. 167 NON-SHRINK MORTAR OR APPROVED EQUAL. THE MORTAR SHALL BE FINISHED SMOOTH AND FLUSH WITH THE ADJOINING INTERIOR AND EXTERIOR SURFACES.
31. FOR ALL CONCRETE STRUCTURES, ALL WIRES AND IRREGULAR PROJECTIONS SHALL BE CHIPPED AWAY TO A SMOOTH SURFACE.
32. GRAVITY STORM SEWER PIPE SHALL BE LAID TRUE TO THE LINE AND GRADE SHOWN ON CONSTRUCTION PLANS.
33. ANY VISIBLE LEAKS IN THE STORM DRAINAGE SYSTEM SHALL BE REPAIRED.
34. PIPE LENGTHS SHOWN ON THE PLANS ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES. PIPE LENGTHS TO MITERED END SECTIONS ARE TO THE END OF THE STRUCTURE. PIPE LENGTHS TO HEADWALLS AND PRECAST END SECTIONS ARE TO THE FINISHED FACE OF THE STRUCTURE.
35. ALL DRAINAGE STRUCTURES WITHIN THE RIGHT-OF-WAY SHALL BE H=20 RATED.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAKING AVAILABLE ON-SITE, ALL REQUIRED FEDERAL, STATE, AND LOCAL PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY PERMITS REQUIRED BY THE LOCAL GOVERNING BODY TO MAINTAIN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS REQUIREMENTS.
2. THE CONTRACTOR SHALL AS A MINIMUM, PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN IN ACCORDANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) GUIDELINES.
3. INITIAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND APPROVED BY THE LOCAL GOVERNING BODY PRIOR TO ANY LAND DISTURBING ACTIVITIES.
4. PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSIONS AND SEDIMENT CONTROL MEASURES (BEST MANAGEMENT PRACTICES) REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF WATER QUALITY STANDARDS. IF A CONTRACTOR'S EROSION AND SEDIMENT CONTROL PLAN IS APPROVED AS PART OF A PERMIT, THE PRACTICES MUST BE IN ACCORDANCE WITH THE APPROVED PLAN. IF SPECIFIC SITE CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL OF SEDIMENT, THE CONTRACTOR SHALL MANAGE AND SEDIMENT CONTROL PLAN, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES AS NECESSARY.
5. CONTRACTOR SHALL MINIMIZE DISTURBANCES OF EXISTING VEGETATION AND DRAINAGE PATTERNS TO MAXIMUM EXTENT PRACTICABLE. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 14 CALENDAR DAYS AFTER THE COMMENCEMENT OF ANY ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
6. STORM WATER RETENTION, DETENTION, STORAGE, AND CONVEYANCE SYSTEMS MUST BE PROVIDED TO PREVENT OVERFLOW, TO PREVENT CONSTRUCTION FROM EXPOSED TO IMPERVIOUS SURFACE WITHIN THE AREA SERVED BY THOSE SYSTEMS. ADEQUATE MEASURES MUST BE TAKEN TO PREVENT SLIDATION OF THESE TREATMENT SYSTEMS AND CONTROL OPERATIONS. THE LOCAL GOVERNING BODY SHALL BE ADVISED OF THE DESIGN OF THE TREATMENT SYSTEM UPON REACHING 50% CAPACITY AND IMMEDIATELY PRIOR TO FINAL GRADING AND STABILIZATION OF THESE TREATMENT SYSTEMS.
7. LOCAL GOVERNING BODY DEWATERING PERMITS SHALL BE OBTAINED AND APPROVED PRIOR TO ANY DEWATERING.

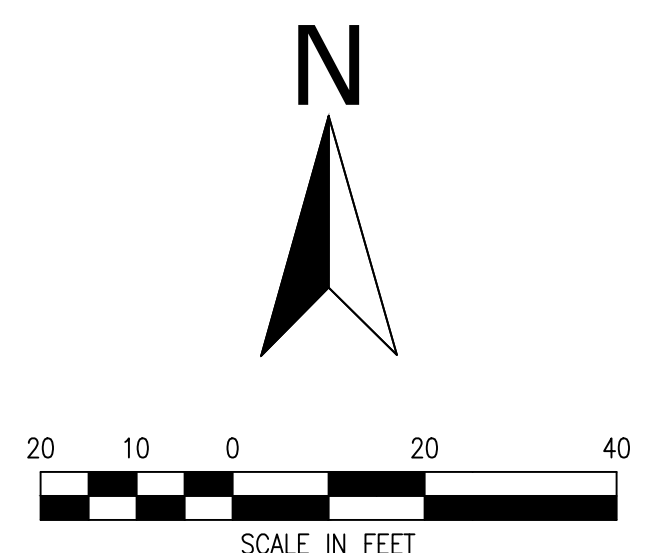
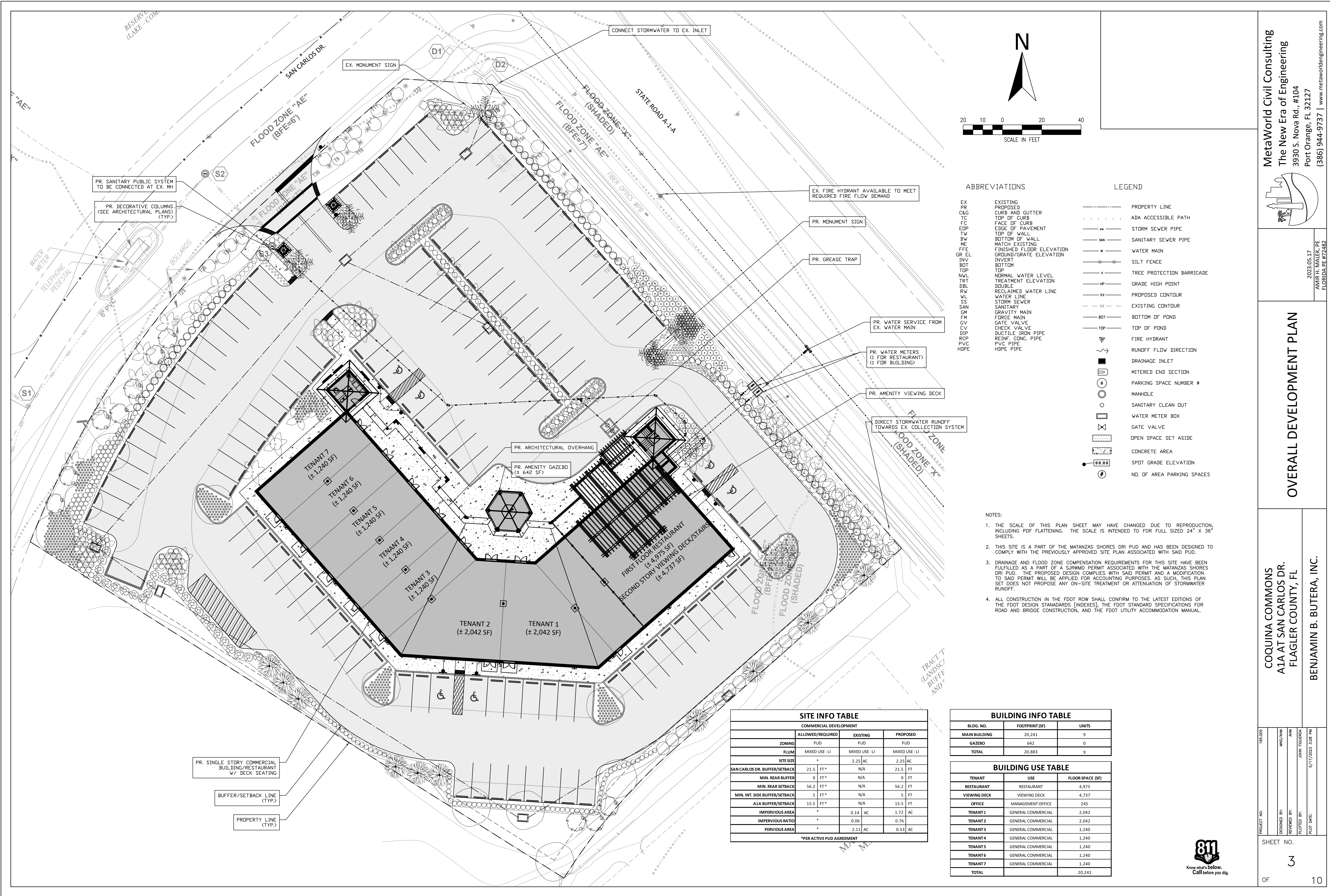
SITE CLEARING AND GRADING NOTES:

THE FOLLOWING REPRESENTS MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE LOCAL GOVERNING BODY RESERVES THE RIGHT TO ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT AND THROUGHOUT PROJECT CONSTRUCTION.

1. NO DISTURBANCE OF EXISTING OR PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED WITHOUT PRIOR APPROVAL FROM THE LOCAL GOVERNING BODY. THE ENGINEER SHALL LOCATE AND MARK THESE AREAS ON THE PLANS AND SHOWN ON THE CONSTRUCTION PLANS TO AVOID ANY UNAUTHORIZED CLEARING, BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE OUTER PERIPHERY OF EXISTING UNDER-STORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
2. SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND OTHER FEATURES OF SIGNIFICANT VALUE SHALL BE IDENTIFIED AND MARKED ON SITE AND BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER THROUGHOUT THE CONSTRUCTION PERIOD AT THE DRIP LINE OF A SPECIMEN TREE. SILT FENCE WILL BE REQUIRED DURING CONSTRUCTION.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION EROSION AND SEDIMENT CONTROL MEASURES INSTALLED AND MAINTAINED PRIOR TO THE COMMENCEMENT OF EARTHWORK INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, SYNTHETIC JUTE SLATS, SILT FENCES, AND DETRIMENT TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE TRIMMING AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES IN ACCORDANCE WITH THE LOCAL GOVERNING BODY'S UTILITY DEPARTMENT STANDARDS.
4. PRIOR TO THE INSTALLATION OF ANY FILL MATERIAL ON SUBJECT SITE, SILT FENCE SHALL BE INSTALLED AS FOLLOWS:
 - 4.1. ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES.
 - 4.2. AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS.
 - 4.3. ADJACENT TO NATURAL LANDSCAPE BUFFERS.
 - 4.4. AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES.
 - 4.5. AT ANY ADDITIONAL AREAS THAT THE LOCAL GOVERNING BODY DEEMES NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE AREAS SHALL BE IDENTIFIED AND MARKED ON THE PLANS AND SHOWN ON THE CONSTRUCTION PLANS. THESE AREAS SHALL BE IDENTIFIED AND MARKED ON THE PLANS AND SHOWN ON THE CONSTRUCTION PLANS.
 - 4.6. AT ANY ADDITIONAL AREAS THAT THE LOCAL GOVERNING BODY DEEMES NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE AREAS SHALL BE IDENTIFIED AND MARKED ON THE PLANS AND SHOWN ON THE CONSTRUCTION PLANS.

WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH INTENDS TO REMAIN THROUGHOUT CONSTRUCTION, CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE. IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH SLOTTED CURBS OR HARDWOODS, CONTRACTOR MAY APPLY AN APPLICATION OF GEOTEXTILE PROTECTION FROM IMPACT DUE TO CONSTRUCTION. THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED.

5. AFTER A CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. GRASS COVERAGE IS TO BE ESTABLISHED WITHIN THIRTY DAYS.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY (20) DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR SHALL INSTALL SEED AND MULCH OR SOO AND WATERING, AS REQUIRED.
7. FOR INSTANT CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
8. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED, INCLUDING WATERING AND TRIMMING BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED.
9. ANY BURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE PERMITS AND LICENSING DIVISION PRIOR TO EACH DAY OF BURNING BURNED.
10. LANDSCAPE PLANS SHALL SHOW THE DESIGN LOCATION OF TEMPORARY AND PERMANENT PLANTINGS RELATIVE TO THE LOCATION OF PUBLIC UTILITIES AND STORMWATER INFRASTRUCTURE IN ORDER TO EVALUATE POTENTIAL CONFLICTS.
11. THE MAXIMUM PERMISSIBLE SLOPE OF ANY NEW SITE GRADING IS 1:3 (VERTICAL: HORIZONTAL). THIS LIMIT APPLIES TO ALL AREAS EXCEPT STORMWATER COLLECTION AND TREATMENT SYSTEMS WHICH HAVE A MAXIMUM SIDE SLOPE OF 1:4. (EXCEPT BELOW THE WATER TABLE LEVEL).
- 1



ABBREVIATIONS

EX	EXISTING
PR	PROPOSED
C&G	CURB AND GUTTER
TC	TOP OF CURB
FC	FACE OF CURB
EDP	EDGE OF PAVEMENT
TW	TOP OF WALL
BW	BOTTOM OF WALL
ME	MATCH EXISTING
FFE	FINISHED FLOOR ELEVATION
GR EL	GROUND/GRATE ELEVATION
INV	INVERT
BOT	BOTTOM
TOP	TOP
NWL	NORMAL WATER LEVEL
TRT	TREATMENT ELEVATION
DBL	DOUBLE
RW	RECLAIMED WATER LINE
WL	WATER LINE
SS	STORM SEWER
SAN	SANITARY
GM	GRAVITY MAIN
FM	FORCE MAIN
GV	GATE VALVE
CV	CHECK VALVE
DIP	DUCTILE IRON PIPE
REP	REINFORCED CONCRETE PIPE
PVC	PVC PIPE
HDPE	HDPE PIPE

LEGEND

---	PROPERTY LINE
---	ADA ACCESSIBLE PATH
---	STORM SEWER PIPE
---	SANITARY SEWER PIPE
---	WATER MAIN
---	SILT FENCE
---	TREE PROTECTION BARRICADE
---	GRADE HIGH POINT
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	BOTTOM OF POND
---	TOP OF POND
---	FIRE HYDRANT
---	RUNOFF FLOW DIRECTION
---	DRAINAGE INLET
---	MITERED END SECTION
---	PARKING SPACE NUMBER #
---	MANHOLE
---	SANITARY CLEAN OUT
---	WATER METER BOX
---	GATE VALVE
---	OPEN SPACE SET ASIDE
---	CONCRETE AREA
---	SPOT GRADE ELEVATION
---	NO. OF AREA PARKING SPACES

NOTES:

1. THE SCALE OF THIS PLAN SHEET MAY HAVE CHANGED DUE TO REPRODUCTION, INCLUDING PDF FLATTENING. THE SCALE IS INTENDED TO FOR FULL SIZED 24" X 36" SHEETS.
2. THIS SITE IS A PART OF THE MATANZAS SHORES DRI PUD AND HAS BEEN DESIGNED TO COMPLY WITH THE PREVIOUSLY APPROVED SITE PLAN ASSOCIATED WITH SAID PUD.
3. DRAINAGE AND FLOOD ZONE COMPENSATION REQUIREMENTS FOR THIS SITE HAVE BEEN FULFILLED AS A PART OF A SURVMO PERMIT ASSOCIATED WITH THE MATANZAS SHORES DRI PUD. THE PROPOSED DESIGN COMPLIES WITH SAID PERMIT AND A MODIFICATION TO SAID PERMIT WILL BE APPLIED FOR ACCOUNTING PURPOSES. AS SUCH, THIS PLAN SET DOES NOT PROPOSE ANY ON-SITE TREATMENT OR ATTENUATION OF STORMWATER RUNOFF.
4. ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDEXES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

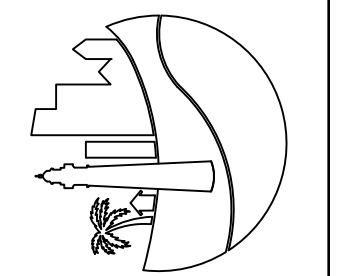
ZONING	COMMERCIAL DEVELOPMENT		
	ALLOWED/REQUIRED	EXISTING	PROPOSED
PUD	PUD	PUD	PUD
FLUM	MIXED USE : LI	MIXED USE : LI	MIXED USE : LI
SITE SIZE	*	2.25 AC	2.25 AC
SAN CARLOS DR. BUFFER/SETBACK	21.5 FT*	N/A	21.5 FT
MIN. REAR BUFFER	9 FT*	N/A	9 FT
MIN. REAR BUFFER	56.2 FT*	N/A	56.2 FT
MIN. INT. SIDE BUFFER/SETBACK	5 FT*	N/A	5 FT
A1A BUFFER/SETBACK	15.5 FT*	N/A	15.5 FT
IMPERVIOUS AREA	*	0.14 AC	1.72 AC
IMPERVIOUS RATIO	*	0.06	0.76
PERVIOUS AREA	*	2.11 AC	0.53 AC

*PER ACTIVE PUD AGREEMENT

BLDG. NO.	FOOTPRINT (SF)	UNITS
MAIN BUILDING	20,241	9
GAZEBO	642	0
TOTAL	20,883	9

TENANT	USE	FLOORSPACE (SF)
RESTAURANT	RESTAURANT	4,975
VIEWING DECK	VIEWING DECK	4,737
OFFICE	MANAGEMENT OFFICE	245
TENANT 1	GENERAL COMMERCIAL	2,042
TENANT 2	GENERAL COMMERCIAL	2,042
TENANT 3	GENERAL COMMERCIAL	1,240
TENANT 4	GENERAL COMMERCIAL	1,240
TENANT 5	GENERAL COMMERCIAL	1,240
TENANT 6	GENERAL COMMERCIAL	1,240
TENANT 7	GENERAL COMMERCIAL	1,240
TOTAL		20,241

MetaWorld Civil Consulting
The New Era of Engineering
3930 S. Nova Rd., #104
Port Orange, FL 32127
(386) 944-9737 | www.metaworldengineering.com



2023.05.17
AMIR H. MALEK, PE
FLORIDA PE #17482

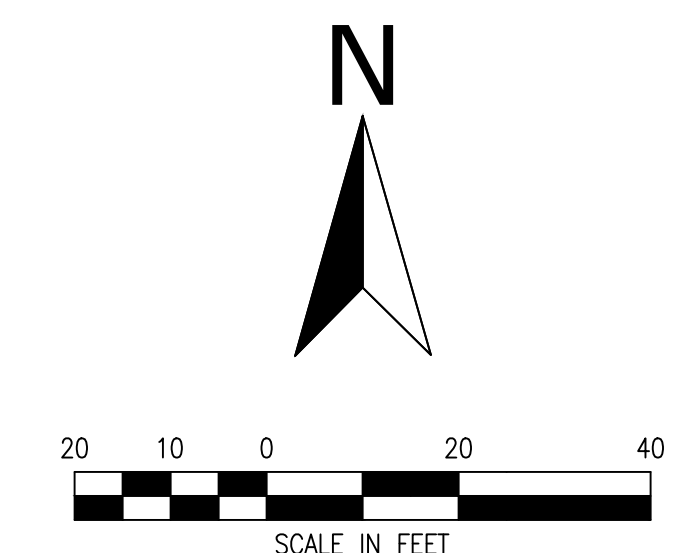
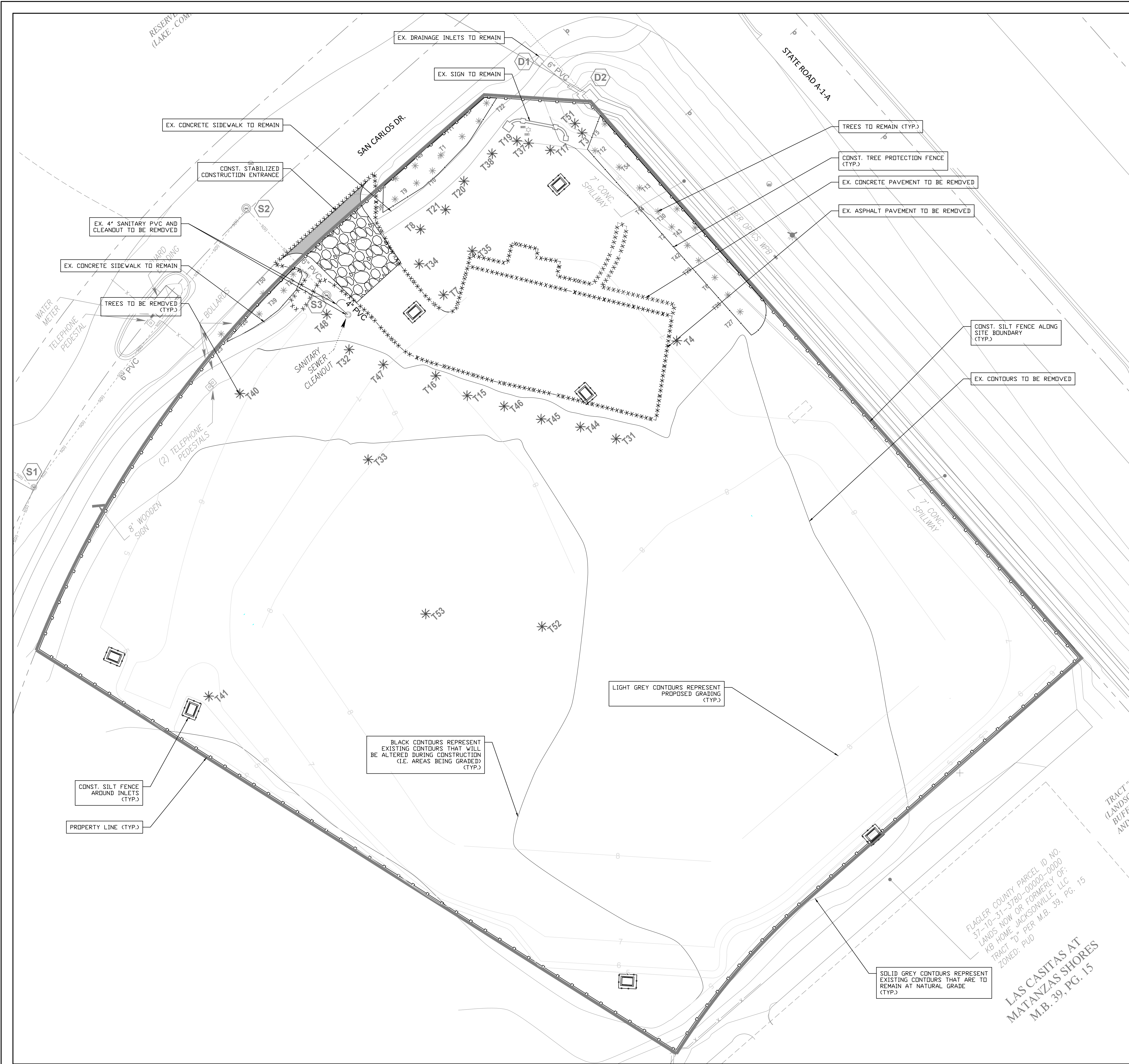
OVERALL DEVELOPMENT PLAN

COQUINA COMMONS
A1A AT SAN CARLOS DR.
FLAGLER COUNTY, FL
BENJAMIN B. BUTERA, INC.

PROJECT NO.: 168205
DESIGNED BY: MMS/AMM
REVIEWED BY: JWH/FRS
PLOTTED BY: JOHN FROSTEN
PLOT DATE: 5/17/2023 3:28 PM

SHEET NO. 3
OF 10





ABBREVIATIONS

EX	EXISTING
PR	PROPOSED
C&G	CURB AND GUTTER
TC	TOP OF CURB
FC	FACE OF CURB
EDP	EDGE OF PAVEMENT
TW	TOP OF WALL
BW	BOTTOM OF WALL
ME	MATCH EXISTING
FFE	FINISHED FLOOR ELEVATION
GR EL	GROUND/GRATE ELEVATION
INV	INVERT
BOT	BOTTOM
TOP	TOP
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---	PROPERTY LINE
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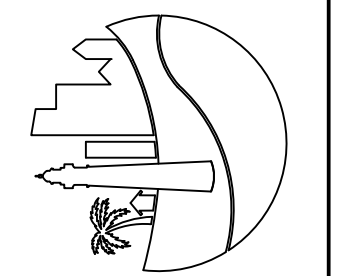
TREE TABLE

TREE ID	DBH, INCHES	SPECIES
T1	8"	SABAL PALM
T2	8"	SABAL PALM
T3	R 9"	SABAL PALM
T4	R 9"	SABAL PALM
T5	9"	SABAL PALM
T6	9"	SABAL PALM
T7	R 10"	SABAL PALM
T8	10"	SABAL PALM
T9	10"	SABAL PALM
T10	10"	SABAL PALM
T11	10"	SABAL PALM
T12	10"	SABAL PALM
T13	10"	SABAL PALM
T14	10"	SABAL PALM
T15	R 10"	SABAL PALM
T16	R 10"	SABAL PALM
T17	R 11"	SABAL PALM
T18	11"	SABAL PALM
T19	R 11"	SABAL PALM
T20	R 11"	SABAL PALM
T21	R 11"	SABAL PALM
T22	R 11"	SABAL PALM
T23	11"	SABAL PALM
T24	11"	SABAL PALM
T25	11"	SABAL PALM
T26	11"	SABAL PALM
T27	11"	SABAL PALM
T28	11"	SABAL PALM
T29	11"	SABAL PALM
T30	11"	SABAL PALM
T31	R 11"	SABAL PALM
T32	R 11"	SABAL PALM
T33	R 11"	SABAL PALM
T34	R 12"	SABAL PALM
T35	R 12"	SABAL PALM
T36	12"	SABAL PALM
T37	R 12"	SABAL PALM
T38	R 12"	SABAL PALM
T39	12"	SABAL PALM
T40	12"	SABAL PALM
T41	R 12"	SABAL PALM
T42	12"	SABAL PALM
T43	12"	SABAL PALM
T44	R 12"	SABAL PALM
T45	R 12"	SABAL PALM
T46	R 12"	SABAL PALM
T47	R 12"	SABAL PALM
T48	12"	SABAL PALM
T49	13"	SABAL PALM
T50	13"	SABAL PALM
T51	R 13"	SABAL PALM
T52	R 13"	SABAL PALM
T53	R 13"	SABAL PALM
T54	R 14"	SABAL PALM

NOTES:

- THE SCALE ON THIS PLAN SHEET MAY HAVE BEEN ALTERED DUE TO REPRODUCTION. THE SCALE IS INTENDED TO FIT FULL SIZED 24" X 36" SHEETS.
- THE SURVEYOR OF RECORD FOR THIS PROJECT IS EFIRD SURVEYING GROUP, INC. ALL INFORMATION REPRESENTING EXISTING CONDITIONS IS THE RESPONSIBILITY OF THE SURVEYOR OF RECORD. THE ENGINEER OF RECORD'S SEAL AND SIGNATURE ON THIS SHEET OF THE PLAN SET SIGNIFIES THAT THE INFORMATION SHOWN ON THIS PLAN SHEET IS THE SAME INFORMATION USED FOR THE DESIGN OF THIS PLAN SET. ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY ELEMENTS OF THIS PROJECT, AND IS NOT RESPONSIBLE FOR THE INFORMATION SHOWN ON THIS PLAN SHEET. STAND ALONE SIGNED AND SEALED ORIGINALS FROM THE SURVEYOR OF RECORD HAVE BEEN INCLUDED IN THE SITE PLAN APPLICATION SUBMITTAL FOR THIS SITE.
- INFORMATION REGARDING SIZE, LOCATION AND SPECIES OF TREES WAS OBTAINED BY THE SURVEYOR OF RECORD AND/OR PROJECT ARBORIST.
- FOR AREAS WHERE SLIGHT GRADING IS NECESSARY WITHIN TREE PROTECTION FENCING AREAS, THE FENCING CAN BE TEMPORARILY REMOVED FOR THE GRADING OPERATION. NO HEAVY EQUIPMENT SHALL BE USED WITHIN SAID AREAS.
- WITHIN 48 HOURS PRIOR TO THE CLEARING, THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE NPDES NOTICE OF COMMENCEMENT AND NOTICE OF TERMINATION APPLICATIONS TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- EXISTING TREES WITH TREE PROTECTION AREAS ARE TO BE PRESERVED. HEAVY MACHINERY IS NOT ALLOWED WITHIN AREAS BEHIND TREE BARRICADES.
- TREE BARRICADES ARE REQUIRED AROUND ALL TREES WHICH HAVE BEEN DESIGNATED ON THE SITE PLAN TO BE RETAINED AND PROTECTED PRIOR TO ANY CLEARING OR CONSTRUCTION ACTIVITY OCCURRING ON THE SITE. TREE BARRICADES SHALL BE CONSTRUCTED BY THE CONTRACTOR.
- ON THE TREE LIST, THOSE TREES WITH AN "R" IN THE "STATUS" COLUMN ARE TREES THAT ARE PROPOSED TO BE REMOVED.
- IN ADDITION TO SILT FENCE SHOWN ON THIS SHEET, SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES / STAGING LOCATIONS.
- ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES]. THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

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2023-05-17
 AMIR H. MALEK, PE
 FLORIDA PE #172482

DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN

COQUINA COMMONS
 A1A AT SAN CARLOS DR.
 FLAGLER COUNTY, FL
 BENJAMIN B. BUTERA, INC.

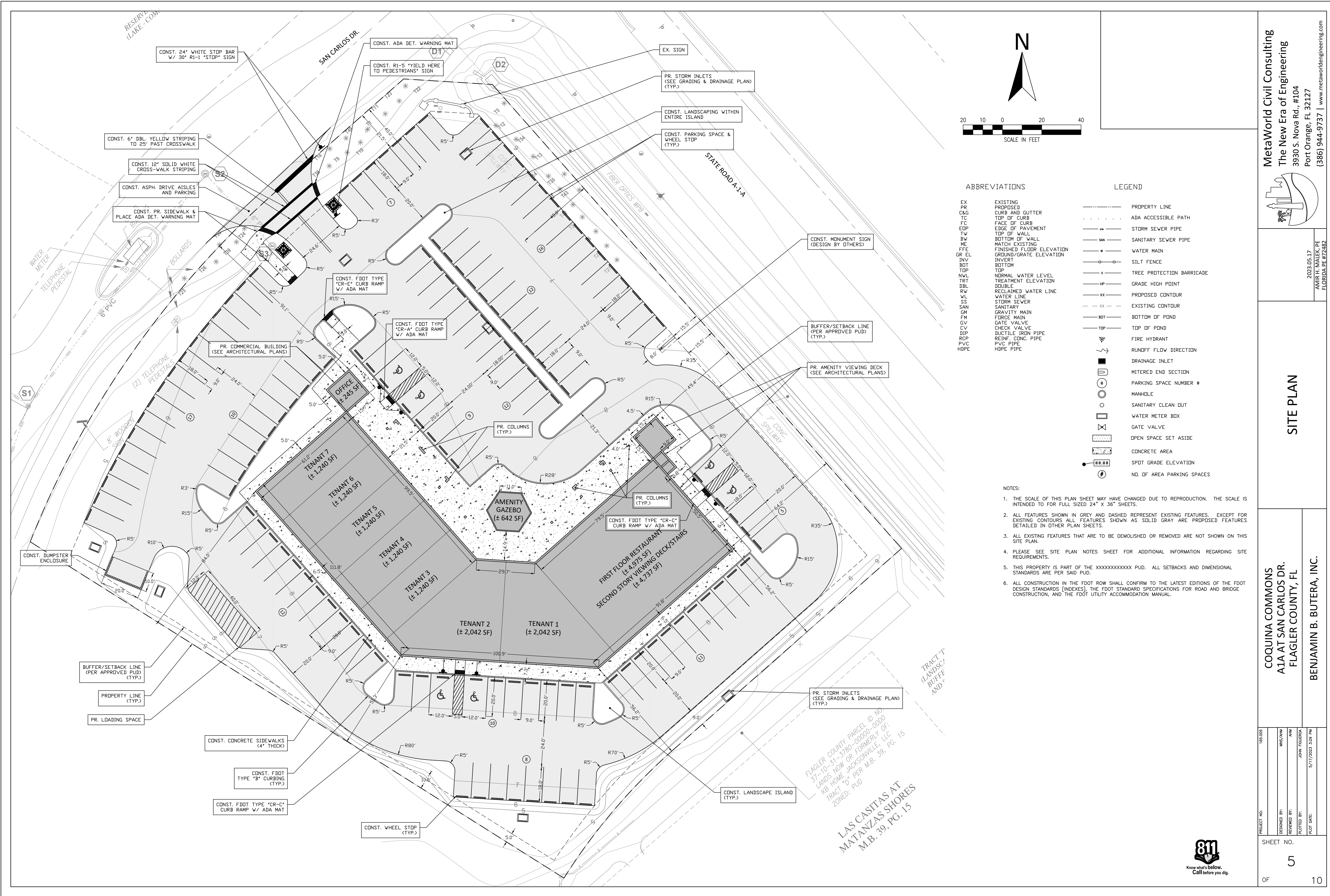
PROJECT NO.	168205
DESIGNED BY:	MNS/AMM
REVIEWED BY:	AMM
PLOTTED BY:	JOHN FROEDER
DATE:	5/17/2023 3:28 PM

SHEET NO.
 4
 OF 10



FLAGLER COUNTY PARCEL ID NO.
 37-10-31-3780-00000-0000
 KB HOME JACKSONVILLE, LLC
 TRACT "D" PER M.B. 39, PG. 15
 ZONED: PUD
 LAS CASITAS AT
 MATANZAS SHORES
 M.B. 39, PG. 15

C:\USERS\SAM\WORK\COQUINA\DEMOLITION AND EROSION CONTROL PLAN\DEMOLITION AND EROSION CONTROL PLAN.dwg



ABBREVIATIONS

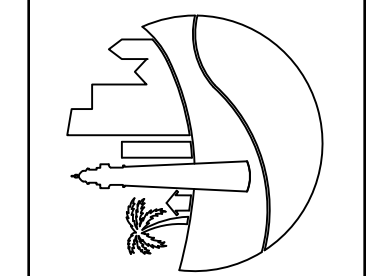
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PVC	PVC PIPE
HDPE	HDPE PIPE

LEGEND

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- NOTES:**
1. THE SCALE OF THIS PLAN SHEET MAY HAVE CHANGED DUE TO REPRODUCTION. THE SCALE IS INTENDED TO FOR FULL SIZED 24" X 36" SHEETS.
 2. ALL FEATURES SHOWN IN GREY AND DASHED REPRESENT EXISTING FEATURES. EXCEPT FOR EXISTING CONTOURS ALL FEATURES SHOWN AS SOLID GRAY ARE PROPOSED FEATURES DETAILED IN OTHER PLAN SHEETS.
 3. ALL EXISTING FEATURES THAT ARE TO BE DEMOLISHED OR REMOVED ARE NOT SHOWN ON THIS SITE PLAN.
 4. PLEASE SEE SITE PLAN NOTES SHEET FOR ADDITIONAL INFORMATION REGARDING SITE REQUIREMENTS.
 5. THIS PROPERTY IS PART OF THE XXXXXXXXXXXX PUD. ALL SETBACKS AND DIMENSIONAL STANDARDS ARE PER SAID PUD.
 6. ALL CONSTRUCTION IN THE PDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE PDOT DESIGN STANDARDS [INDEXES], THE PDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE PDOT UTILITY ACCOMMODATION MANUAL.

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2023-05-17
 AMIR H. MALEK, PE
 FLORIDA PE #172482

SITE PLAN

**COQUINA COMMONS
 A1A AT SAN CARLOS DR.
 FLAGLER COUNTY, FL**

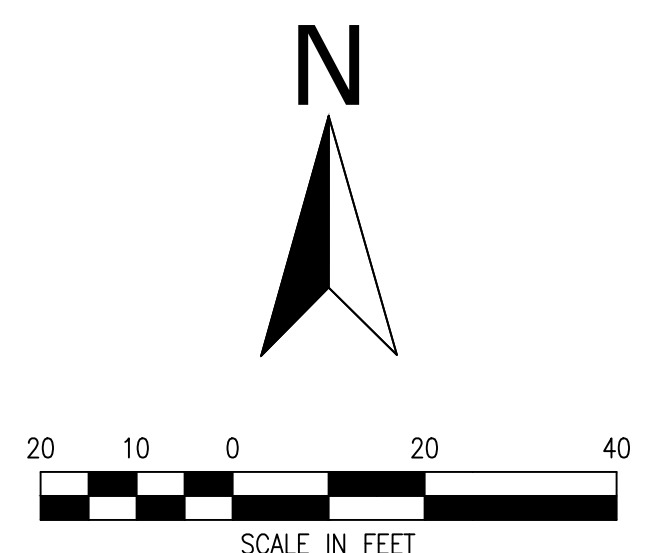
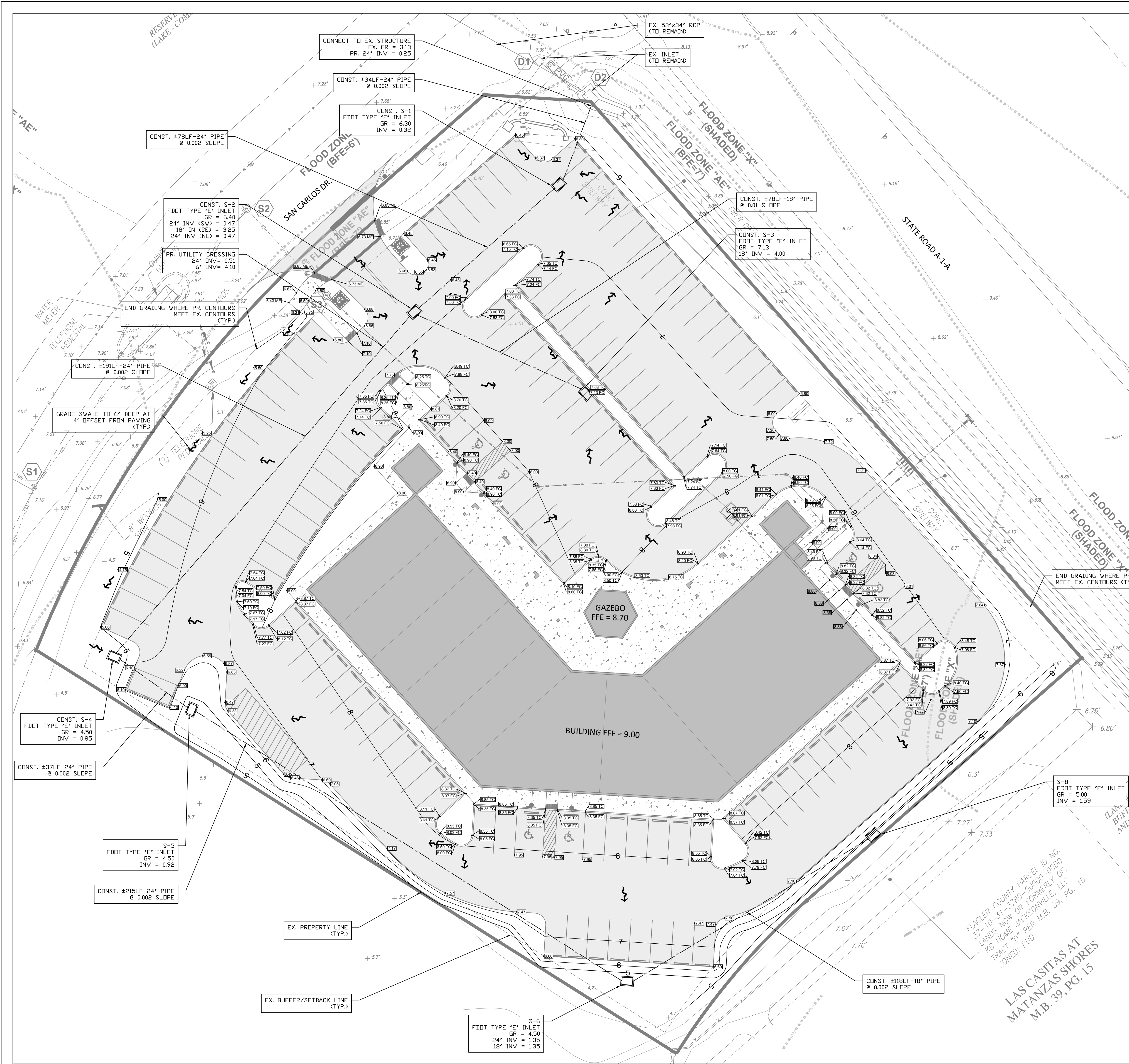
BENJAMIN B. BUTERA, INC.

PROJECT NO.	168205
DESIGNED BY:	MMS/AMM
REVIEWED BY:	AMM
PLOTTED BY:	JOHN FROEDER
DATE:	5/17/2023 3:29 PM
SHEET NO.	5
OF	10

FLAGLER COUNTY PARCEL ID NO. 37-10-31-5780-00000-0000
 LANDS NOW OR FORMERLY OF: KB HOME JACKSONVILLE, LLC
 TRACT "D" PER M.B. 39, PG. 15
 ZONED: PUD

**LAS CASITAS AT
 MATANZAS SHORES
 M.B. 39, PG. 15**





ABBREVIATIONS

EX	EXISTING
PR	PROPOSED
C&G	CURB AND GUTTER
TC	TOP OF CURB
FC	FACE OF CURB
EDP	EDGE OF PAVEMENT
TW	TOP OF WALL
BW	BOTTOM OF WALL
ME	MATCH EXISTING
FFE	FINISHED FLOOR ELEVATION
GR EL	GROUND/GRATE ELEVATION
INV	INVERT
BTM	BOTTOM
TOP	TOP
NWL	NORMAL WATER LEVEL
TRT	TREATMENT ELEVATION
DBL	DOUBLE
RWL	RECLAIMED WATER LINE
WL	WATER LINE
SS	STORM SEWER
SAN	SANITARY
GM	GRAVITY MAIN
FM	FORCE MAIN
GV	GATE VALVE
CV	CHECK VALVE
DIP	DUCTILE IRON PIPE
RCP	REINFORCED CONCRETE PIPE
PVC	PVC PIPE
HDPE	HDPE PIPE

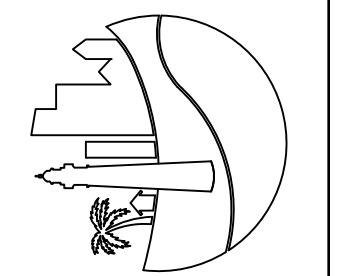
LEGEND

	PROPERTY LINE
	ADA ACCESSIBLE PATH
	STORM SEWER PIPE
	SANITARY SEWER PIPE
	WATER MAIN
	FLOOD ZONE
	SILO FENCE
	TREE PROTECTION BARRICADE
	GRADE HIGH POINT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	BOTTOM OF POND
	TOP OF POND
	FIRE HYDRANT
	RUNOFF FLOW DIRECTION
	DRAINAGE INLET
	MITERED END SECTION
	PARKING SPACE NUMBER #
	MANHOLE
	SANITARY CLEAN OUT
	WATER METER BOX
	GATE VALVE
	OPEN SPACE SET ASIDE
	CONCRETE AREA
	SPOT GRADE ELEVATION
	NO. OF AREA PARKING SPACES

NOTES:

1. THE SCALE OF THIS PLAN SHEET MAY HAVE CHANGED DUE TO REPRODUCTION. THE SCALE IS INTENDED TO FOR FULL SIZED 24" X 36" SHEETS.
2. ALL FEATURES SHOWN IN GREY AND DASHED REPRESENT EXISTING FEATURES. ALL FEATURES SHOWN AS SOLID GRAY ARE PROPOSED FEATURES DETAILED IN OTHER PLAN SHEETS.
3. ALL EXISTING FEATURES THAT ARE TO BE DEMOLISHED OR REMOVED ARE NOT SHOWN ON THIS SITE PLAN.
4. ALL SIDEWALKS DEPICTED IN THIS PLAN SET MUST BE ADA COMPLIANT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL DESIGNATED ADA PATHS ARE CONSTRUCTED PROPERLY AND MEET THE GOVERNING CRITERIA FOR HANDICAP ACCESSIBLE PATHS.
5. NO SLOPES STEEPER THAN 1:2 ARE ALLOWED.
6. THIS SITE IS A PART OF A LARGER SJRMD PERMIT APPLICATION FOR WHICH A MODIFICATION WILL BE APPLIED. AS SUCH, THIS PLAN SET DOES NOT PROPOSE ANY ON-SITE TREATMENT OR ATTENUATION OF STORMWATER RUNOFF.
7. ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.
8. THIS SITE HAS BEEN DESIGNED UTILIZING THE NAVD1988 DATUM.

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2023.05.17
 AMIR H. MALEK, PE
 FLORIDA PE #172482

GRADING, PAVING AND DRAINAGE PLAN

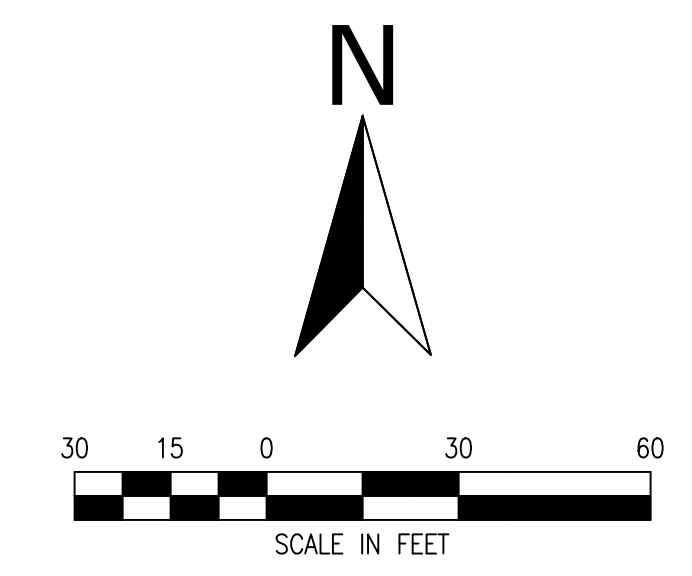
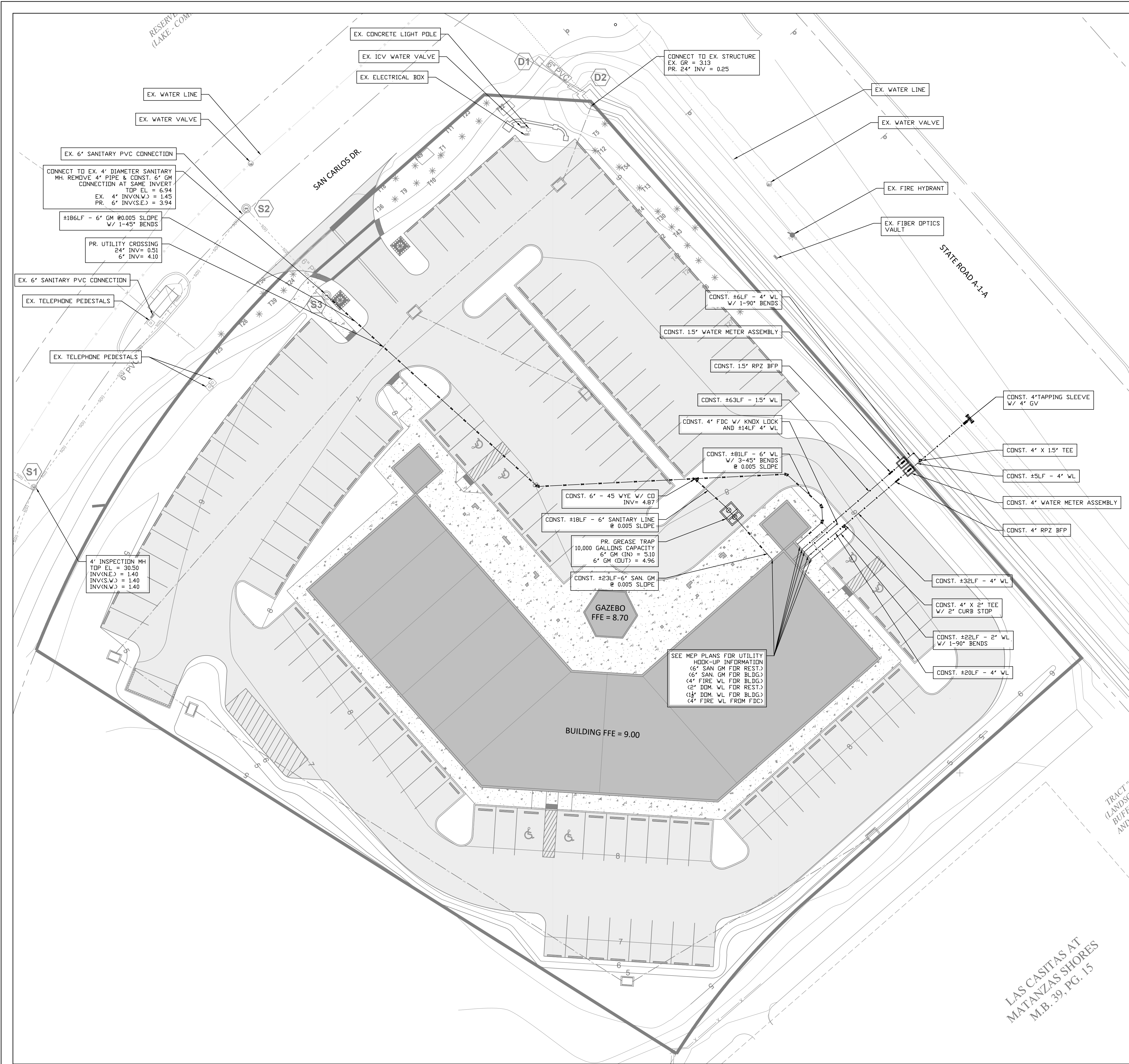
COQUINA COMMONS
 A1A AT SAN CARLOS DR.
 FLAGLER COUNTY, FL
 BENJAMIN B. BUTERA, INC.

PROJECT NO.	168205
DESIGNED BY:	MMS/AM
REVIEWED BY:	AM
FLOTTED BY:	JOHN FROEDER
DATE:	5/17/2023 2:29 PM

SHEET NO. 6
 OF 10

FLAGLER COUNTY PARCEL ID NO. 37-10-31-5780-00000-0000
 LANDS NOW OR FORMERLY OF: KB HOME JACKSONVILLE, LLC
 TRACT "D" PER M.B. 39, PG. 15
 ZONED: PUD
 LAS CASITAS AT MATANZAS SHORES
 M.B. 39, PG. 15





ABBREVIATIONS

EX	EXISTING
PR	PROPOSED
C&G	CURB AND GUTTER
TC	TOP OF CURB
FC	FACE OF CURB
EDP	EDGE OF PAVEMENT
TW	TOP OF WALL
BW	BOTTOM OF WALL
ME	MATCH EXISTING
FFE	FINISHED FLOOR ELEVATION
GR EL	GROUND/GRATE ELEVATION
INV	INVERT
BTM	BOTTOM
TOP	TOP
NWL	NORMAL WATER LEVEL
TRT	TREATMENT ELEVATION
DBL	DOUBLE
RWL	RECLAIMED WATER LINE
WL	WATER LINE
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GM	GRAVITY MAIN
FM	FORCE MAIN
GV	GATE VALVE
CV	CHECK VALVE
DIP	DUCTILE IRON PIPE
REP	REINFORCED CONCRETE PIPE
PVC	PVC PIPE
HDPE	HDPE PIPE

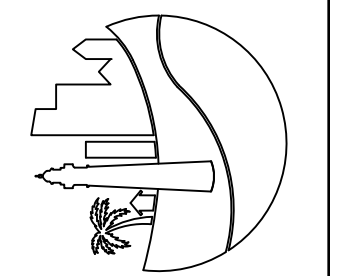
LEGEND

	PROPERTY LINE
	ADA ACCESSIBLE PATH
	STORM SEWER PIPE
	SANITARY SEWER PIPE
	WATER MAIN
	SILT FENCE
	TREE PROTECTION BARRICADE
	GRADE HIGH POINT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	BOTTOM OF POND
	TOP OF POND
	FIRE HYDRANT
	RUNOFF FLOW DIRECTION
	DRAINAGE INLET
	MITERED END SECTION
	PARKING SPACE NUMBER #
	MANHOLE
	SANITARY CLEAN OUT
	WATER METER BOX
	GATE VALVE
	OPEN SPACE SET ASIDE
	CONCRETE AREA
	SPOT GRADE ELEVATION
	NO. OF AREA PARKING SPACES

NOTES:

1. THE SCALE OF THIS PLAN SHEET MAY HAVE CHANGED DUE TO REPRODUCTION. THE SCALE IS INTENDED TO FIT FULL SIZED 24" X 36" SHEETS.
2. ALL FEATURES SHOWN IN GRAY AND DASHED REPRESENT EXISTING FEATURES. ALL FEATURES SHOWN AS SOLID GRAY ARE PROPOSED FEATURES DETAILED IN OTHER PLAN SHEETS.
3. FEATURES THAT WERE SCHEDULED TO BE REMOVED FROM THE PROPERTY ON THE DEMOLITION PLAN ARE NOT SHOWN ON THIS PLAN SHEET.
4. SEE SITE PLAN NOTES FOR SYSTEM DESIGN INFORMATION.
5. CONTRACTOR TO VERIFY LOCATION OF EX. UTILITIES AND COORDINATE CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY PRIOR TO CONSTRUCTION.
6. KNOX LOCKABLE PLUGS SHALL BE USED TO SECURE FIRE DEPARTMENT CONNECTION (FDC).
7. CONTRACTOR TO COORDINATE WATER CONNECTION AND METER INSTALLS WITH THE CITY OF PALM COAST UTILITY INSPECTOR. SEWER SERVICE TO THE SITE PROVIDED BY THE MATANZAS SHORES OWNERS ASSOCIATION.
8. ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

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2023.05.17
 AMIR H. MALEK, PE
 FLORIDA PE #17482

UTILITY PLAN

**COQUINA COMMONS
 A1A AT SAN CARLOS DR.
 FLAGLER COUNTY, FL**
BENJAMIN B. BUTERA, INC.

PROJECT NO.	168205
DESIGNED BY:	MMS/AMM
REVIEWED BY:	AMM
PLOTTED BY:	JOHN FROEDER
PLLOT DATE:	5/17/2023 3:29 PM

SHEET NO. **7**
 OF 10



LAS CASITAS AT
 MATANZAS SHORES
 M.B. 39, PG. 15

SITE INFO TABLE			
COMMERCIAL DEVELOPMENT			
	ALLOWED/REQUIRED	EXISTING	PROPOSED
ZONING	PUD	PUD	PUD
FLUM	MIXED USE : LI	MIXED USE : LI	MIXED USE : LI
SITE SIZE	*	2.25 AC	2.25 AC
SAN CARLOS DR. BUFFER/SETBACK	21.5 FT*	N/A	21.5 FT
MIN. REAR BUFFER	9 FT*	N/A	9 FT
MIN. REAR SETBACK	56.2 FT*	N/A	56.2 FT
MIN. INT. SIDE BUFFER/SETBACK	5 FT*	N/A	5 FT
A1A BUFFER/SETBACK	15.5 FT*	N/A	15.5 FT
IMPERVIOUS AREA	*	0.14 AC	1.72 AC
IMPERVIOUS RATIO	*	0.06	0.76
PERVIOUS AREA	*	2.11 AC	0.53 AC

*PER ACTIVE PUD AGREEMENT

PARKING SUMMARY TABLE		
	PROPOSED	ALLOWED/REQUIRED
REGULAR SPACES	125	N/A
ADA DESIGNATED SPACES	6	5
TOTAL SPACES	131	124

REQUIRED PARKING TABLE			
LAND USE	RATE	NUMBER REQUIRED	ADA REQUIRED
OFFICE	1 SPACE/200 SF	2	N/A
COMMERCIAL	1 SPACE/200 SF	52	N/A
RESTAURANT	1 SPACE/EMPLOYEE**	70	N/A
TOTAL		124	5

*SEATING AREA CONSIDERED TO BE 60% OF GROSS FLOOR AREA, WITH 50 SF ASSIGNED PER SEAT
**10 RESTAURANT EMPLOYEES ASSUMED

WATER/WASTEWATER DEMAND			
OCCUPANCY			
OFFICE	AVG. DAILY FLOW (ADF)**	25	GPD
	MAX. DAILY DEMAND FACTOR	2	
	MAX. DAILY FLOW (MDF)	49	GPD
	PEAK HOUR FACTOR	4	
	PEAK HOUR FLOW (PHF)	0.07	GPM
*ADF BASED ON 10 GPD / 100 SF			
SHOPPING CENTERS	AVG. DAILY FLOW (ADF)**	1748	GPD
	MAX. DAILY DEMAND FACTOR	2	
	MAX. DAILY FLOW (MDF)	3497	GPD
	PEAK HOUR FACTOR	4	
	PEAK HOUR FLOW (PHF)	4.86	GPM
*ADF BASED ON 17 GPD / 100 SF			
RESTAURANT	AVG. DAILY FLOW (ADF)**	8680.00	GPD
	MAX. DAILY DEMAND FACTOR	2	
	MAX. DAILY FLOW (MDF)	17360	GPD
	PEAK HOUR FACTOR	4	
	PEAK HOUR FLOW (PHF)	24.11	GPM
**ADF BASED ON 35 GPD (PER SEAT)			
TOTAL	AVG. DAILY FLOW (ADF)	8705	GPD
	MAX. DAILY FLOW (MDF)	17409	GPD
	PEAK HOUR FLOW (PHF)	24.18	GPM

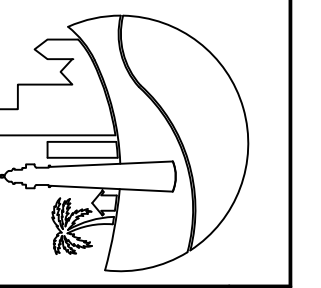
BUILDING INFO TABLE		
BLDG. NO.	FOOTPRINT (SF)	UNITS
MAIN BUILDING	20,241	9
GAZEBO	642	0
TOTAL	20,883	9

BUILDING USE TABLE		
TENANT	USE	FLOOR SPACE (SF)
RESTAURANT	RESTAURANT	4,975
VIEWING DECK	VIEWING DECK	4,737
OFFICE	MANAGEMENT OFFICE	245
TENANT 1	GENERAL COMMERCIAL	2,042
TENANT 2	GENERAL COMMERCIAL	2,042
TENANT 3	GENERAL COMMERCIAL	1,240
TENANT 4	GENERAL COMMERCIAL	1,240
TENANT 5	GENERAL COMMERCIAL	1,240
TENANT 6	GENERAL COMMERCIAL	1,240
TENANT 7	GENERAL COMMERCIAL	1,240
TOTAL		20,241

FIRE FLOW DEMAND	
STORIES	2
FLOOR AREA	20,241 SF
CONSTRUCTION TYPE	II (222)
SPRINKLER REDUCTION	1,125 GPM
REQUIRED FIRE FLOW	1,500 GPM
REQUIRED FIRE FLOW AFTER REDUCTION	1,000 GPM
AVAILABLE FLOW CREDIT*	1,500 GPM

* INDICATES AVAILABLE CREDIT THROUGH HYDRANTS PER NFPA 220

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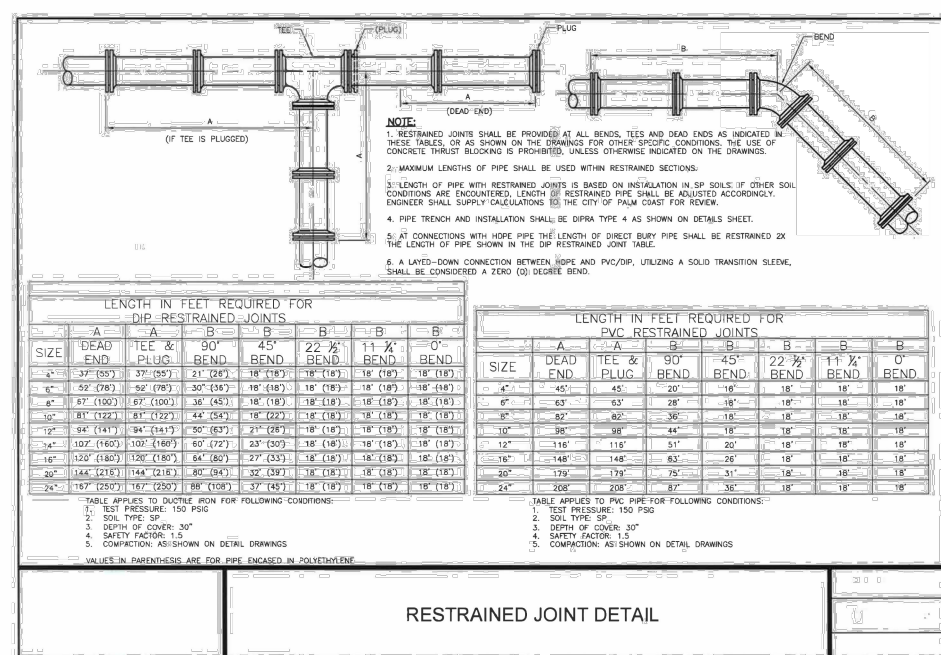
2023.05.17
AMIR H. MALEK, PE
FLORIDA DE #72482

DESIGN & PERMITTING NOTES

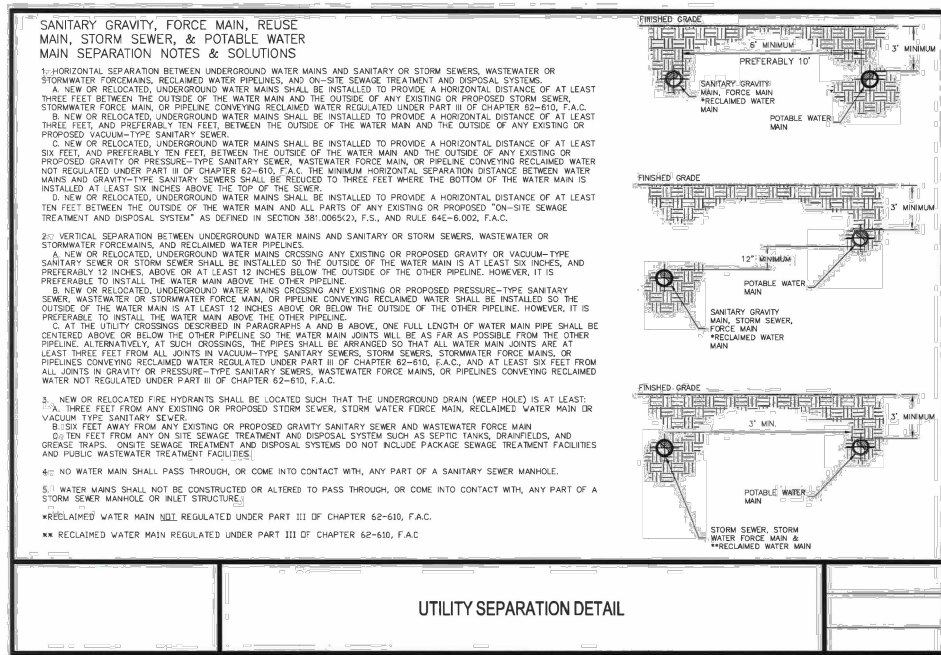
COQUINA COMMONS
A1A AT SAN CARLOS DR.
FLAGLER COUNTY, FL
BENJAMIN B. BUTERA, INC.

PROJECT NO: 166.000
DESIGNED BY: MRS/AM
REVIEWED BY: AM
PLOTTED BY: JOHN FOLEY
PLOT DATE: 5/17/2023 4:01 PM

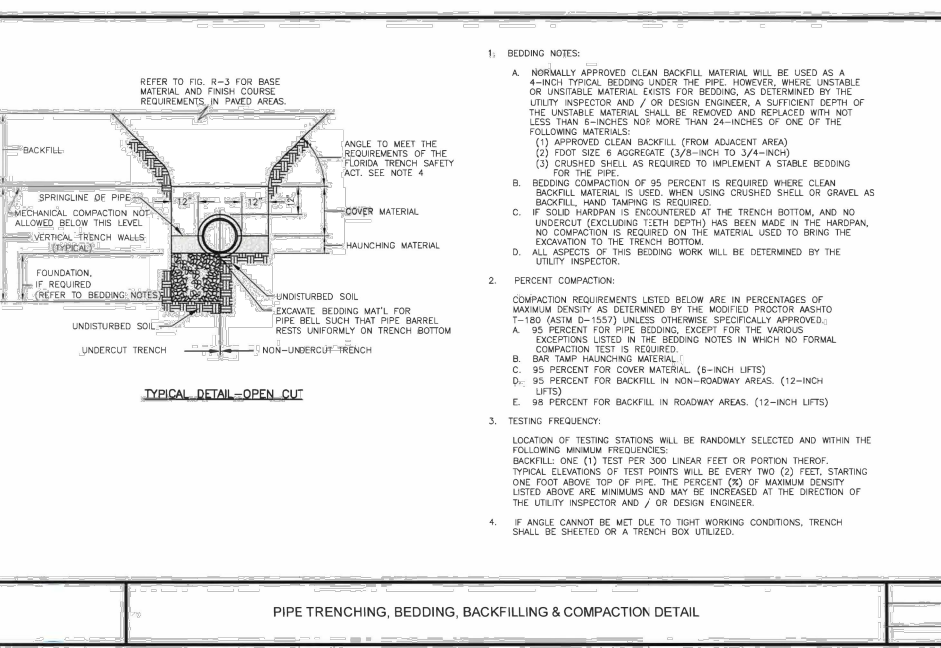
SHEET NO.
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OF 10



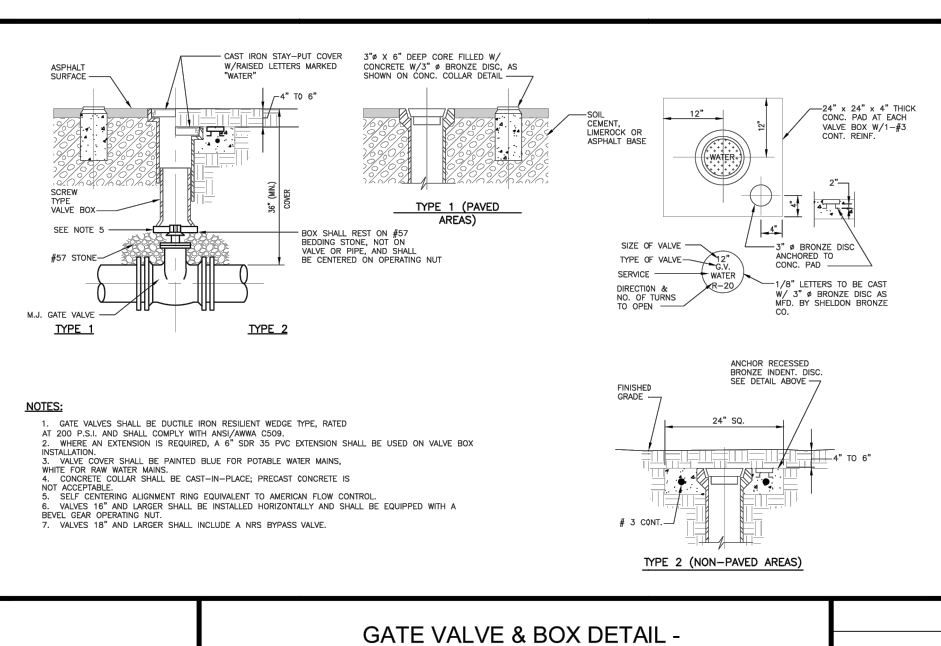
RESTRAINED JOINT DETAIL



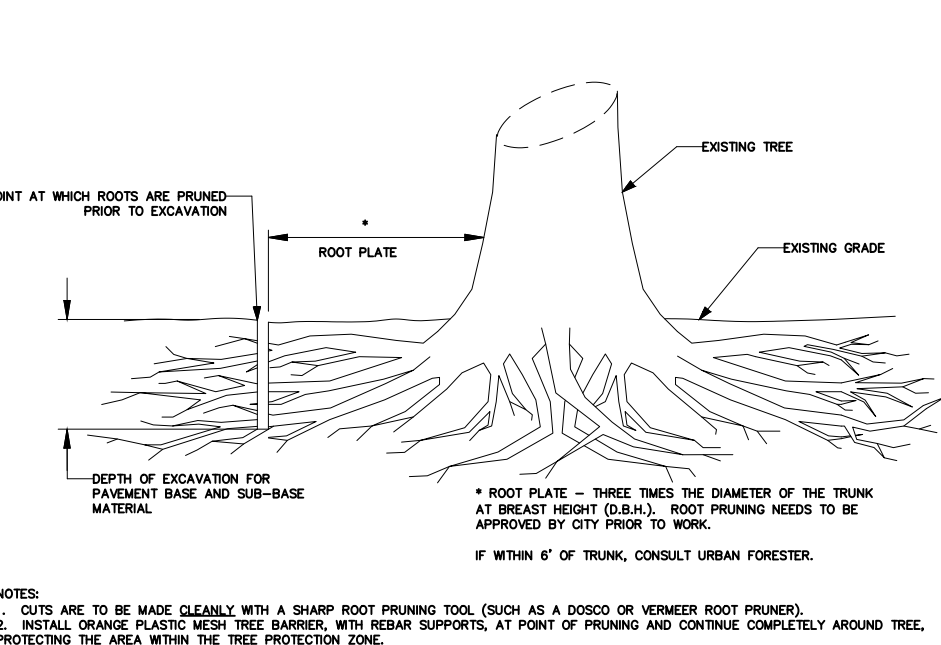
UTILITY SEPARATION DETAIL



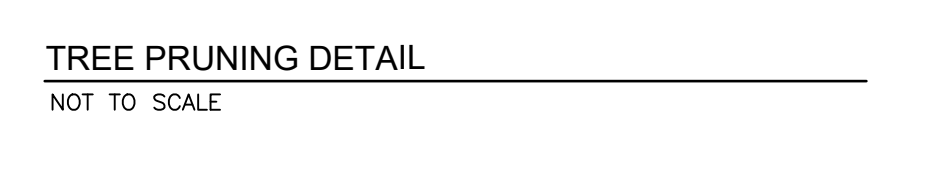
PIPE TRENCHING, BEDDING, BACKFILLING & COMPACTION DETAIL



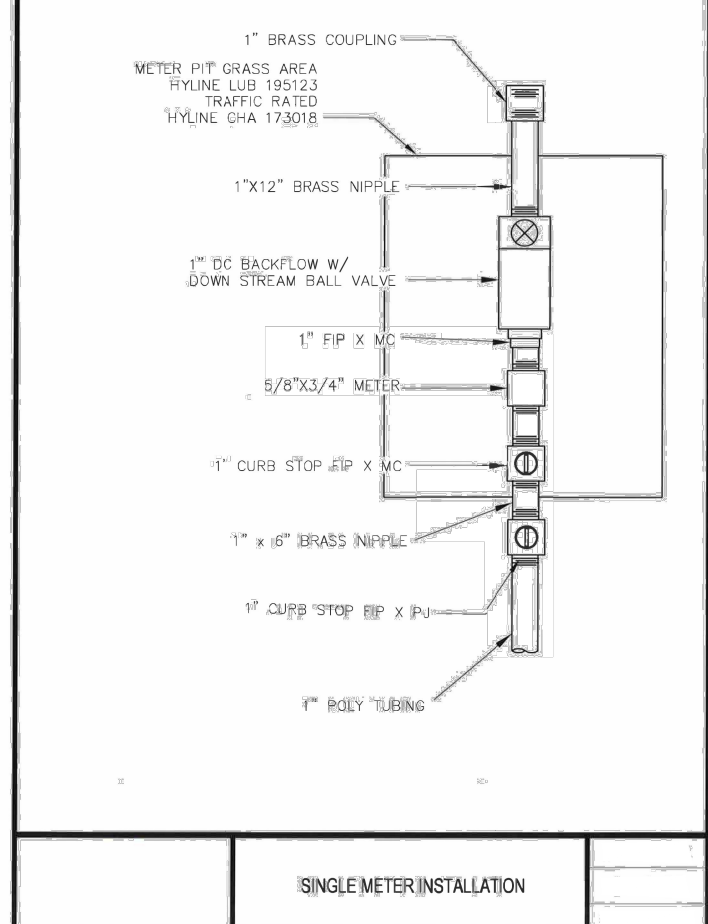
GATE VALVE & BOX DETAIL - POTABLE AND RAW WATER



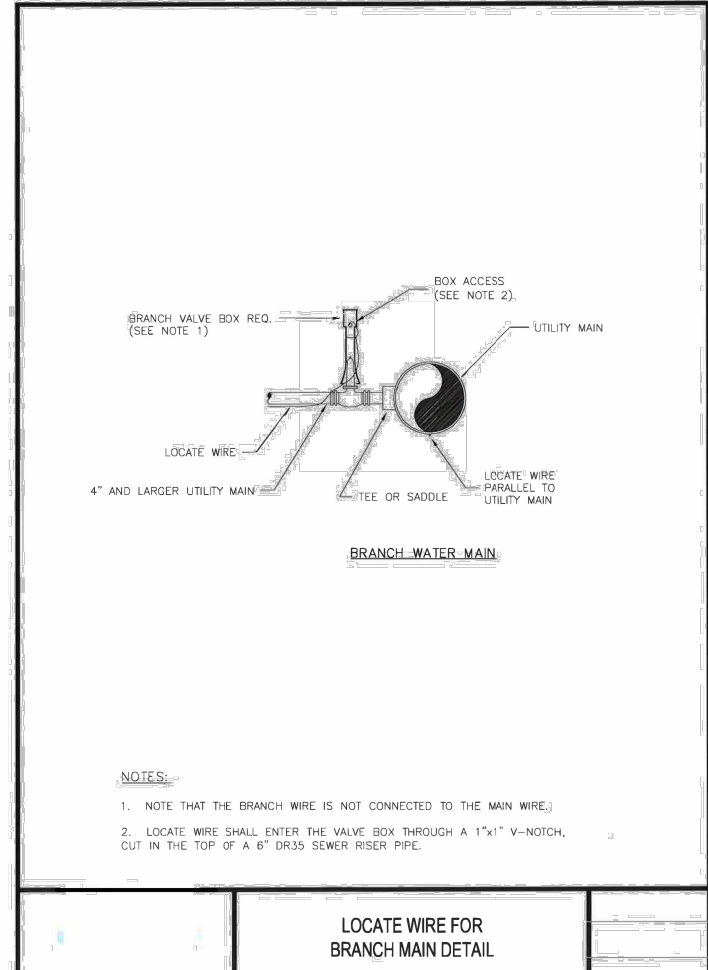
TREE PRUNING DETAIL



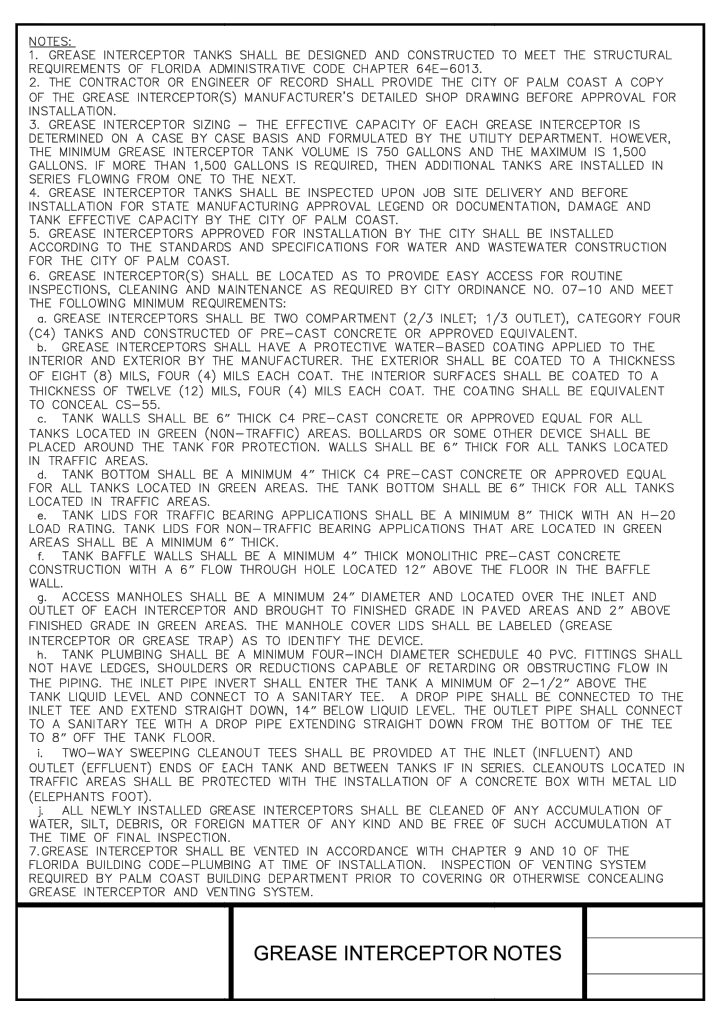
STOP SIGN INSTALLATION DETAIL (DOT TYPE RI-1)



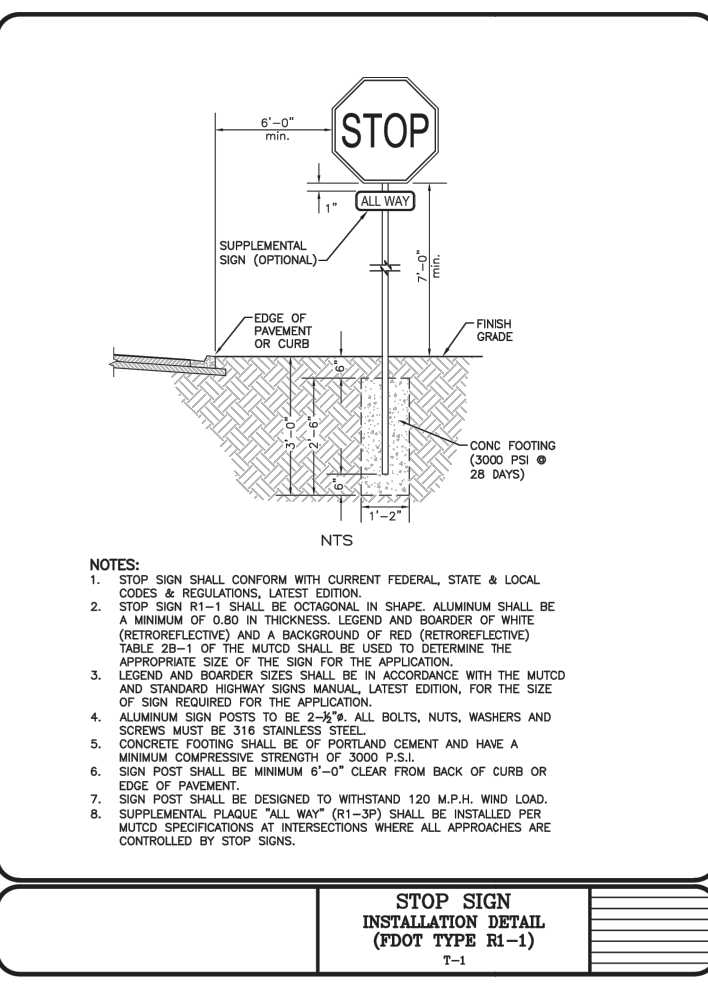
SINGLE METER INSTALLATION



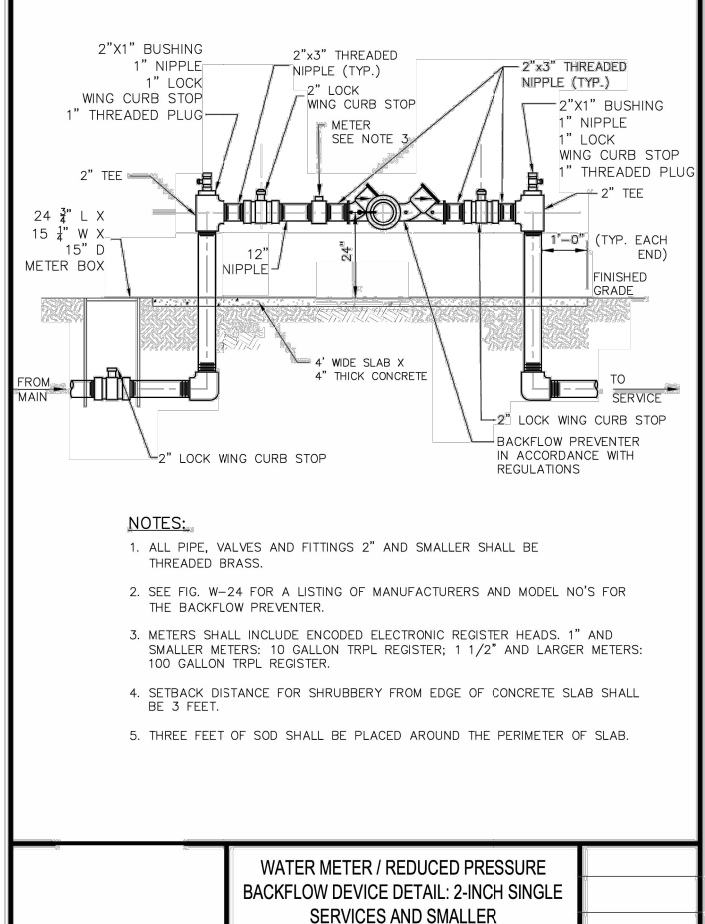
LOCATE WIRE FOR BRANCH MAIN DETAIL



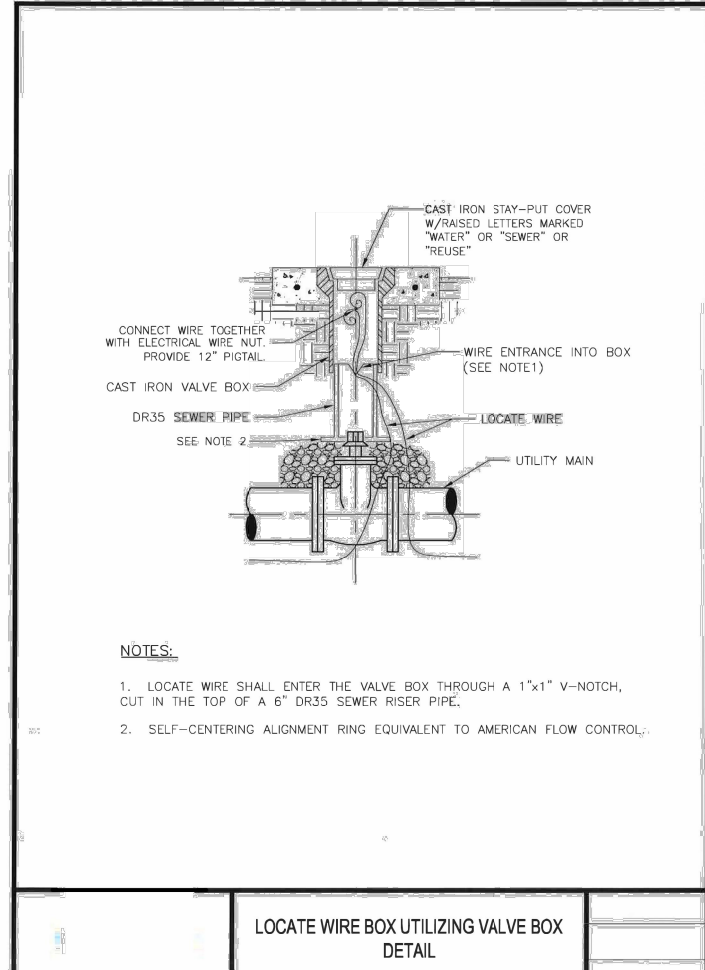
GREASE INTERCEPTOR NOTES



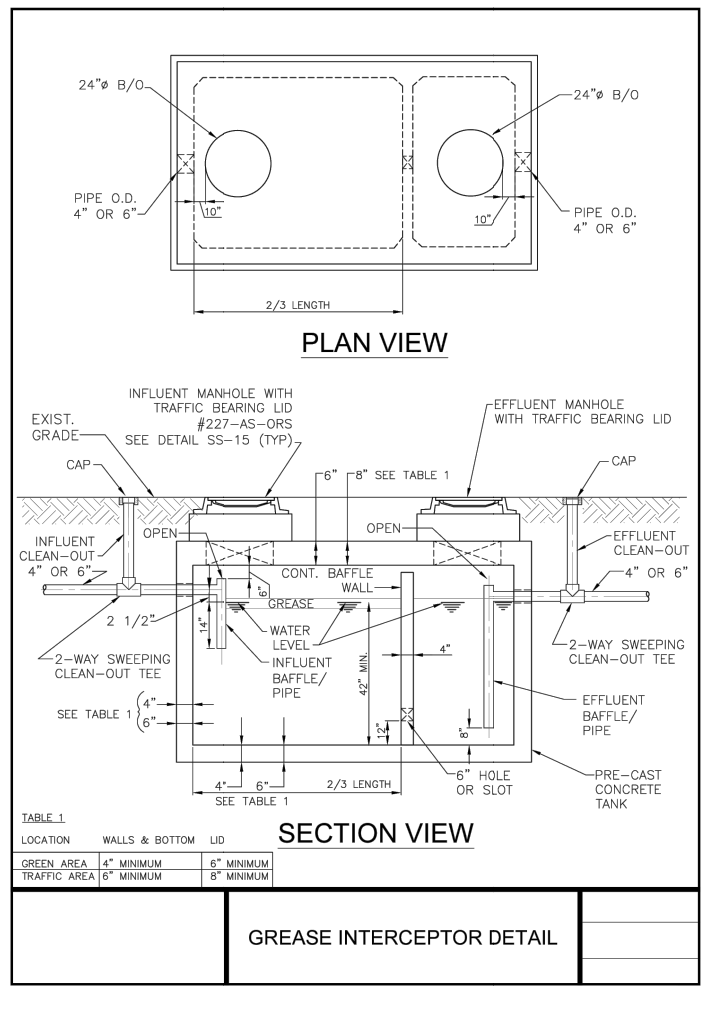
HANDICAP PARKING SIGN DETAIL (DOT TYPE PTP-25)



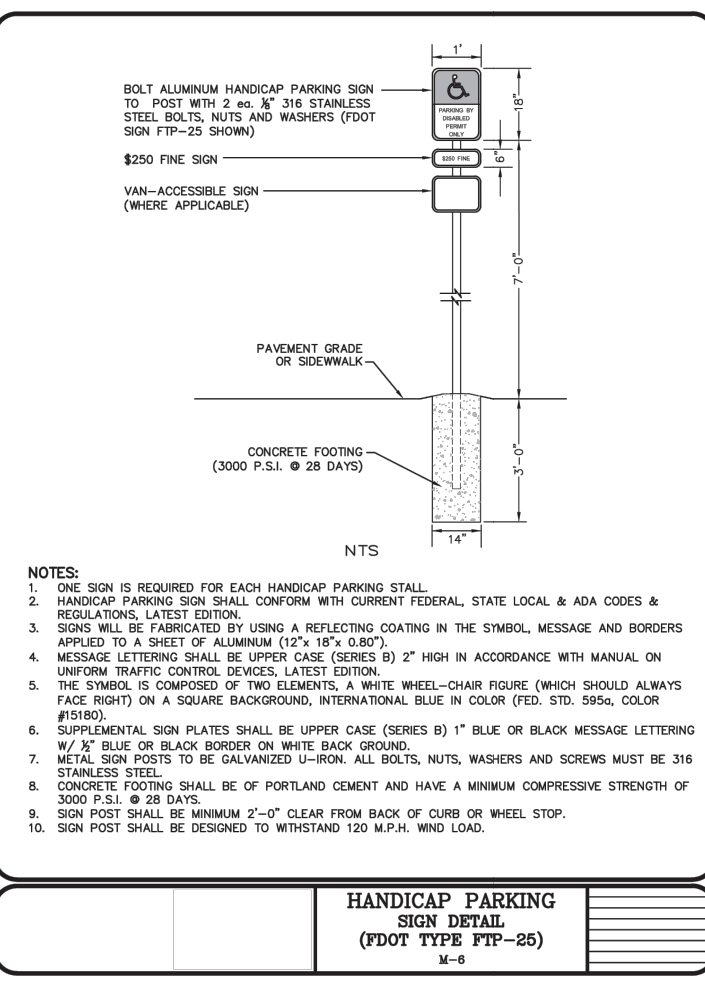
WATER METER / REDUCED PRESSURE BACKFLOW DEVICE DETAIL 2-INCH SINGLE SERVICES AND SMALLER



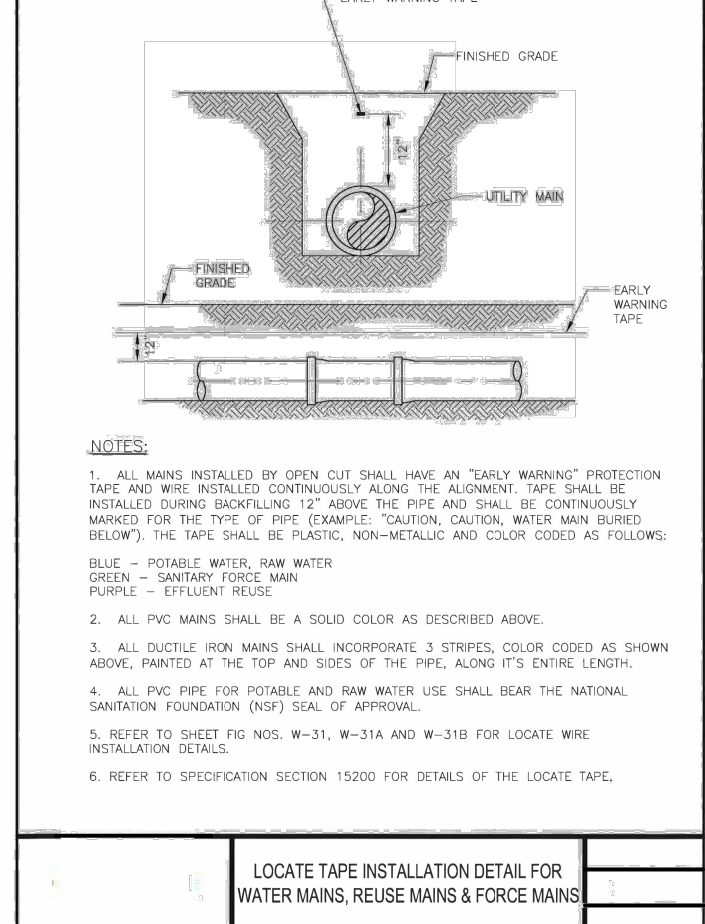
LOCATE WIRE BOX UTILIZING VALVE BOX DETAIL



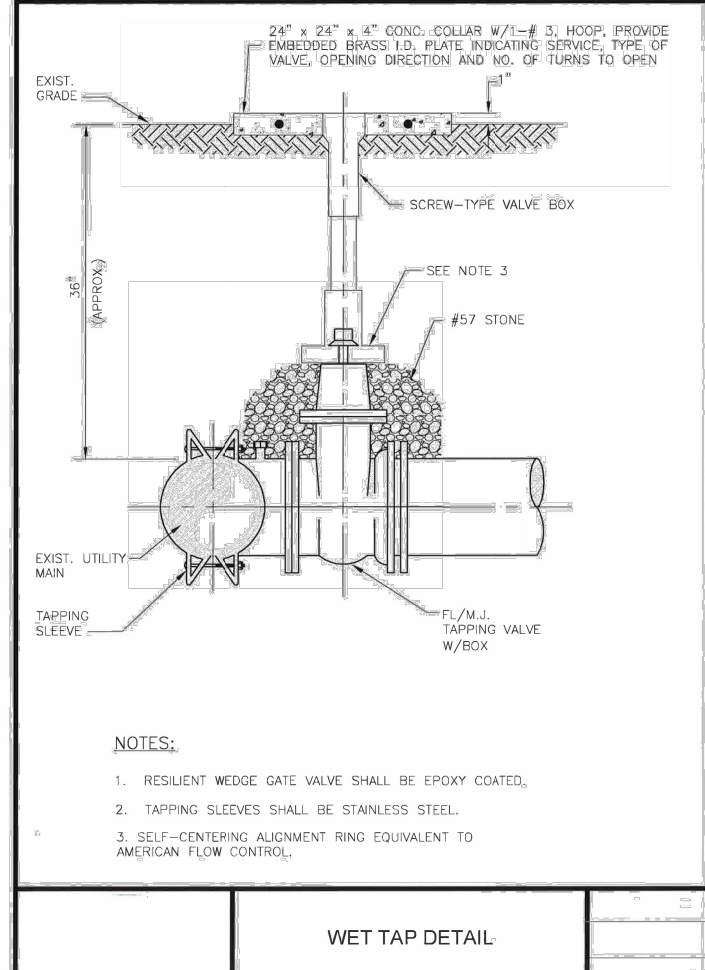
GREASE INTERCEPTOR DETAIL



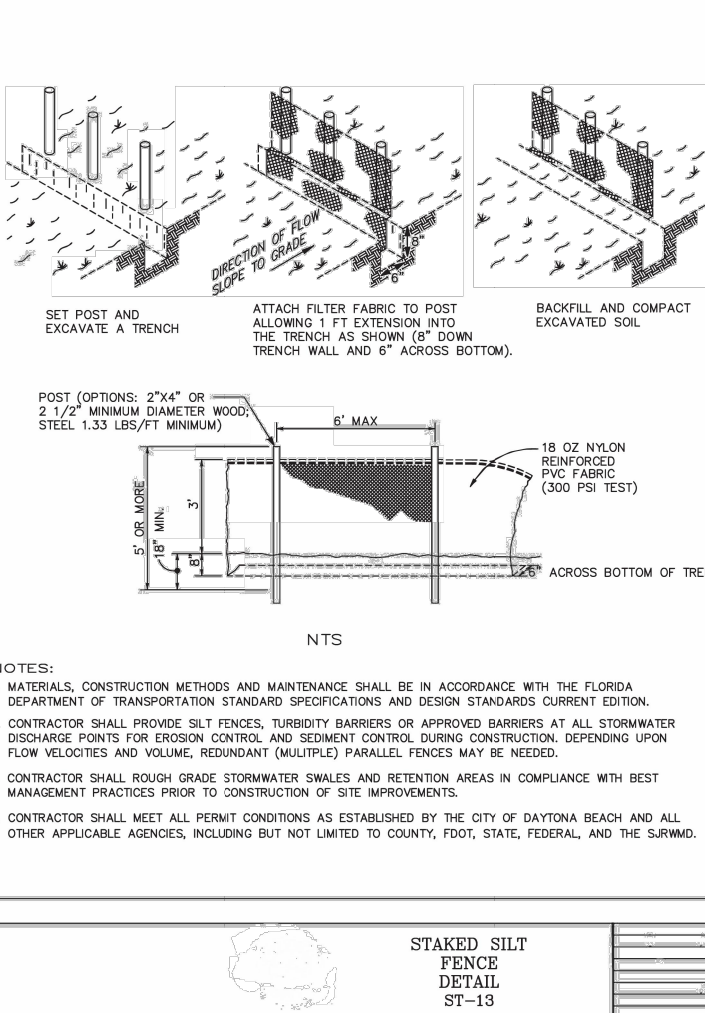
HANDICAP PARKING PAYMENT DETAIL (DOT TYPE PTP-25)



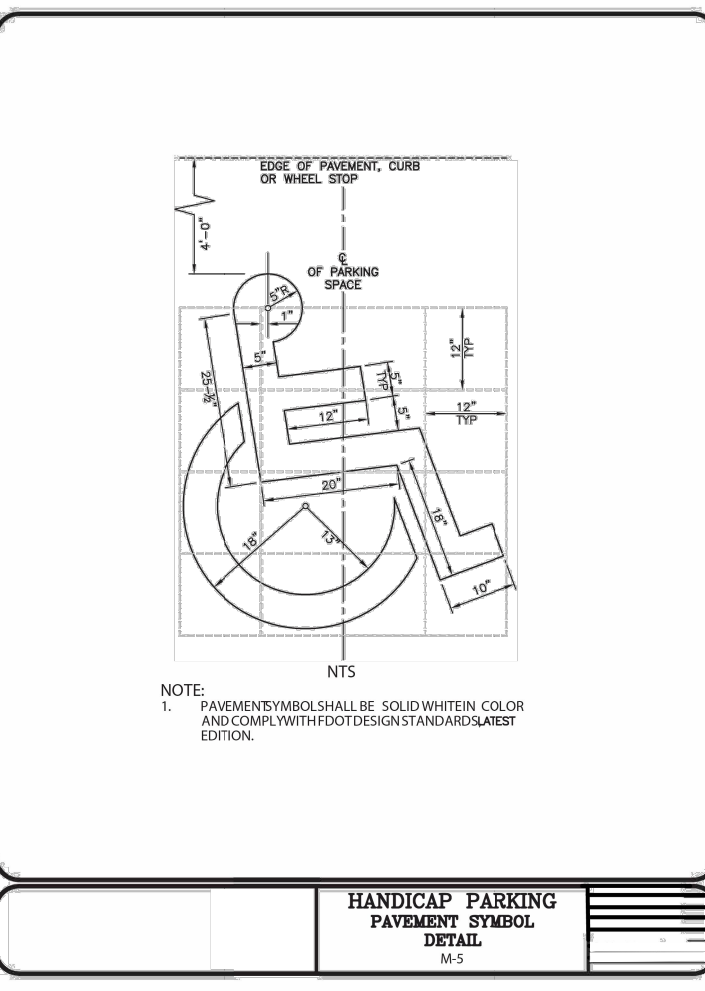
LOCATE TAPE INSTALLATION DETAIL FOR WATER MAINS, REUSE MAINS & FORCE MAINS



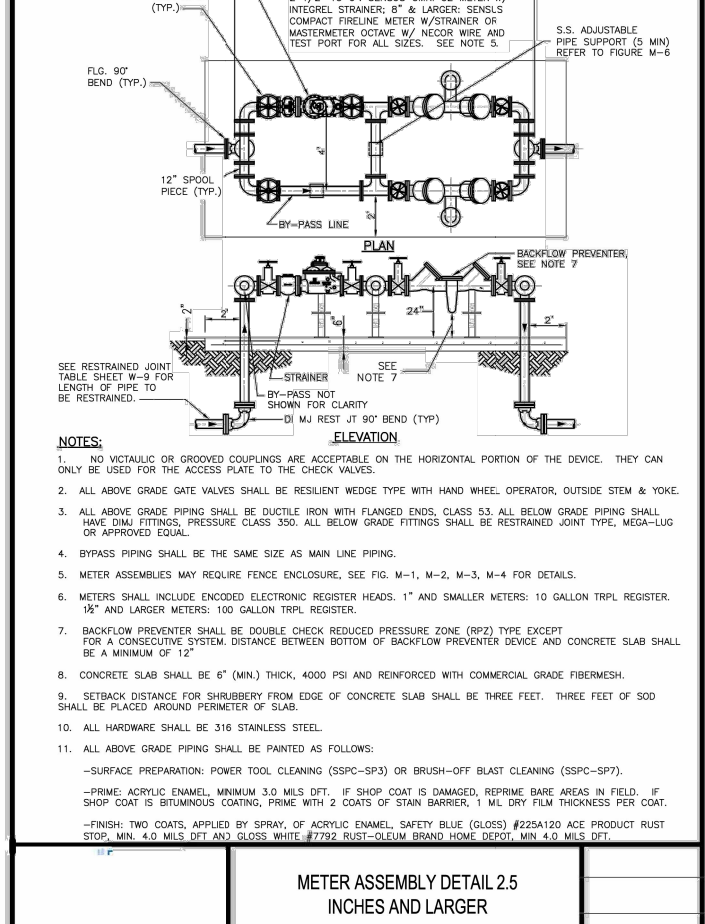
WET TAP DETAIL



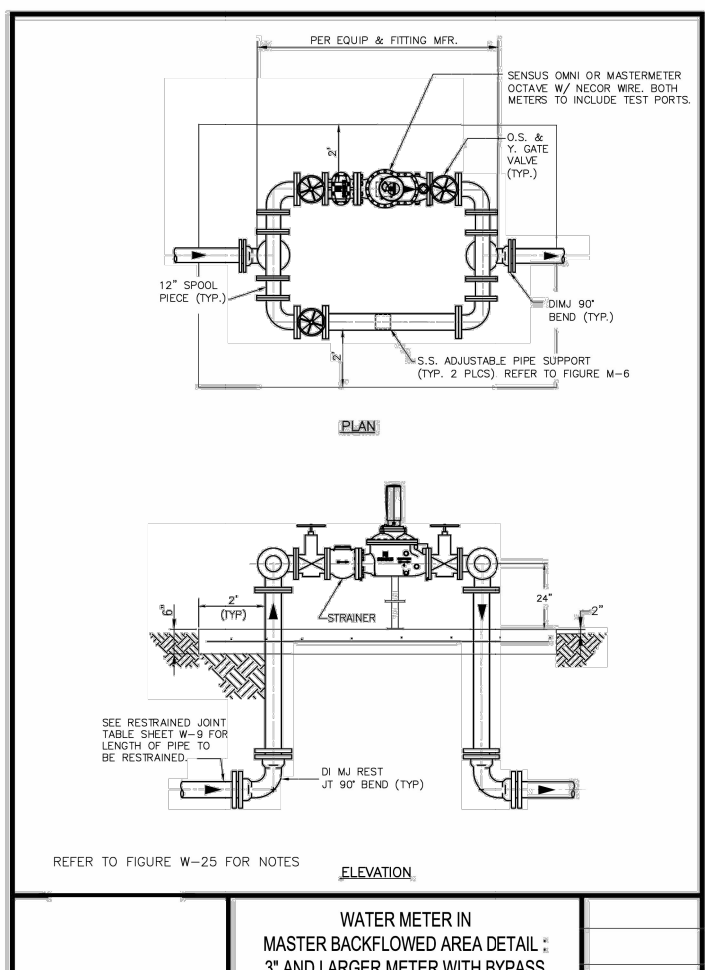
STAKED SILL DETAIL



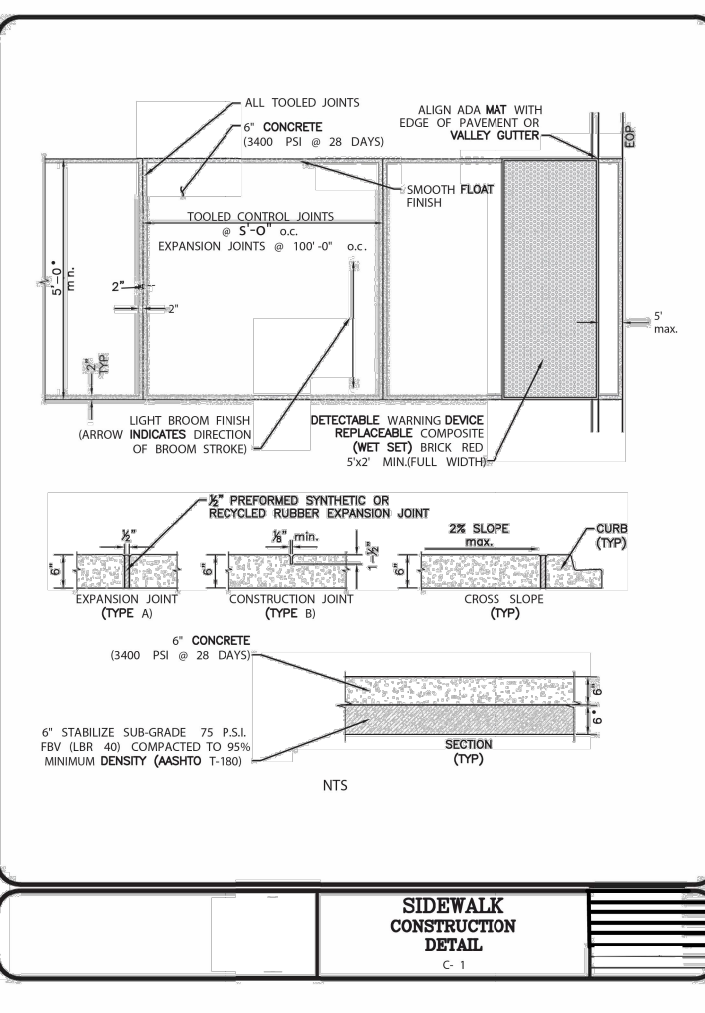
HANDICAP PARKING PAYMENT DETAIL



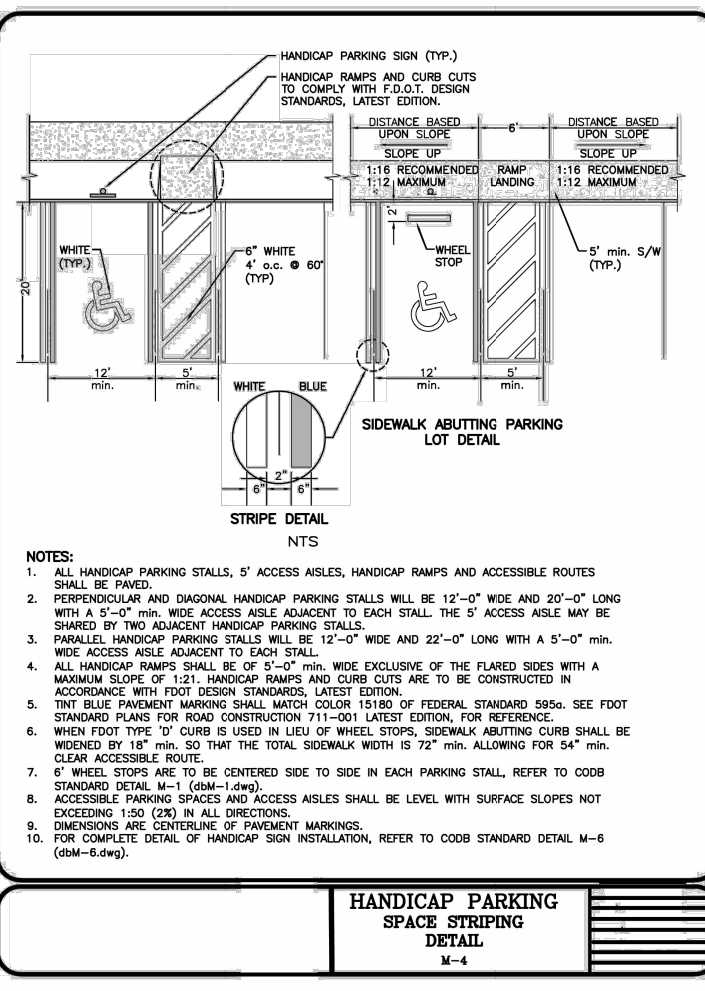
METER ASSEMBLY DETAILS 2 INCHES AND LARGER



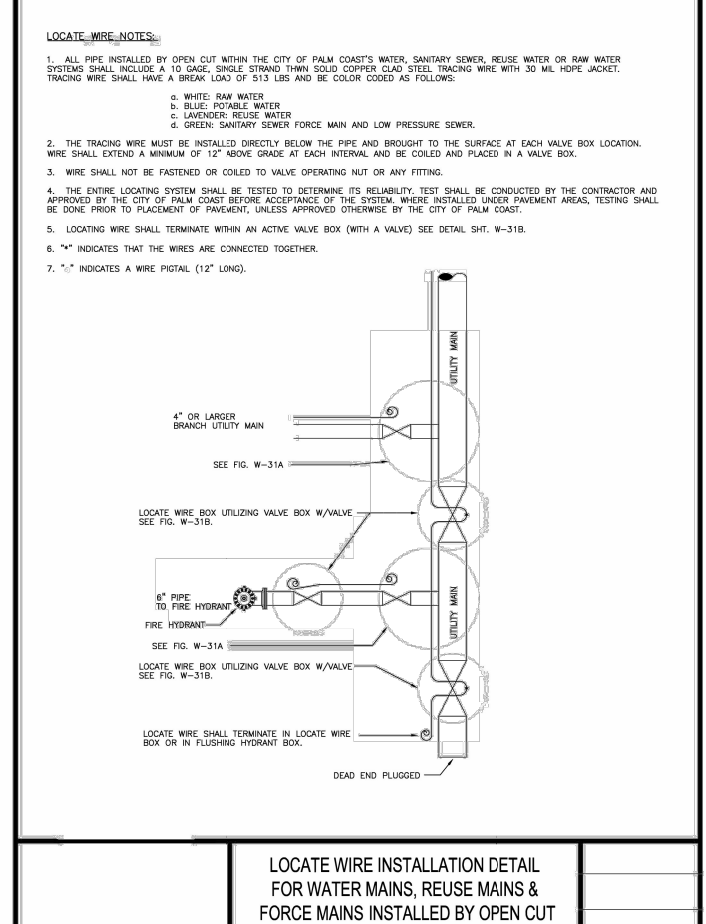
WATER METER IN MASTER BACKFLOWED AREA DETAIL 3" AND LARGER METER WITH BYPASS



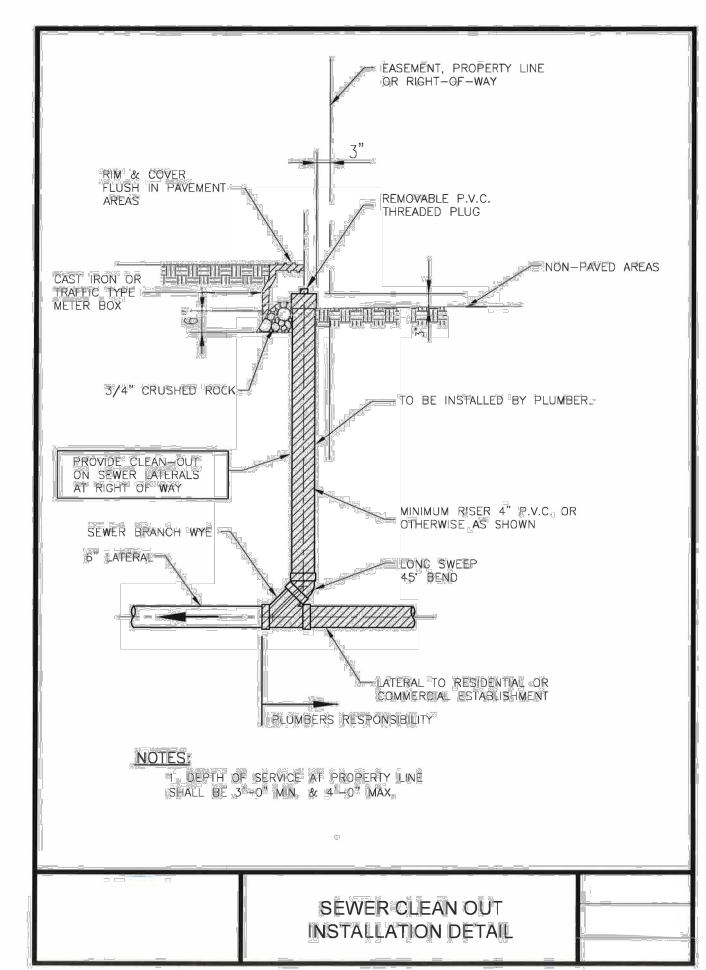
SIDEWALK CONSTRUCTION DETAIL



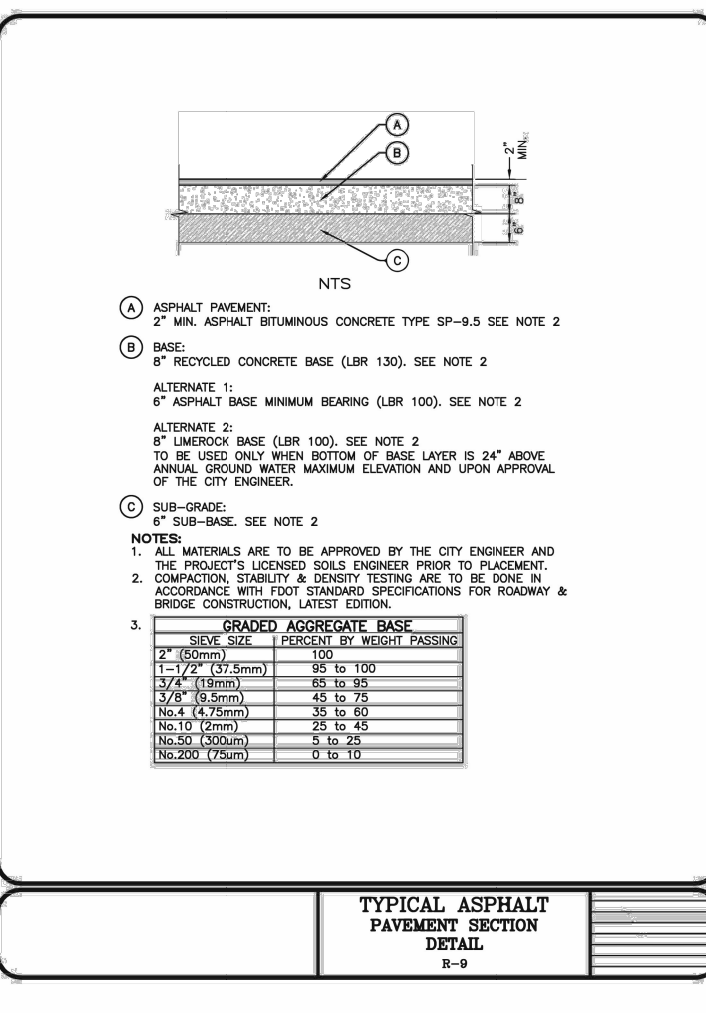
HANDICAP PARKING SIGN DETAIL



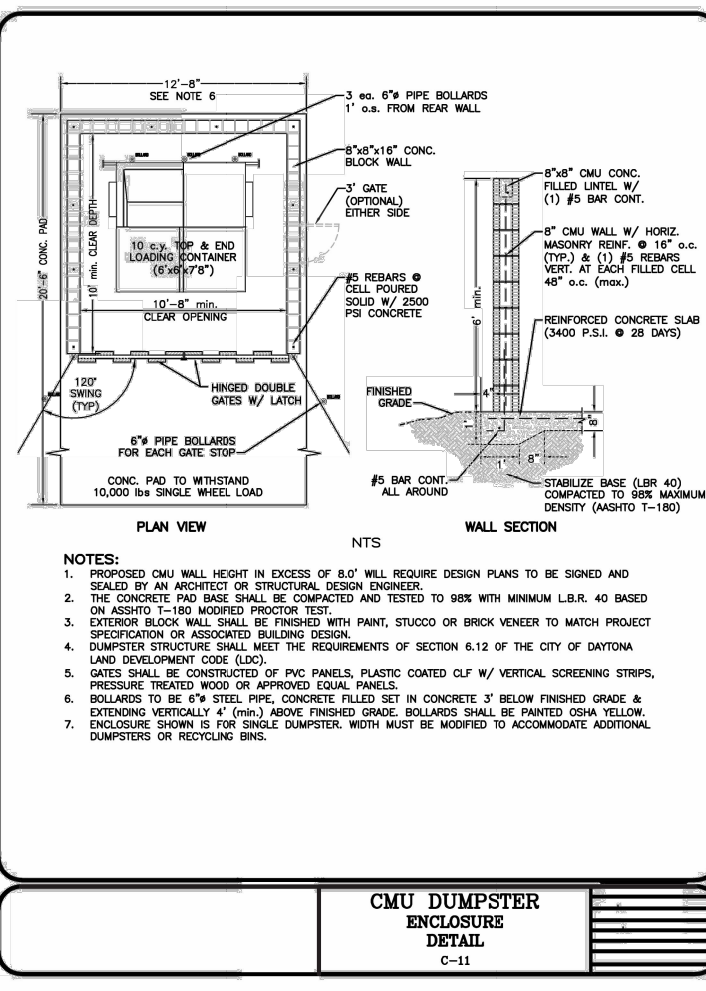
LOCATE WIRE INSTALLATION DETAIL FOR WATER MAINS, REUSE MAINS & FORCE MAINS INSTALLED BY OPEN CUT



SEWER CLEAN OUT INSTALLATION DETAIL

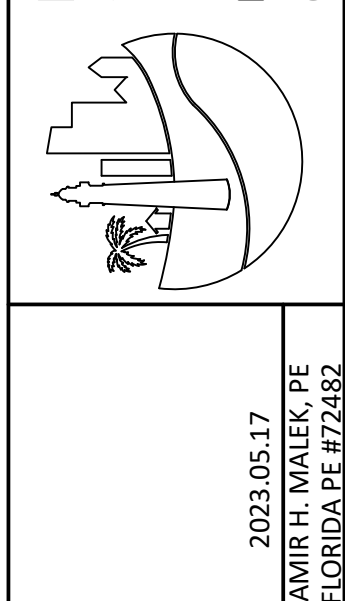


TYPICAL ASPHALT PAVEMENT SECTION



CMU DUMPSTER BACKSTOP DETAIL

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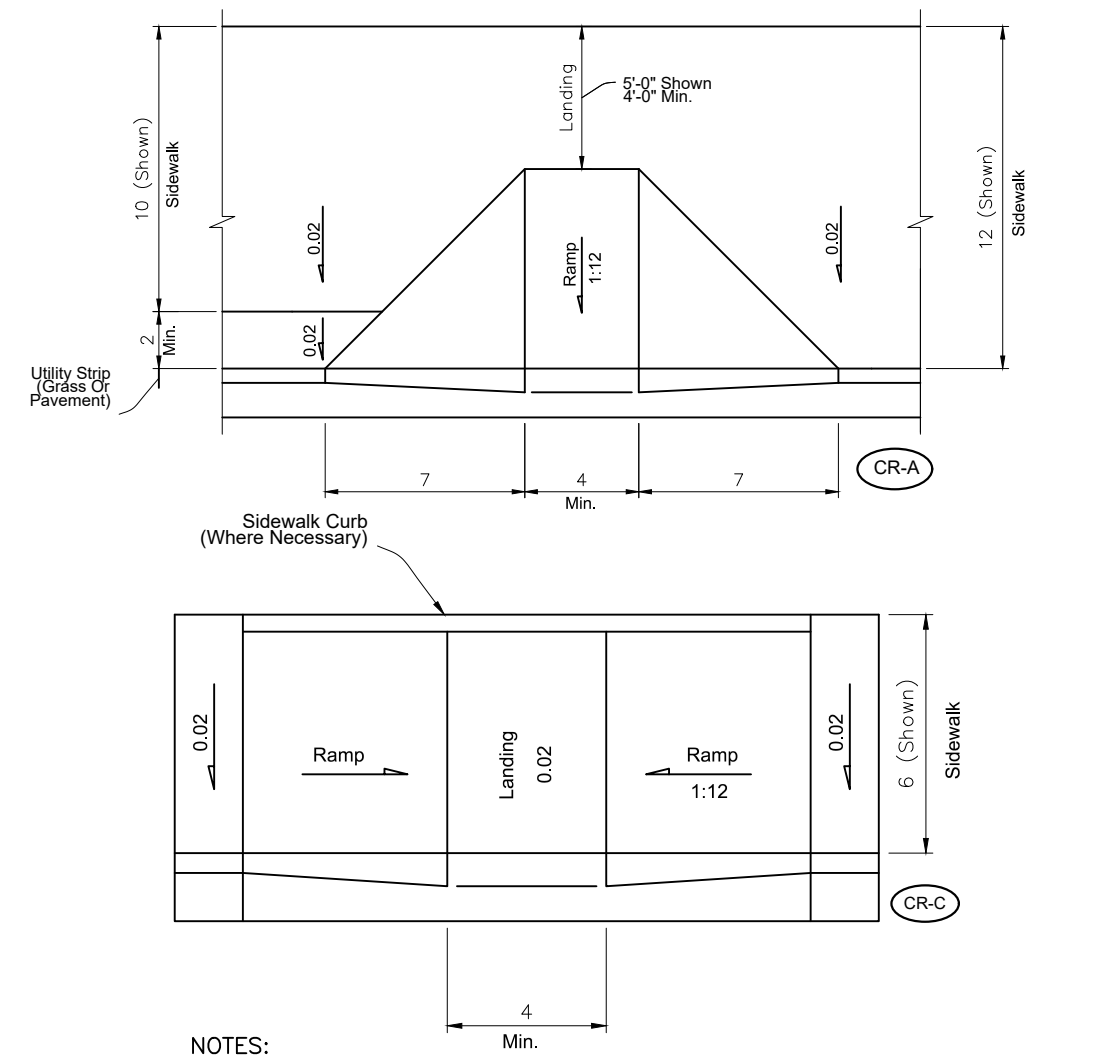
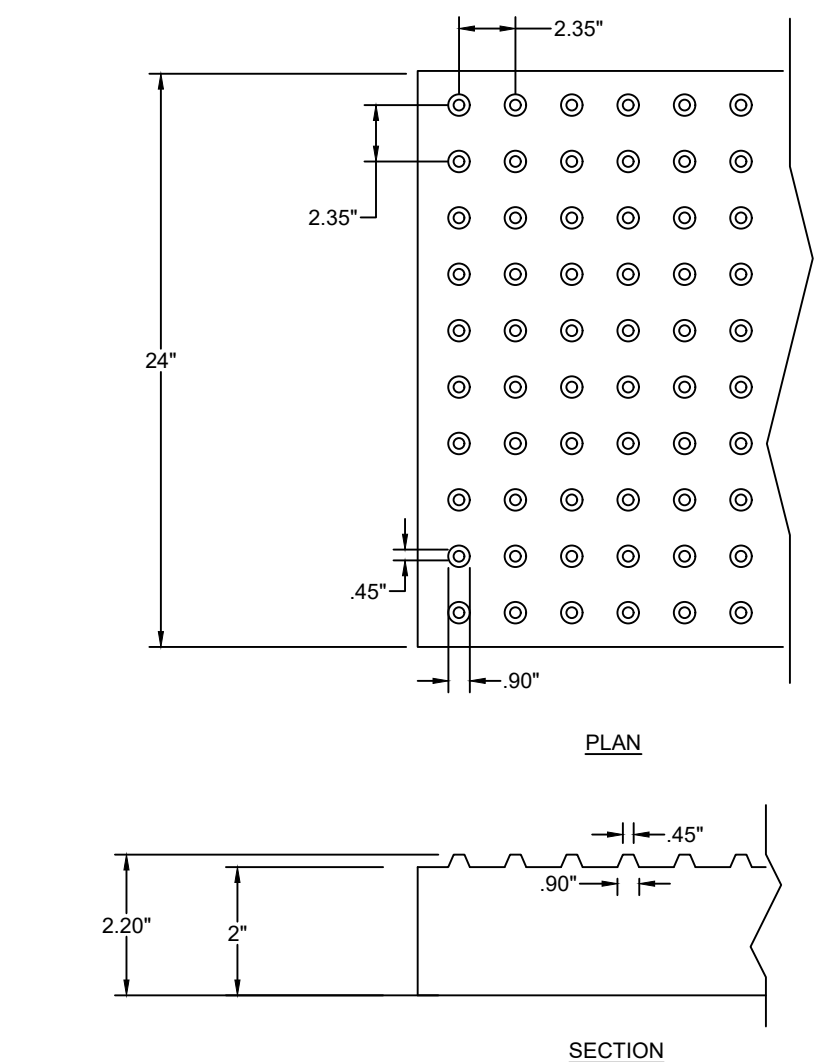
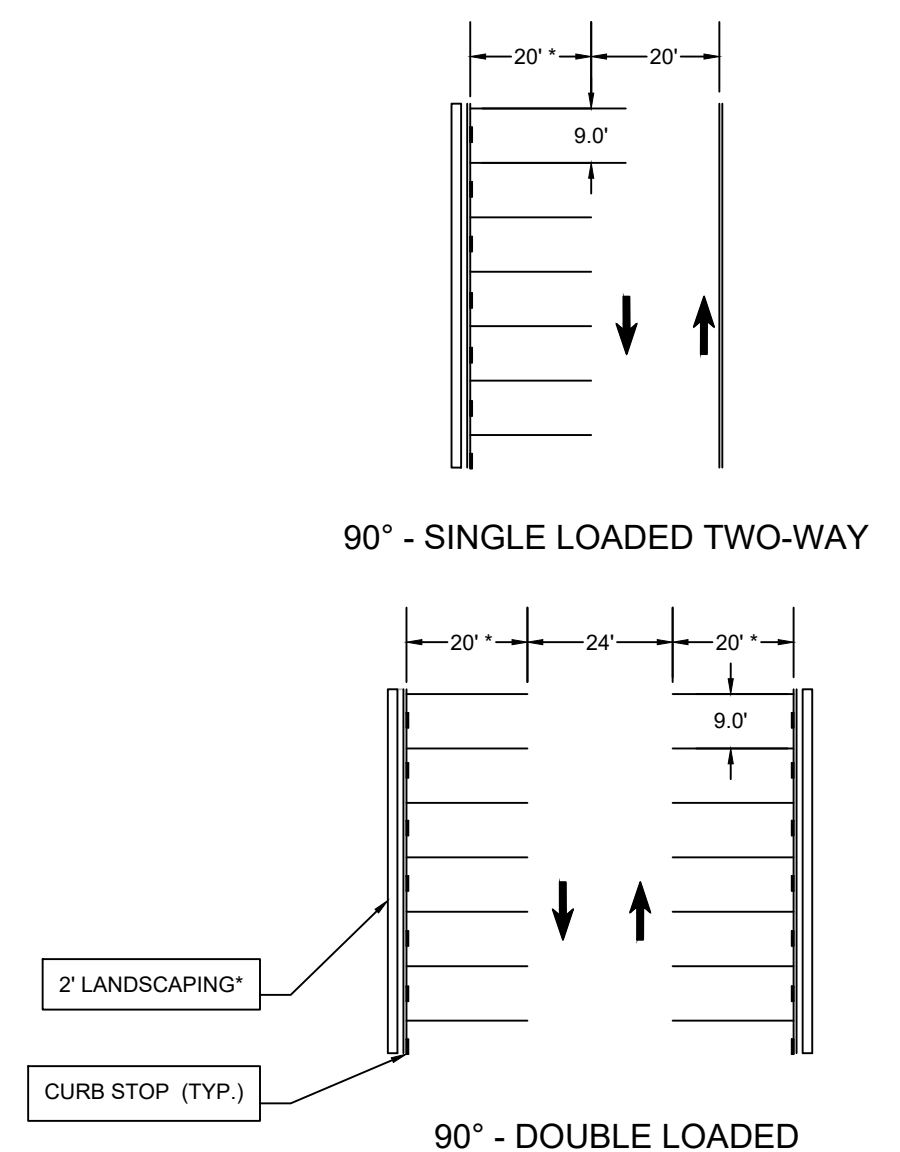
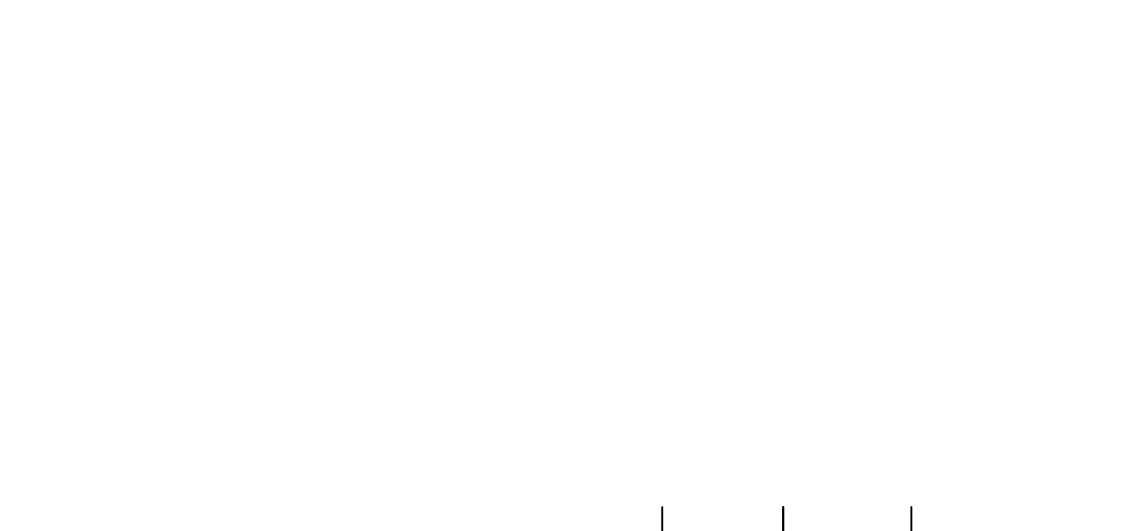
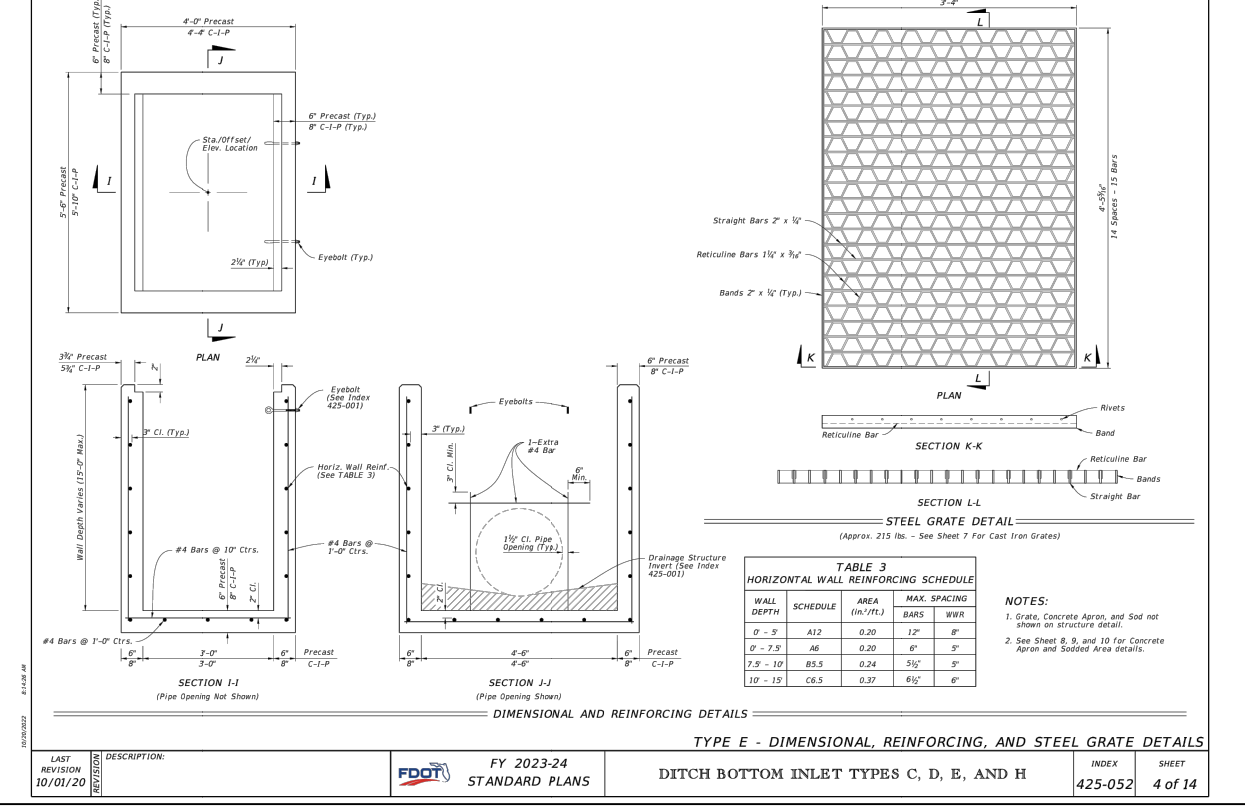
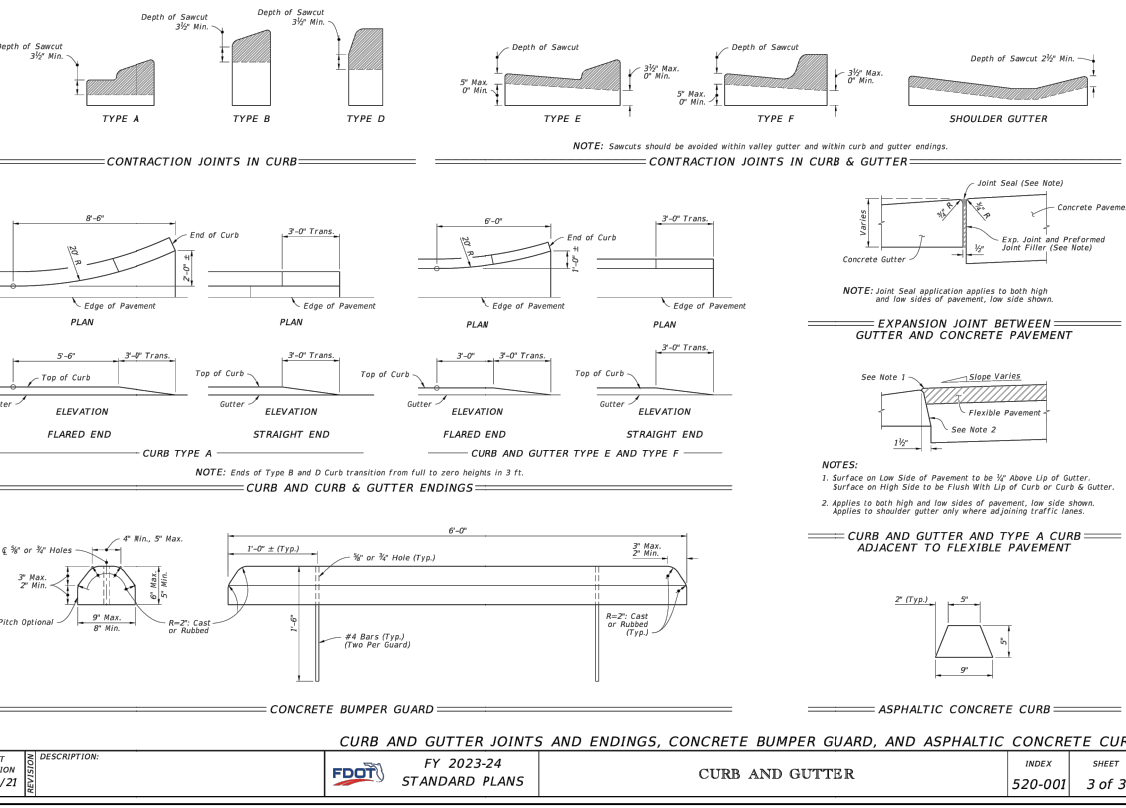
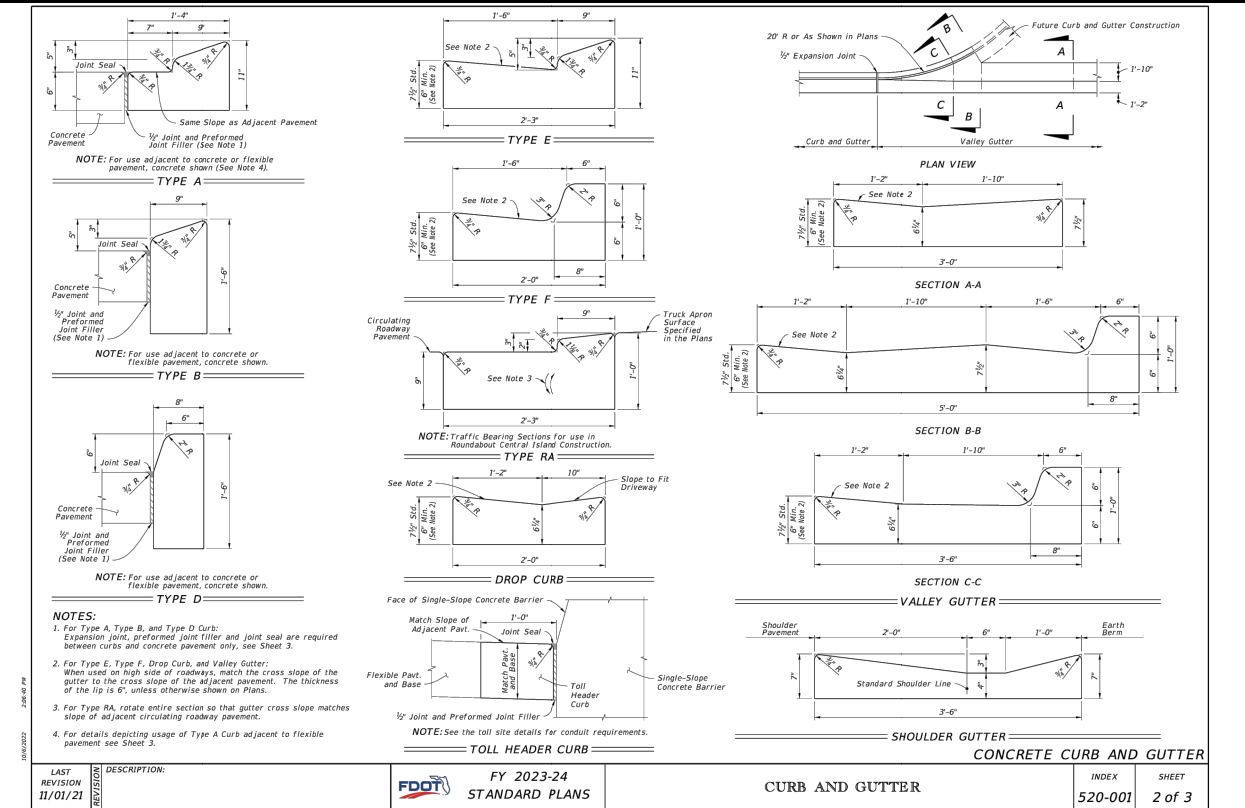
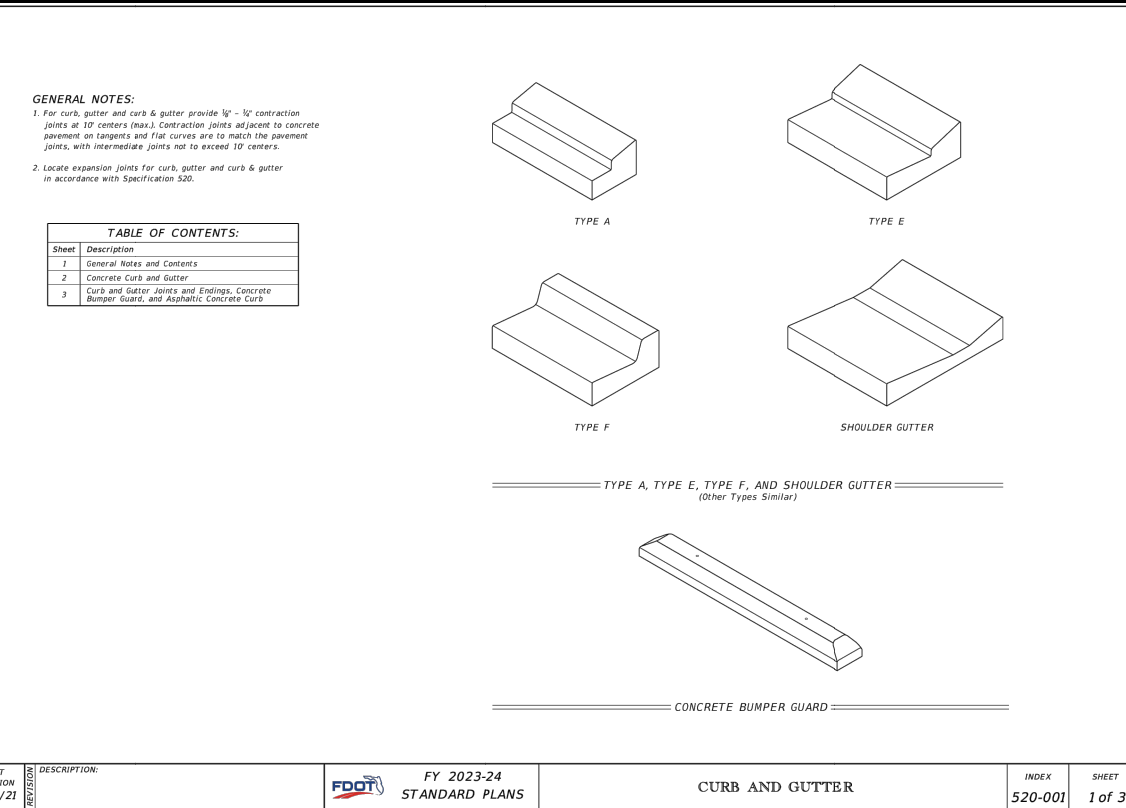
2023.05.17
AMIR H. WALEY, PE
FLORIDA DE #72482

CONSTRUCTION DETAILS

COQUINA COMMONS
A1A AT SAN CARLOS DR.
FLAGLER COUNTY, FL
BENJAMIN B. BUTERA, INC.

PROJECT NO:	165.000
DESIGNED BY:	MWS/JAM
REVIEWED BY:	JAM
PLOTTED BY:	JOHN POLIDORA
PLLOT DATE:	5/17/2023 3:35 PM

SHEET NO. 9



MetaWorld Civil Consulting
 The New Era of Engineering
 3930 S. Nova Rd., #104
 Port Orange, FL 32127
 (386) 944-9737 | www.metaworldengineering.com

AMIR H. WALEF, PE
 FLORIDA DE #72482
 2023.05.17

CONSTRUCTION DETAILS

COQUINA COMMONS
A1A AT SAN CARLOS DR.
FLAGLER COUNTY, FL
BENJAMIN B. BUTERA, INC.

PROJECT NO: 165.005
 DESIGNED BY: MRS/PAW
 REVIEWED BY: JAW
 PLOTTED BY: JOHN FIGUEROA
 PLOT DATE: 5/17/2023 3:35 PM

SHEET NO. 10
 OF 10

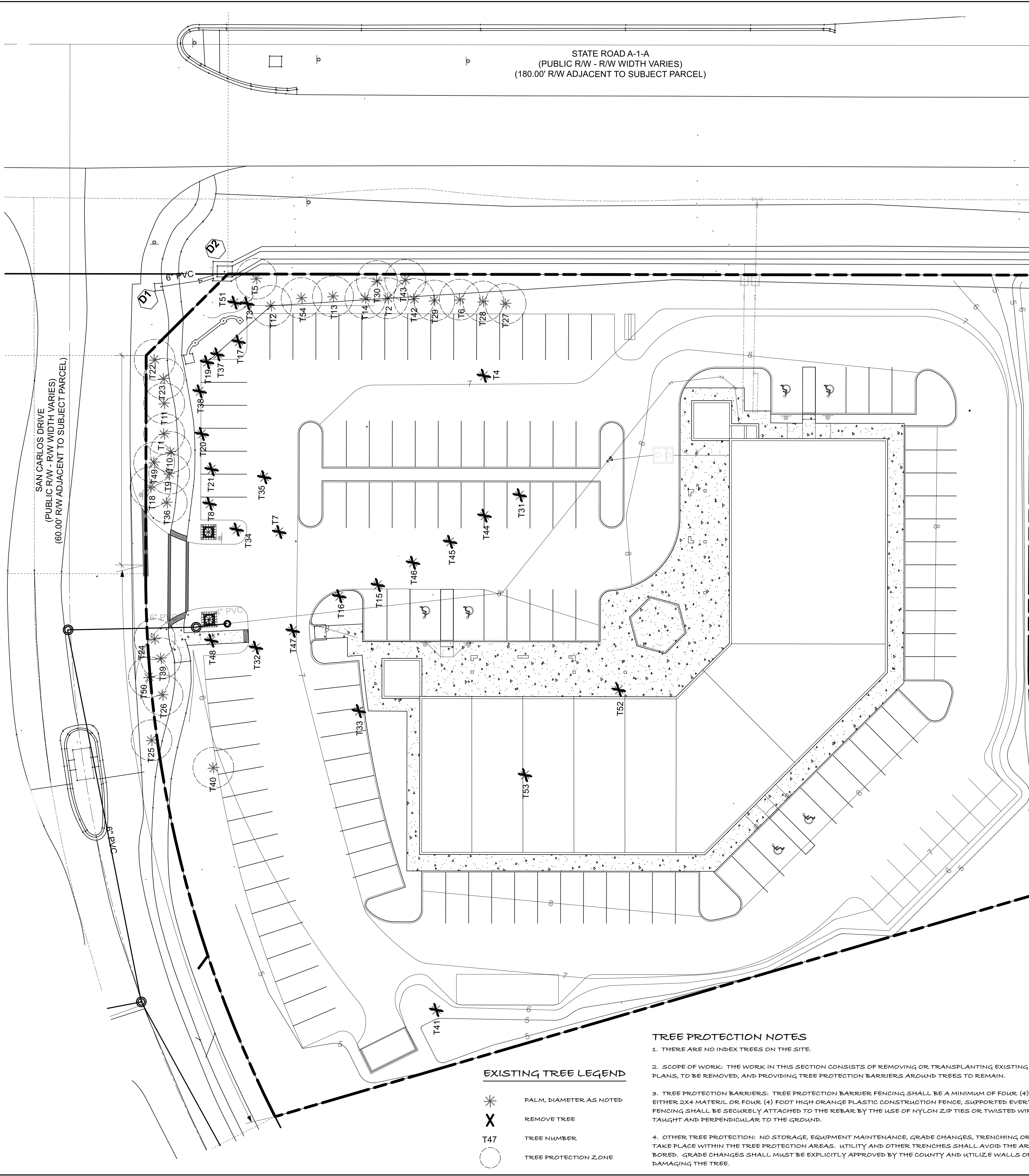
C:\USERS\SABAR\BOPROJ\BOPROJ\METAWORLD_DRAWING\165 - BBA - BUTERA\005 - COQUINA COMMONS (TVA - VILAGE AT MARANZAS) (TVA - PLAZA DEL PLAZA) (CD) (PAW-NOTES-DETAILS).DWG

COQUINA CROSSING LANDSCAPE PLAN AND DETAILS

A1A at San Carlos Drive, Flagler County, Florida

TREE TABLE			
TREE ID	D.B.H., INCHES	SPECIES	STATUS
T1	8"	SABAL PALM	RETAIN
T2	8"	SABAL PALM	RETAIN
T3	9"	SABAL PALM	DEMO
T4	9"	SABAL PALM	DEMO
T5	9"	SABAL PALM	RETAIN
T6	9"	SABAL PALM	RETAIN
T7	10"	SABAL PALM	DEMO
T8	10"	SABAL PALM	DEMO
T9	10"	SABAL PALM	RETAIN
T10	10"	SABAL PALM	RETAIN
T11	10"	SABAL PALM	RETAIN
T12	10"	SABAL PALM	RETAIN
T13	10"	SABAL PALM	RETAIN
T14	10"	SABAL PALM	RETAIN
T15	10"	SABAL PALM	DEMO
T16	10"	SABAL PALM	DEMO
T17	11"	SABAL PALM	DEMO
T18	11"	SABAL PALM	RETAIN
T19	11"	SABAL PALM	DEMO
T20	11"	SABAL PALM	DEMO
T21	11"	SABAL PALM	DEMO
T22	11"	DATE PALM	RETAIN
T23	11"	SABAL PALM	RETAIN
T24	11"	SABAL PALM	RETAIN
T25	11"	SABAL PALM	RETAIN
T26	11"	SABAL PALM	RETAIN
T27	11"	SABAL PALM	RETAIN
T28	11"	SABAL PALM	RETAIN
T29	11"	SABAL PALM	RETAIN
T30	11"	SABAL PALM	RETAIN
T31	11"	SABAL PALM	DEMO
T32	11"	SABAL PALM	DEMO
T33	11"	SABAL PALM	DEMO

T34	12"	SABAL PALM	DEMO
T35	12"	SABAL PALM	DEMO
T36	12"	SABAL PALM	RETAIN
T37	12"	SABAL PALM	DEMO
T38	12"	SABAL PALM	DEMO
T39	12"	SABAL PALM	RETAIN
T40	12"	SABAL PALM	RETAIN
T41	12"	SABAL PALM	DEMO
T42	12"	SABAL PALM	RETAIN
T43	12"	SABAL PALM	RETAIN
T44	12"	SABAL PALM	DEMO
T45	12"	SABAL PALM	DEMO
T46	12"	SABAL PALM	DEMO
T47	12"	SABAL PALM	DEMO
T48	12"	SABAL PALM	DEMO
T49	13"	SABAL PALM	RETAIN
T50	13"	SABAL PALM	RETAIN
T51	13"	DATE PALM	DEMO
T52	13"	SABAL PALM	DEMO
T53	13"	SABAL PALM	DEMO
T54	14"	SABAL PALM	RETAIN

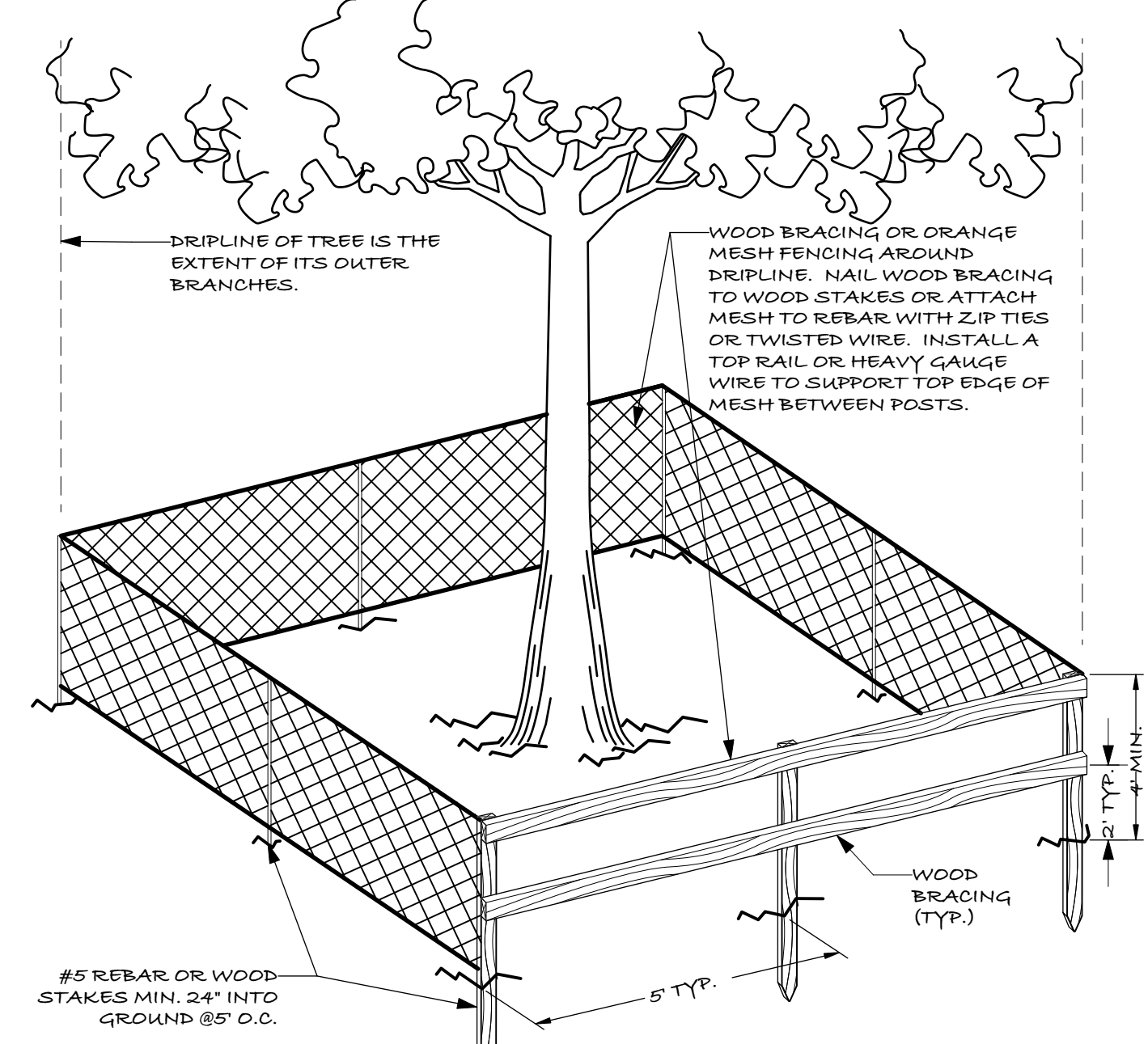


TREE PROTECTION NOTES

- THERE ARE NO INDEX TREES ON THE SITE.
- SCOPE OF WORK: THE WORK IN THIS SECTION CONSISTS OF REMOVING OR TRANSPLANTING EXISTING PALM TREES SHOWN, ON THE PLANS, TO BE REMOVED, AND PROVIDING TREE PROTECTION BARRIERS AROUND TREES TO REMAIN.
- TREE PROTECTION BARRIERS: TREE PROTECTION BARRIER FENCING SHALL BE A MINIMUM OF FOUR (4) FEET HIGH, CONSTRUCTED OF EITHER 2X4 MATERIAL OR FOUR (4) FOOT HIGH ORANGE PLASTIC CONSTRUCTION FENCE, SUPPORTED EVERY EIGHT (8) FEET BY REBAR. FENCING SHALL BE SECURELY ATTACHED TO THE REBAR BY THE USE OF NYLON ZIP TIES OR TWISTED WIRE. BARRICADES MUST BE TAUGHT AND PERPENDICULAR TO THE GROUND.
- OTHER TREE PROTECTION: NO STORAGE, EQUIPMENT MAINTENANCE, GRADE CHANGES, TRENCHING OR OTHER ACTIVITIES SHALL TAKE PLACE WITHIN THE TREE PROTECTION AREAS. UTILITY AND OTHER TRENCHES SHALL AVOID THE AREA, OR BE DIRECTIONALLY BORED. GRADE CHANGES SHALL MUST BE EXPLICITLY APPROVED BY THE COUNTY AND UTILIZE WALLS OR OTHER METHODS TO AVOID DAMAGING THE TREE.

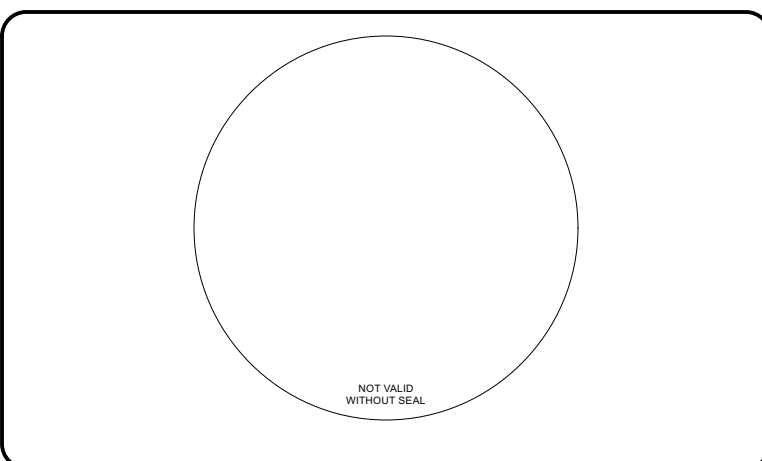
EXISTING TREE LEGEND

- * PALM, DIAMETER AS NOTED
- X REMOVE TREE
- T47 TREE NUMBER
- TREE PROTECTION ZONE



- NOTES:
- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BRACING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP LINE
 - FOOT OR VEHICULAR TRAFFIC
 - PARKING VEHICLES WITHIN DRIP-LINE
 - ERECT TEMPORARY WOODEN OR REBAR BARRICADES, AS SHOWN ON THIS SHEET, BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE SHALL BE INSTALLED AT THE DRIPLINE, OR 1' DISTANCE FROM THE CENTER OF THE TRUNK FOR EVERY INCH OF TREE DIAMETER, WHICHEVER IS GREATER. FENCE TO BE 4' HIGH MINIMUM WITH 2X4 POSTS AND 2-2X4 RAILS AT 2' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHOULD BE A MINIMUM CLEAR DISTANCE OF 6' FROM THE FACE OF ANY TREES 12" DBH AND UNDER AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. ON TREES LARGER THAN 12" DBH, BARRICADES SHALL BE NO CLOSER THAN 10' FROM FACE OF TREE, WHEN PAVING, EXCAVATION, OR HARDSCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN, AT THIS TIME, BY THE CONTRACTOR, TO ENSURE THAT NO DAMAGE TO THE TREE OCCURS.
 - BARBED WIRE FENCING IS NOT PERMISSIBLE.
 - PROVIDE WATER TO TREES, AS REQUIRED, TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
 - NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE APPROVING JURISDICTION'S FORESTER.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	5/3/23	NEW SIDEWALK & SIGN AREAS	SRB

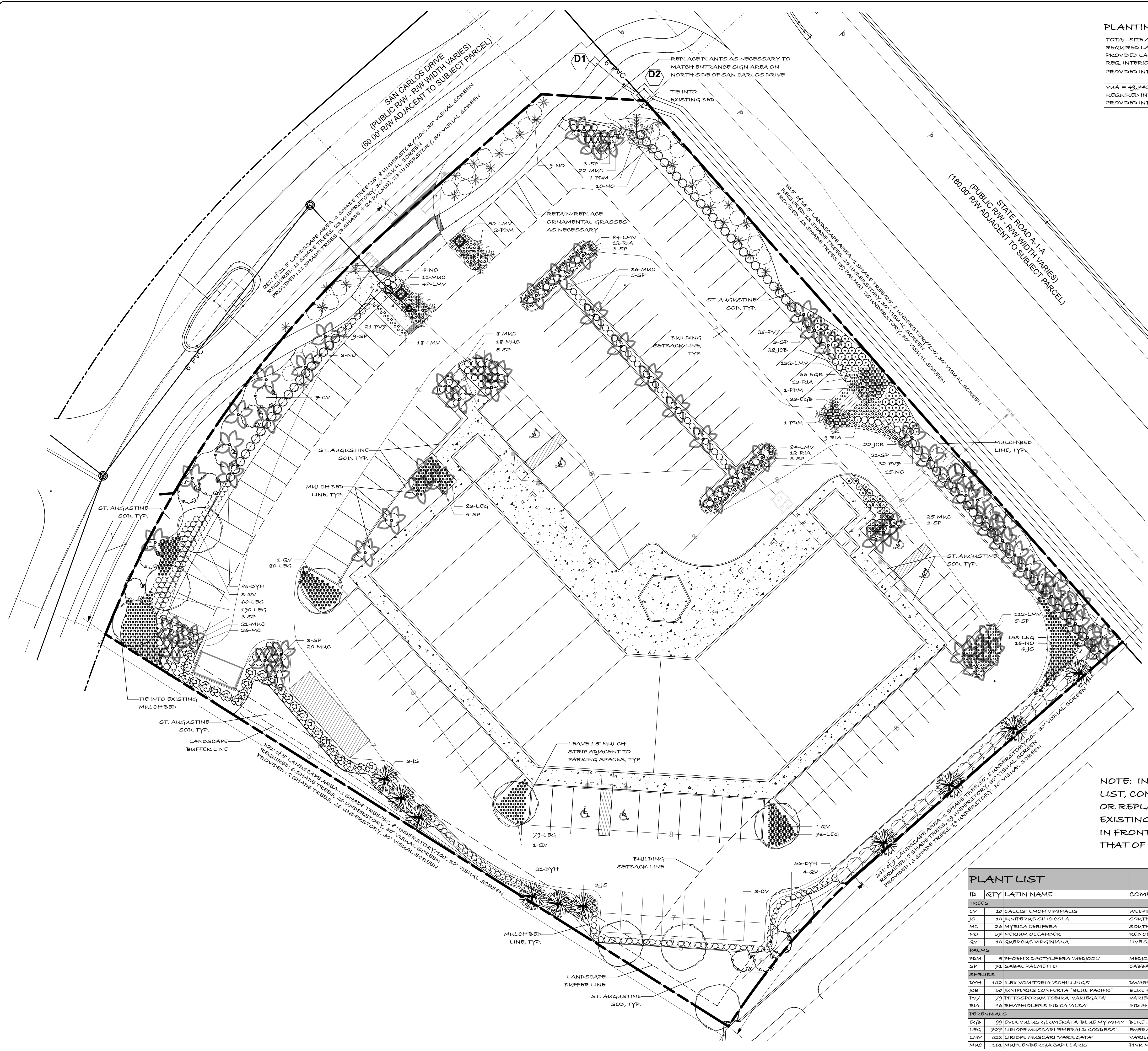


COQUINA CROSSING LANDSCAPE PLAN AND DETAILS

A1A at San Carlos Drive, Flagler County, Florida

PLANTING AREA CALCULATIONS

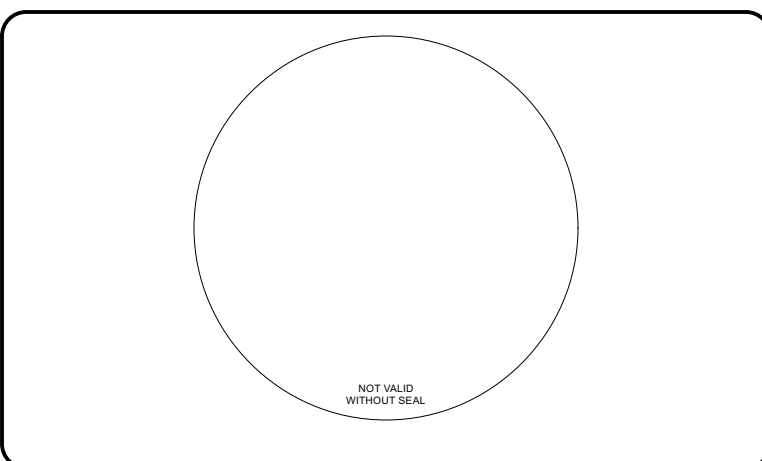
TOTAL SITE AREA = 98,010 S.F.
REQUIRED LANDSCAPE AREA = 15% OF SITE AREA = 14,702 S.F.
PROVIDED LANDSCAPE AREA = 23,342 S.F. (24%)
REQ. INTERIOR LANDSCAPE AREA = 1/3 OF REQ. LANDSCAPE = 4,901 S.F.
PROVIDED INTERIOR PLANTING AREA = 6,315 S.F.
VIA = 49,745 S.F.
REQUIRED INTERIOR PLANTING AREA = 250 S.F./5000 S.F. VIA (5%) = 2,487 S.F.
PROVIDED INTERIOR PLANTING AREA = 6,315 S.F.



NOTE: IN ADDITION TO THE MATERIALS ON THE PLANT LIST, CONTRACTOR IS RESPONSIBLE FOR RETAINING OR REPLACING ORNAMENTAL GRASSES BY THE EXISTING WALKWAY, AND RESTORING THE LANDSCAPE IN FRONT OF THE SOUTH ENTRANCE WALL, TO MATCH THAT OF THE NORTH ENTRANCE WALL.

ID	QTY	LATIN NAME	COMMON NAME	SIZE	COMMENTS
TREES					
CV	10	CALLISTEMON VIMINALIS	WEeping BOTTLEBRUSH	25 GAL.	1" CAL., MIN. 6' HT.
JS	10	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	30 GAL.	1.5" CAL., MIN. 8' HT.
MC	26	MYRICA CERIFERA	SOUTHERN WAX MYRTLE	65 GAL.	1" CAL., MIN. 6' HT.
NO	57	NERIUM OLEANDER	REE OLEANDER	30 GAL.	1" CAL., MIN. 6' HT.
QV	10	QUERCUS VIRGINIANA	LIVE OAK	25 GAL.	1.5" CAL., MIN. 8' HT.
PALMS					
PDM	5	PHOENIX DACTYLIFERA 'MEDIOL'	MEDIOL DATE PALM	12" C.T.	SPECIMEN, MATCHED
SP	71	SABAL PALMETTO	CABBAGE PALM	12" 20" C.T.	DEBOTTED, 2' INTERVALS IN EQUAL QUANTITIES
SHRUBS					
DYH	162	ILEX VOMITORIA 'SCHILLINGS'	DWARF YAKPON HOLLY	3 GAL.	10" HT., 14" SP., 30" O.C.
JCB	50	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	3 GAL.	4" HT., 16" SP., 36" O.C.
PV7	79	PITTOSPORUM TOBIRA 'VARIEGATA'	VARIEGATED PITTOSPORUM	7 GAL.	36" HT. X 36" SPRD., FULL, 4" O.C.
RIA	46	RHAPHIOLEPIS INDICA 'ALBA'	INDIAN HAWTHORN	3 GAL.	12" HT., 12" SP., FULL, 36" O.C.
PERENNIALS					
EQB	39	EVOLVULUS GLOMERATA 'BLUE MY MIND'	BLUE DAZE	1 GAL.	FULL, 12" SP., 18" O.C.
LEG	727	LIRIOPE MUSCARI 'EMERALD GODDESS'	EMERALD GODDESS LILYTURF	1 GAL.	10-12 PPP, 12" HT., 18" O.C.
LMV	528	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	1 GAL.	10-12 PPP, 12" HT., 18" O.C.
MUC	161	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	1 GAL.	10" HT., 10" SP., 36" O.C.

NO.	DATE	DESCRIPTION	BY
A	5/3/23	NEW SIDEWALK & SIGN AREAS	SRB

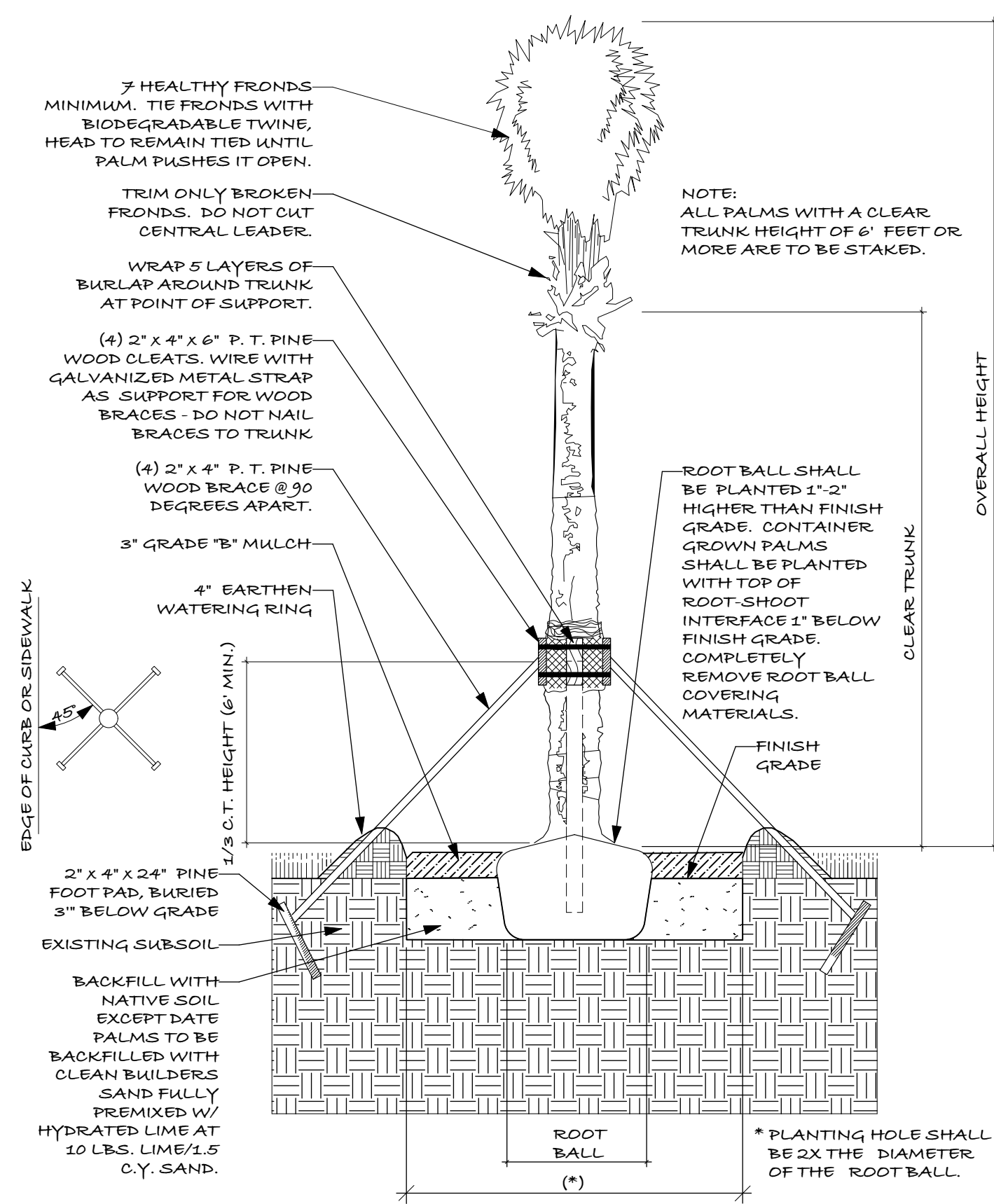


LANDSCAPE SPECIFICATIONS

1. CALL BEFORE YOU DIG: CONTRACTOR SHALL CONTACT SUNSHINE 811 (CALL 811), TO LOCATE UTILITIES, PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL NOT PLANT TREES WITHIN 3' OF UNDERGROUND UTILITIES WITHOUT PRIOR WRITTEN PERMISSION FROM OWNER'S REPRESENTATIVE. CONTRACTOR SHALL HAND DIG WHERE POSSIBLE UTILITY CONFLICTS EXIST.
2. QUALITY OF WORK: LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL OR WORKMANSHIP WHICH DOES NOT MEET THESE SPECIFICATIONS.
3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS DEFINED IN THE MOST RECENT 'FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS,' PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. WHERE AVAILABLE, PLANTS SHALL BE SOURCED FROM COASTAL AREAS.
4. PLANT SIZE: GALLONAGE SPECIFIED FOR PLANTS IS THE MINIMUM ACCEPTABLE CONTAINER SIZE. PLANTS SHALL ALSO MEET THE SPECIFIED CALIPER AND OTHER PHYSICAL DIMENSIONS.
5. PLANT SELECTION: CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE OF THE PLANT SOURCE LOCATION AT LEAST 72 HOURS PRIOR TO PURCHASING PLANT MATERIAL. THEY MAY ACCOMPANY CONTRACTOR TO THE NURSERY TO REVIEW TAGGED PLANT MATERIAL. IN ANY CASE, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PLANT MATERIAL QUALITY.
6. MULCH: PLANT BEDS SHALL BE TOP DRESSED WITH A 3" THICK LAYER OF PINE STRAW MULCH. UNLESS OTHERWISE NOTED, TREES NOT IN BEDS SHALL HAVE A 6" DIAMETER MULCH RING.
7. SOD: UNLESS OTHERWISE NOTED, SOD SHALL BE FLORATAM ST. AUGUSTINE. SOD SHALL BE LAID WITH NO GAPS BETWEEN SOD, AND SHALL BE ROLLED UPON INSTALLATION. QUANTITY TAKEOFFS ARE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL ENSURE THE SOD IS WEED FREE UPON INSTALLATION, AND FOR THE DURATION OF THE 90 DAY MAINTENANCE PERIOD.
8. FERTILIZER: CONTRACTOR SHALL APPLY OSMOCOTE SLOW RELEASE FERTILIZER, OR EQUIVALENT, TO ALL PLANTING BEDS, AT LABEL RATES FOR THE TYPE OF PLANTS INSTALLED.
9. PLANTING SOIL: CONTRACTOR SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE FOR THE SPECIFIED PLANTS. CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IF SOIL CONDITIONS ARE UNSUITABLE FOR PLANT HEALTH. THE CONTRACTOR SHALL REMOVE LIME ROCK, CONCRETE AND OTHER DELETERIOUS DEBRIS FROM PLANTING BEDS OR EXCAVATE AND REPLACE CONTAMINATED SOIL WITH SUITABLE PLANTING SOIL. PLANTING SOIL SHOULD HAVE A PH BETWEEN 5.8 AND 7.5.
10. TOPSOIL: INSTALLED TOPSOIL SHALL BE FREE FROM WEEDS, SEEDS, INSECTS, CLAY, HARD PAN, HARD CLODS OR STONES IN EXCESS OF 1" DIAMETER, AND OTHER MATERIAL HARMFUL TO GROWTH.
11. QUANTITIES: WHERE THE QUANTITIES SHOWN IN THE PLANT LIST VARY FROM THOSE SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
12. SUBSTITUTIONS: NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT THE PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
13. PERCOLATION: CONTRACTOR SHALL PERFORM PERCOLATION TESTS IN ALL PHOENIX SPP. PALM TREE PLANTING PITS. ARRANGE FOR THE OWNER'S REPRESENTATIVE TO ATTEND THE TESTS.
14. EXISTING VEGETATION: IF EXISTING VEGETATION, THAT IS SHOWN TO REMAIN, CONFLICTS WITH PROPOSED PLANTING, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR RESOLUTION.
15. UNFORESEEN CONDITIONS: IF UNFORESEEN CONDITIONS EXIST, THAT INTERFERE WITH PROPER INSTALLATION OF THE WORK, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
16. WEEDS: CONTRACTOR SHALL WEED ALL AREAS PRIOR TO THE INSTALLATION OF PLANTS AND MULCH. CONTRACTOR SHALL KEEP ALL AREAS WEED FREE FOR THE DURATION OF THE 90 DAY MAINTENANCE PERIOD.
17. GRADING: CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED OR SODDED TO ELIMINATE SURFACE IRREGULARITIES, REPAIR AND REGRADE WASHOUT AREAS, AND OTHERWISE MAINTAIN GRADE UNTIL FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL ENSURE THE WORK DOES NOT INTERRUPT EXISTING OR PROPOSED DRAINAGE PATTERNS AND SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY ISSUES. ALL AREAS SHALL DRAIN AWAY FROM STRUCTURES, UNLESS OTHERWISE INDICATED.
18. STAKING: TREES AND PALMS SHALL BE STAKED PER THE DETAILS. ALTERNATE STAKING METHODS SHALL BE SUBMITTED FOR APPROVAL. CONTRACTOR, AT THEIR OWN COST, SHALL STRAIGHTEN, REPAIR OR REPLACE ANY PLANT MATERIAL DAMAGED AS A RESULT OF IMPROPER STAKING.
19. BED LINES: CONTRACTOR SHALL EDGE BED LINES IN SMOOTH, FLOWING CURVES OR STRAIGHT LINES AS INDICATED ON THE PLANS. BEDS WILL TIE INTO EXISTING BEDS IN SEVERAL LOCATIONS—CONTRACTOR MAY ADJUST BED LINES TO MAKE A SMOOTH TRANSITION.
20. ROOT BARRIER: ROOT BARRIER SHALL BE INSTALLED AT AN APPROPRIATE DISTANCE AWAY FROM TREES WHERE ROOTS MAY POTENTIALLY DISTURB INFRASTRUCTURE.
21. LANDSCAPE EDGING: CONTRACTOR SHALL INSTALL METAL EDGING BETWEEN ALL PLANTING BEDS AND SOD. EDGING SHALL BE STEEL OR ALUMINUM, BLACK OR BROWN IN COLOR, WITH MINIMUM DIMENSIONS OF 3/16" X 4". 15' METAL ANCHOR STAKES SHALL BE INSTALLED ON THE INSIDE.
22. NATURAL AREAS: CONTRACTOR SHALL CLEAN UP PRESERVED NATURAL AREAS, OTHER THAN WETLAND BUFFERS. DEAD BRANCHES AND PALM FRONDS SHALL BE PRUNED, THE AREA SHALL BE CLEANED OF DEBRIS AND WEEDS, AND THE AREA SHALL BE MULCHED TO A DISTANCE OF 5'.
23. WILDLIFE NOTIFICATION: NOTIFY LANDSCAPE ARCHITECT OF THE PRESENCE OF DEER OR NUISANCE ANIMALS SO PROPER PLANT SUBSTITUTIONS MAY BE MADE. LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR DAMAGES TO PROPOSED PLANT MATERIAL CAUSED BY DEER OR OTHER ANIMALS.
24. RECORD DRAWINGS: CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS, OF THE IRRIGATION AND LANDSCAPE IMPROVEMENTS PRIOR TO FINAL ACCEPTANCE OF THE WORK.
25. FINAL ACCEPTANCE: CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO SCHEDULE A PUNCH-LIST INSPECTION TO INCLUDE A WALK-THROUGH AND ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. UNACCEPTABLE WORK SHALL BE CORRECTED AND RE-INSPECTED PRIOR TO FINAL ACCEPTANCE.
26. MAINTENANCE: CONTRACTOR SHALL MAINTAIN THE LANDSCAPE FOR 90 DAYS AFTER FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE MOWING, WATERING, PRUNING, WEEDING, MULCHING AND REPLACEMENT OF DEAD OR DYING PLANT MATERIAL.
27. GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM FINAL ACCEPTANCE. CONTRACTOR IS NOT RESPONSIBLE FOR PLANTS DAMAGED BY FIRE, FLOOD, LIGHTNING, FREEZING TEMPERATURES, WIND OVER 50 MPH, NATURAL DISASTER, VANDALISM, OR OWNER NEGLIGENCE.

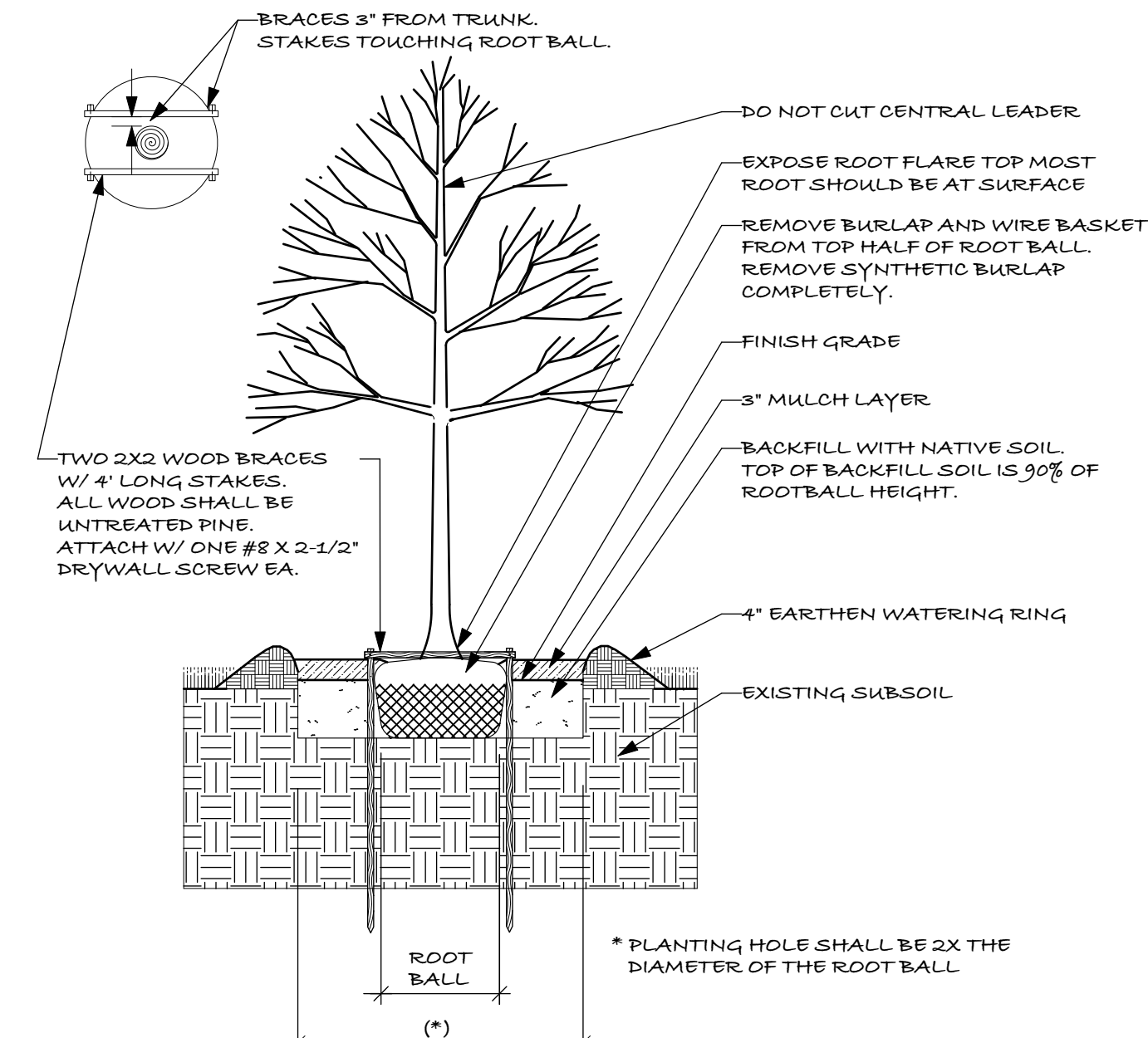
IRRIGATION NOTES

1. AN AUTOMATIC TIME CONTROLLED IRRIGATION SYSTEM, WITH A RAIN SENSOR, SHALL BE INSTALLED TO PROVIDE 100% HEAD TO HEAD COVERAGE OF ALL NEW PLANTINGS.



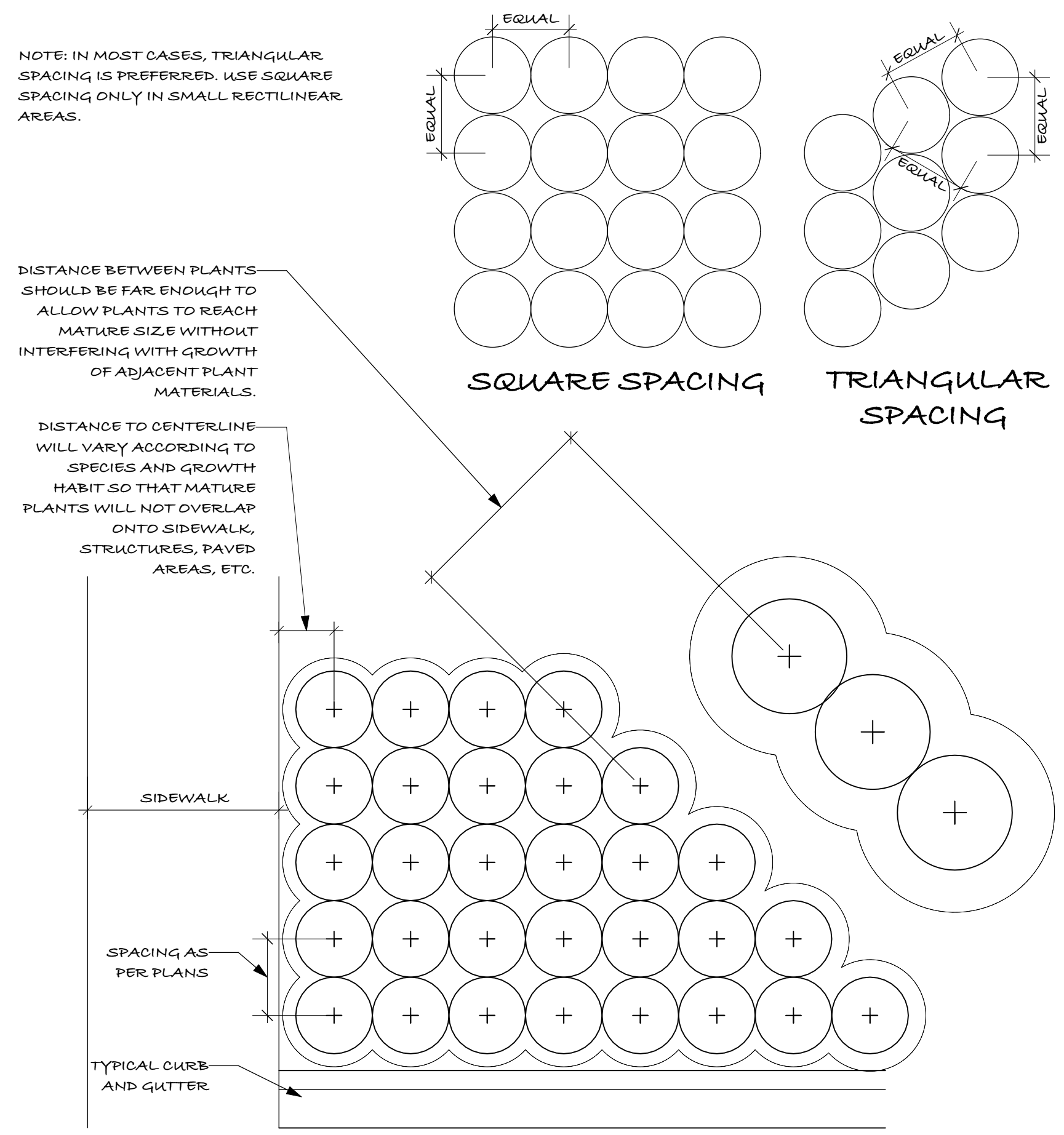
- PLANTING NOTES:**
1. UNLESS OTHERWISE NOTED (FOR CONTAINERS), DO NOT PLACE ANY SOIL OVER THE ROOT BALL. WHEN PLANTED, BACKFILL SOIL SHOULD BE APPROXIMATELY 2-3" BELOW THE TOP OF THE ROOT BALL (90-95% OF ROOT BALL HEIGHT IN WELL-DRAINED SOILS). IN POORLY DRAINED SOIL PLANT HIGHER AND MOUND UP TO THE TREE.
 2. THE TOP-MOST ROOT SHOULD ORIGINATE FROM THE TRUNK AT THE SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL IN THE ROOT BALL. THE TRUNK FLARE SHOULD BE VISIBLE.
 3. MULCH SHOULD COVER ONLY THE EDGE OF THE ROOT BALL.
 4. LOCATE THE IRRIGATION DEVICE SO IT DELIVERS WATER DIRECTLY TO THE ROOT BALL. THERE IS USUALLY NO NEED TO WATER AREAS OUTSIDE THE ROOT BALL (EXCEPT FOR OTHER PLANTS).
 5. NO AMENDMENTS OF ANY KIND ARE NECESSARY IN THE BACKFILL SOIL.
 6. NO SOIL BERM IS NEEDED IF TREES WILL BE IRRIGATED WITH A LOW-VOLUME DEVICE. HOWEVER, IF THE ROOT BALL IS FINER TEXTURE THAN THE BACKFILL SOIL, PLACE THE BERM AT THE EDGE OF THE ROOT BALL TO ENSURE THAT WATER PERCOLATES INTO THE ROOT BALL.

1 PALM PLANTING DETAIL
N.T.S.

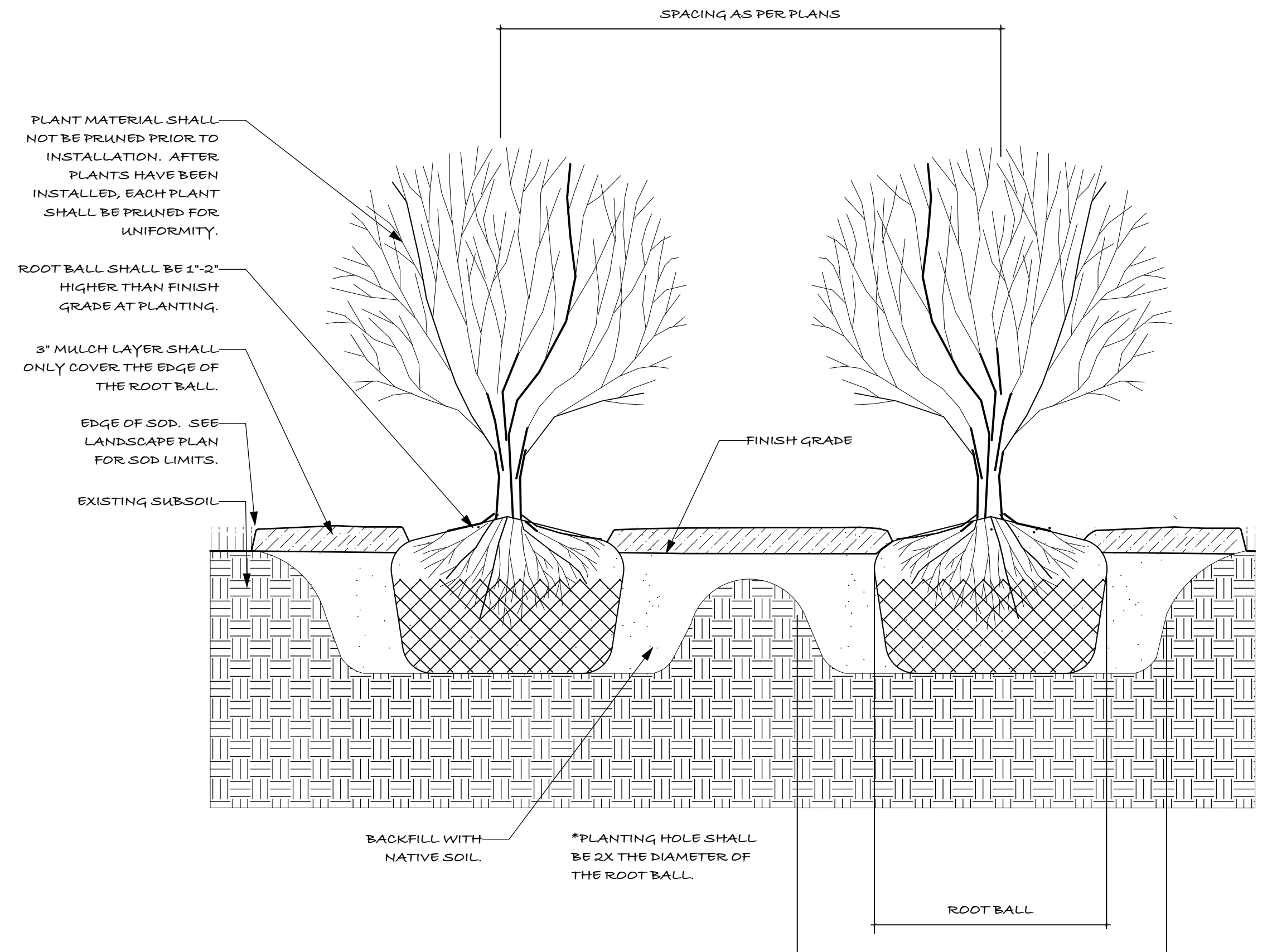


- NOTES:**
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2 TREE PLANTING DETAIL
N.T.S.



3 SHRUB SPACING DETAIL
N.T.S.



4 SHRUB PLANTING DETAIL
N.T.S.

BURNS GOLF & LANDSCAPE DESIGN, LLC

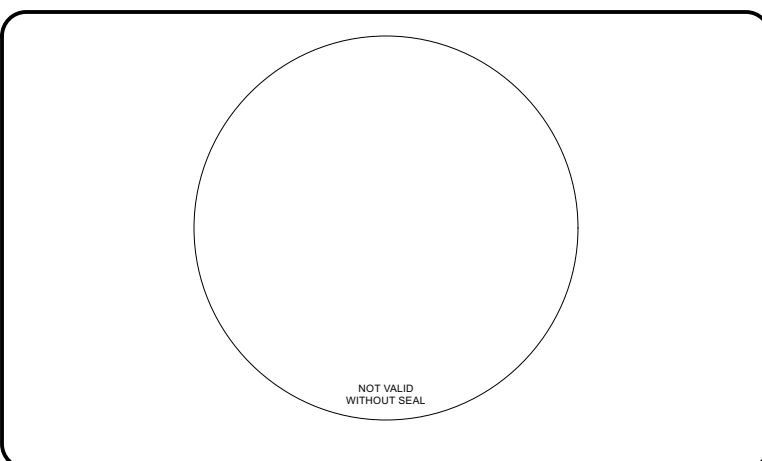
1528 Knudson Run
The Villages, FL 32163
386.843-2805
steve@burnsgolf.com

BUTERA DESIGNS

COQUINA CROSSING LANDSCAPE PLAN AND DETAILS

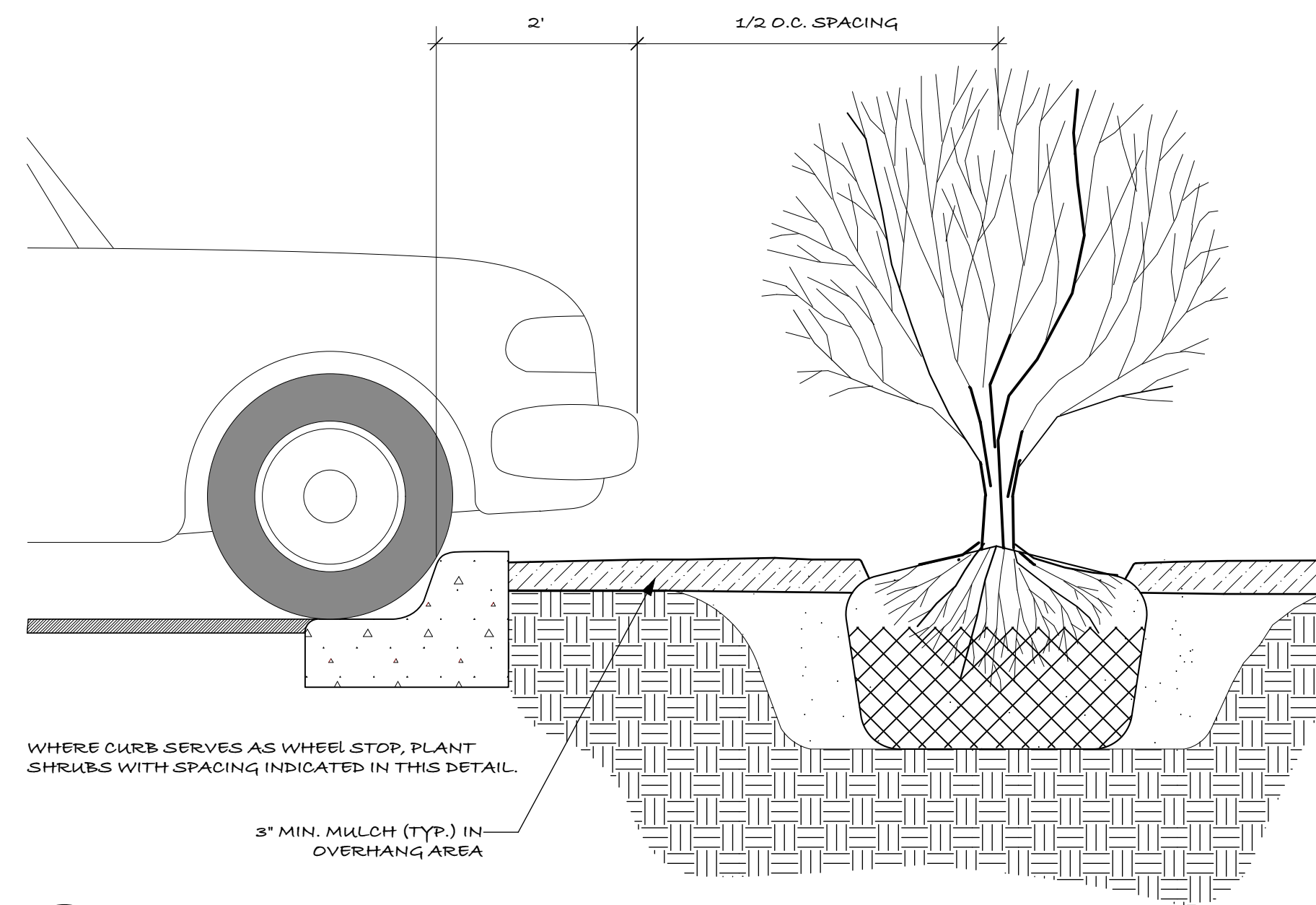
A1A at San Carlos Drive, Flagler County, Florida

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
A	5/3/23	NEW SIDEWALK & SIGN AREAS	SRB

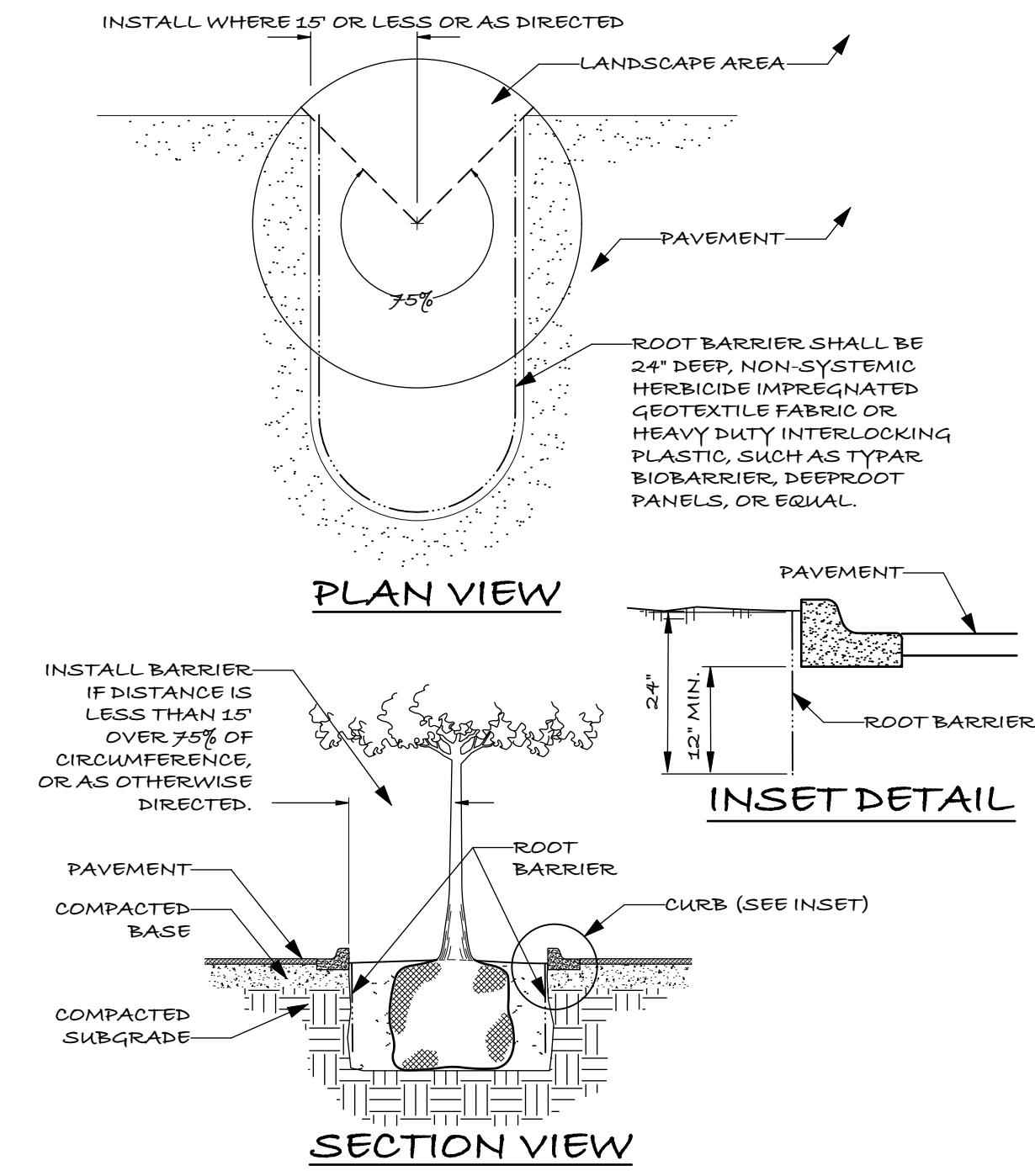


COQUINA CROSSING LANDSCAPE PLAN AND DETAILS

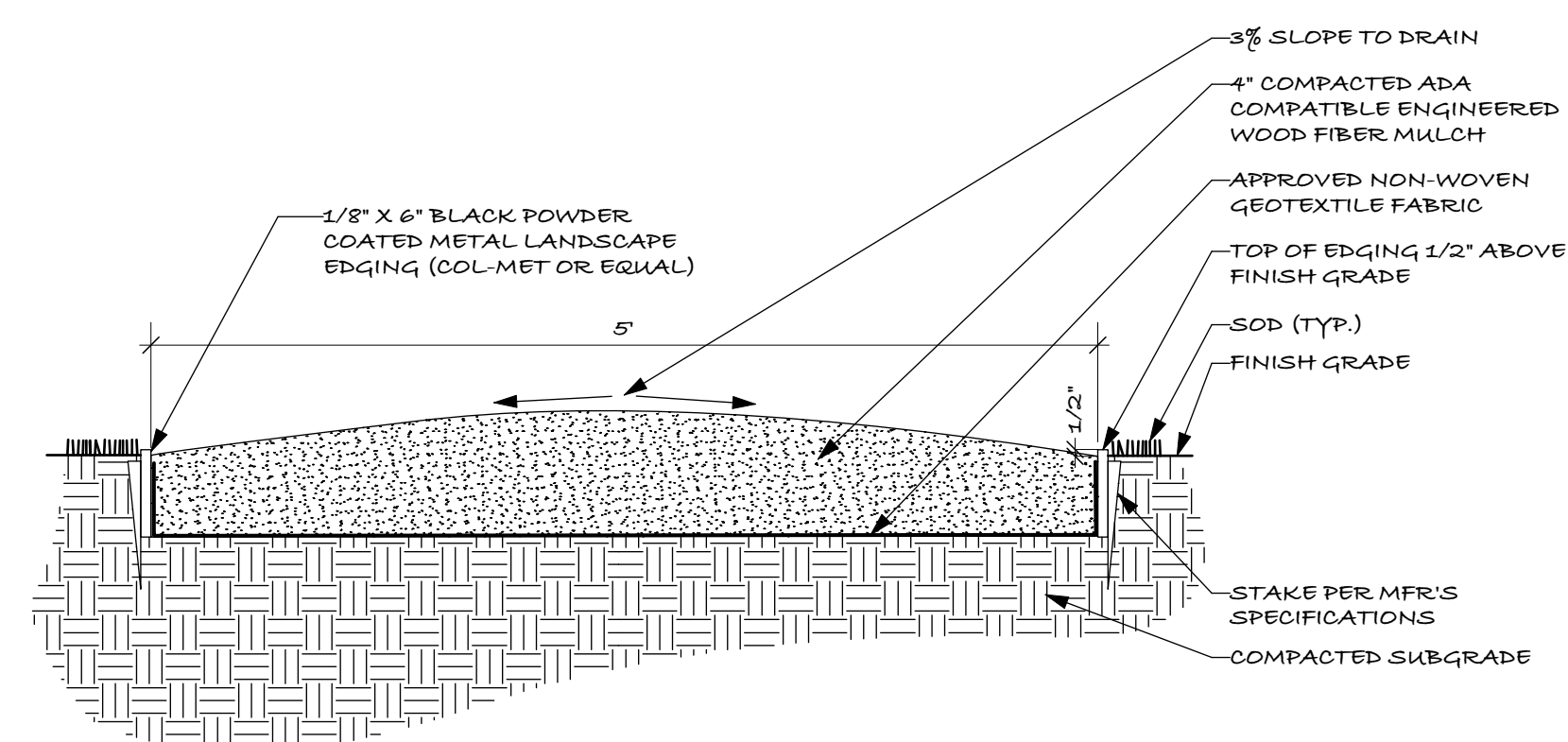
A1A at San Carlos Drive, Flagler County, Florida



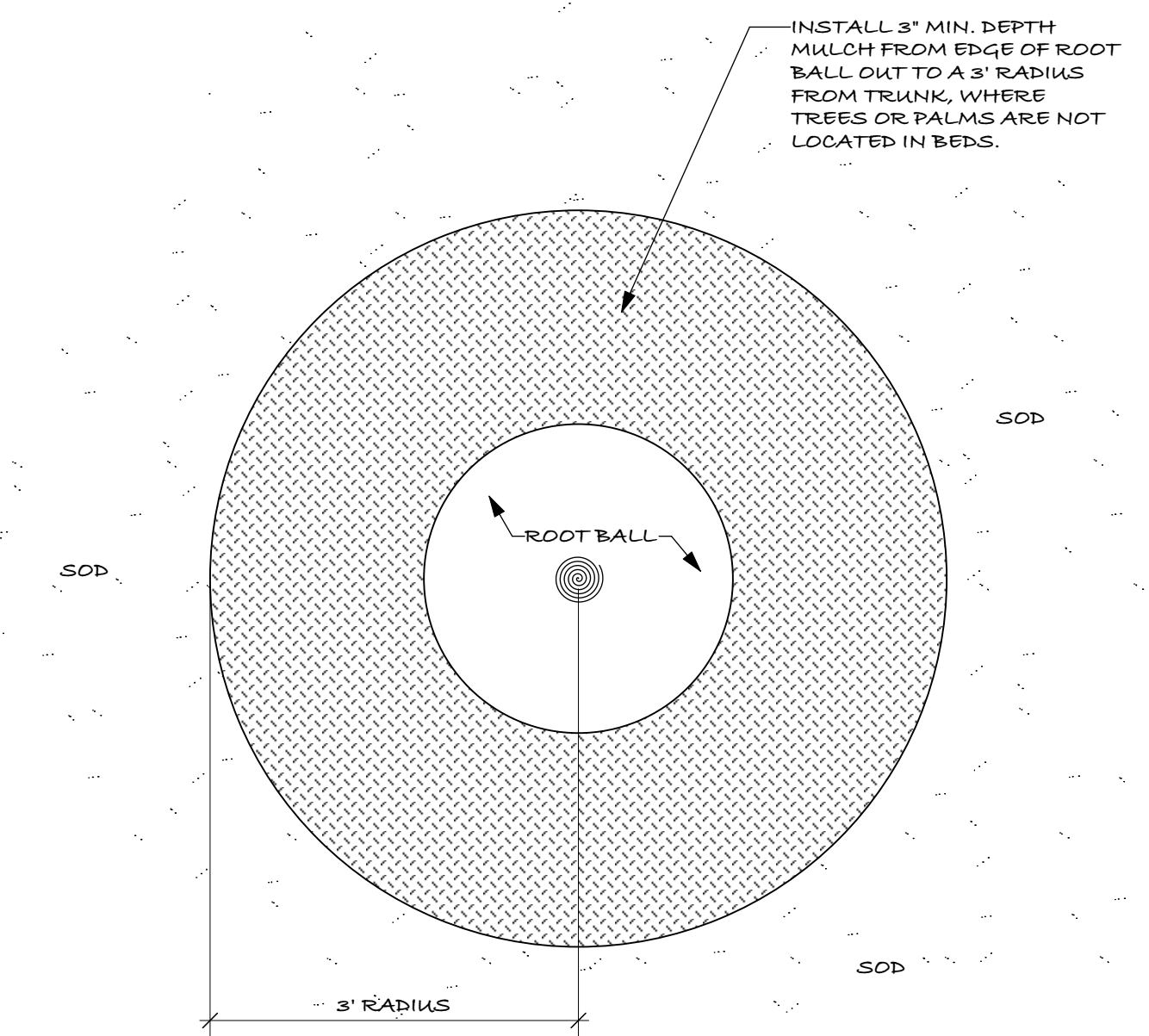
1 HEDGE PLANTING ADJACENT TO PARKING
N.T.S.



2 ROOT BARRIER DETAIL
N.T.S.



3 LANDSCAPE ISLAND GRADING DETAIL
N.T.S.



4 MULCH RING DETAIL
N.T.S.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
A	5/3/23	NEW SIDEWALK & SIGN AREAS	SRB

