



City of Bunnell, Florida

Agenda Item No. 5.

Document Date: 11/13/2024
Department: Community Development
Subject: MJSP 2024-07: Requesting approval of the major site plan for Pizza Ninjas Inc. located at 3245 Steel Rail Dr.
Property Address: 3245 Steel Rail Dr.
Zoning Designation: L-1
Future Land Use Designation: Industrial
Agenda Section: New Business

ATTACHMENTS:

Description	Type
Site Plan Drawings	Plans
Landscape Plan	Plans

Summary/Highlights:

This is a request by the applicant for major site plan approval for the Pizza Ninjas Inc. development on 2.36+/- acres of land.

Background:

The applicant, Alliant Engineering Inc. on behalf of the property owner Pizza Ninjas Inc., is requesting major site plan approval for a project that spans 2.36+/- acres of land for property located at 3245 Steel Rail Dr. The project consists of a 9,000+/- square foot facility divided into two units: one unit for a martial arts studio and the other unit for an indoor playground type of use. At least 40% of the property is preserved in a recorded conservation easement.

Staff and the Technical Review Committee have reviewed the submitted plans and material in accordance with the City's Land Development Code, Comprehensive Plan, and other applicable federal, state, and local regulations. The plans have received all applicable staff and TRC member sign-offs and is deemed to meet the requirements listed within the City's land development regulations and is consistent with the City's 2035 Comprehensive Plan. There are some outstanding comments that are not major and have been placed as conditions of approval. The applicant will be required to satisfy these conditions prior to a building permit being issued.

In accordance with Section 22-3(e) in the Land Development Code, the Planning, Zoning and Appeals Board shall consider each major site plan application and shall base its decision on the use, size and dimension regulations for the respective zoning district, the site review

standards established herein and all other applicable land development regulations, and comprehensive plan policies. The planning, zoning, and appeals board may impose conditions on-site plan approvals which ensure compliance with all applicable land development regulations and comprehensive plan policies.

Staff Recommendation:

Approve the major site plan for the Pizza Ninjas Inc. development with the following conditions to ensure consistency with the City's land development regulations:

1. The zoning map provided on the cover sheet does not contain City of Bunnell zoning designations. Please provide a zoning map containing the City's zoning districts.
2. Agreement for Shared Dumpster Usage between the subject property owner and the adjacent property owner to the south must be approved by the City and recorded in the Public Records of Flagler County, Florida for each property.
3. The existing inlet CB-0 currently collects stormwater from the 3207 Steel Rail Drive parcel. Please provide a recorded perpetual maintenance and operation agreement with a minimum 15' wide stormwater easement to allow this conveyance across/through the proposed project site.
4. The original Steel Rail master development was designed and permitted for each individual property to provide their own privately owned lift station which will connect to the existing 4" low pressure force main within the Steel Rail Right-of-Way. To this end, the currently active Steel Rail Drive FDEP Permit No. 0018791-034-DWC allows developers to install lift stations without a FDEP Permit and proceed with the design and installation as long as the standards listed in the supplied "**LOW PRESSURE FORCE MAIN SYSTEMS GRINDER PUMP SYSTEM REQUIREMENTS AND INSTRUCTIONS TO UTILITY CONTRACTORS**" are satisfied. Please provide a lift station plan and calculations and have the project Professional Engineer of Record complete and sign/seal the supplied and return to the City.
5. Please obtain and provide a Florida Department of Environmental Protection Environmental Resource Permit Letter Modification as necessary for the proposed construction with regards to stormwater management.

City Attorney Review:

Approved for agenda

PIZZA NINJAS INC.

CIVIL ENGINEERING PLANS

3245 STEEL RAIL DRIVE

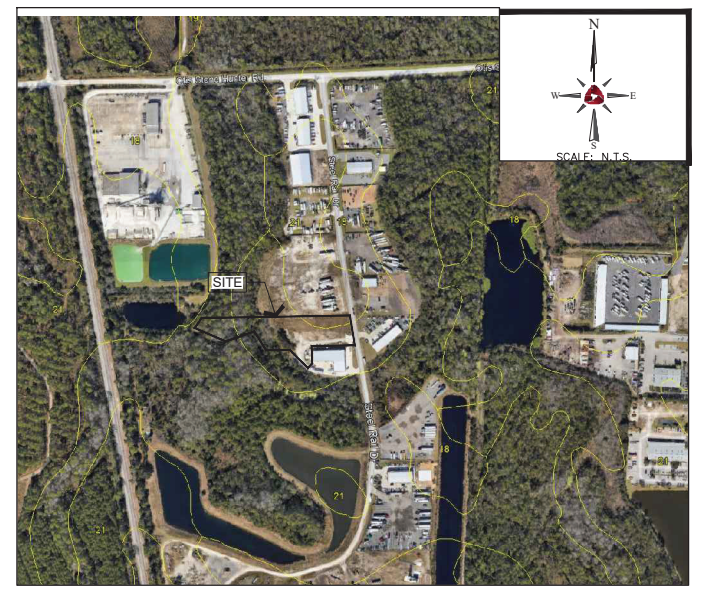
SECTION 34, TOWNSHIP 11, RANGE 30
 LAT.: 29°30'27.1"N LONG.: 81°16'16.4"W

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-0.1	GENERAL NOTES
-	SIGNED AND SEALED SURVEY
C-1.1	STORMWATER POLLUTION PREVENTION PLAN GENERAL NOTES
C-1.2	STORMWATER POLLUTION PREVENTION DETAILS
C-1.3	CLEARING & EROSION CONTROL PLAN
C-2.0	SITE PLAN
C-2.1	AUTOTURN EXHIBIT
C-3.0	PAVING GRADING & DRAINAGE
C-4.0	UTILITY PLAN
D-1.0	CONSTRUCTION DETAILS
D-1.1	CONSTRUCTION DETAILS
D-2.0	UTILITY DETAILS
D-2.1	UTILITY DETAILS

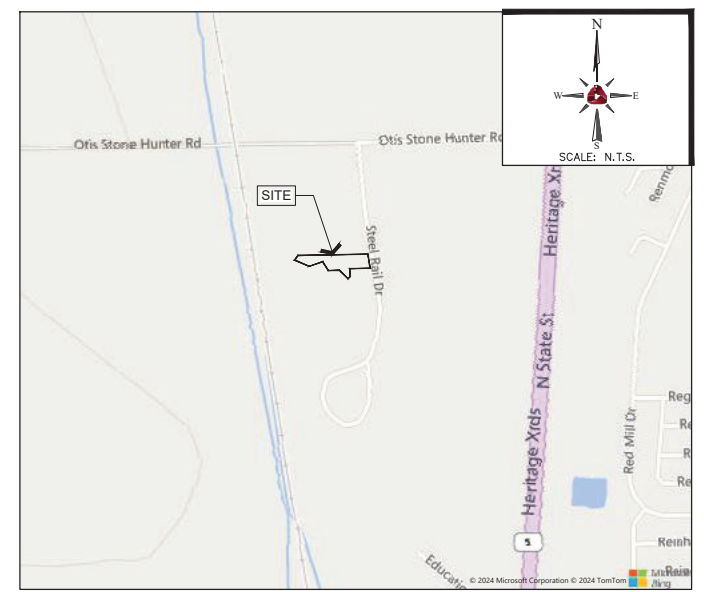
NOTE:
 SEPARATE PERMITS REQUIRED FOR ALL FIRE ALARMS, FIRE SPRINKLER SYSTEMS, FIRE PROTECTION SYSTEMS, AS WELL AS FIRE UNDERGROUND INSTALLATIONS LOCATED ON PRIVATE PROPERTY DOWNSTREAM FROM THEIR CONNECTION TO CITY MAINS INCLUDING BUT NOT LIMITED TO: PRIVATE FIRE MAINS, BUILDING FIRE SERVICE LINES FOR FIRE SPRINKLER SYSTEMS, FIRE DEPARTMENT CONNECTION (FDC) LINES, FIRE PUMPS, PRIVATE FIRE HYDRANTS AND SIMILAR. ALL CONTRACTORS PERFORMING WORK ON FIRE UNDERGROUND INSTALLATIONS TO BE LICENSED FOR THE SCOPE OF THEIR WORK ACCORDING TO FLORIDA STATUTES CHAPTER 633 AND 489. PLANS PREPARED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER (NORMALLY PART OF THE SITE DEVELOPMENT APPLICATION) AS WELL AS ANY SYSTEM LAYOUT PLANS PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED WITH EACH APPLICATION FOR PERMIT. ALLOW SUFFICIENT TIME FOR PLAN REVIEW AND PLAN APPROVAL. NO WORK SHALL BE STARTED, COVERED OR OTHERWISE CONCEALED FROM VIEW UNTIL APPROVED TO COVER BY THE PALM COAST BUILDING DIVISION AND PERMIT IS ISSUED. CONTACT THE PALM COAST BUILDING DIVISION AT 386-986-3780 WITH QUESTIONS AND FOR MORE INFORMATION.

<p>OWNER: ELLA DOGGIS PIZZA NINJAS, INC. 1224 PALM COAST PKWY. SW PALM COAST, FL 32137 (386) 237-7528 DOGGIS2010@AOL.COM</p>	<p>LANDSCAPE: DICKINSON CONSULTING, INC. 25 OLD KINGS RD. NORTH, SUITE 2B PALM COAST, FL 32137 ATTN: ROBERT E. DICKINSON, RLA (386) 931-2853 DICKINSON.CONSULTING.INC@GMAIL.COM LIC # LA0000736</p>	<p>ENGINEERING: ALLIANT ENGINEERING, INC. 10475 FORTUNE PKWY., SUITE 101 JACKSONVILLE, FL 32256 ATTN: ADAM OESTMAN (904) 723-4894 AOESTMAN@ALLIANT-INC.COM LIC # 98440</p>	<p>SURVEYING: ALLIANT ENGINEERING, INC. 10475 FORTUNE PARKWAY, SUITE 101 JACKSONVILLE, FL 32256 ATTN: CLAYTON WALLEY, PSM. (904) 900-3507 CWALLEY@ALLIANT-INC.COM LIC # LS7209</p>	<p>GEOTECHNICAL: UNIVERSAL ENGINEERING SCIENCES, LLC 911 BEVILLE RD. SOUTH DAYTONA, FL 32119 ATTN: BRIAN C. POHL, P.E. (386) 756-1105 LIC # 60216</p>	<p>ENVIRONMENTAL: PALMER BIOLOGICAL SERVICES 817 EAST 15TH AVE. NEW SMYRNA BEACH, FL 32169 ATTN: FARLEY PALMER (386) 314-5718 FARLEYPALMER@GMAIL.COM</p>
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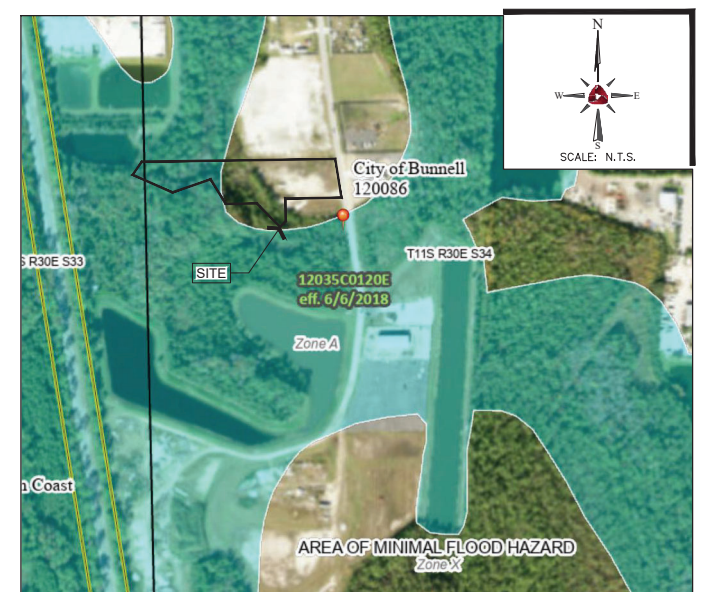
SOILS MAP LEGEND
 18-VALKARIA-SMYRNA COMPLEX, FINE SAND, 0 TO 2 PERCENT SLOPE
 21-SMYRNA FINE SAND, 0 TO 2 PERCENT SLOPES
 SOURCE: USDA NATURAL RESOURCES CONSERVATION SERVICE - WEB SOIL SURVEY



SOILS MAP



VICINITY MAP



FLOOD MAP

FLOOD MAP LEGEND
 ZONE A: 1% ANNUAL CHANCE FLOOD HAZARD
 ZONE X: AREA OF MINIMAL FLOOD HAZARD
 FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL MAP #12035C0120E, DATED JUNE 6, 2018

UTILITY OPERATING AUTHORITIES:

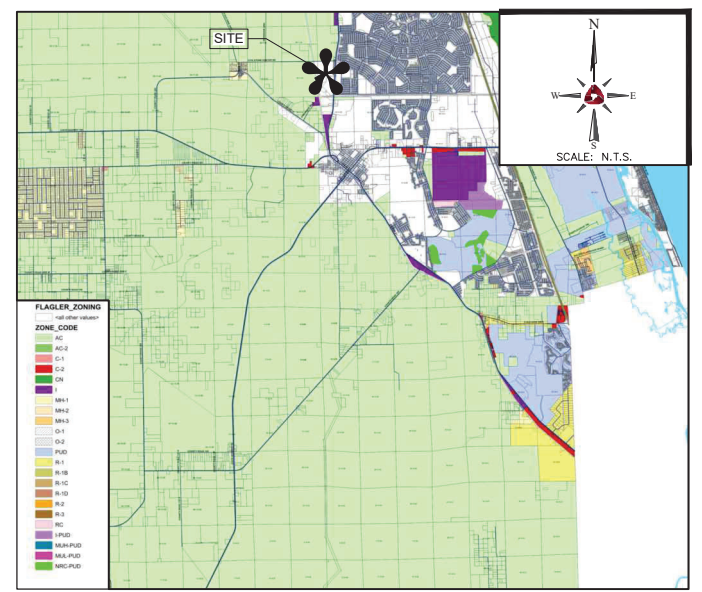
ELECTRIC:
 FLORIDA POWER & LIGHTING COMPANY
 4277 E HIGHWAY 100
 BUNNELL, FL 32164
 PHONE: (407) 321-5620

WATER AND SEWER SERVICE:
 CITY OF BUNNELL
 604 E. MOODY BLVD, UNIT 6
 BUNNELL, FL 32110
 PHONE: (386) 437-7515

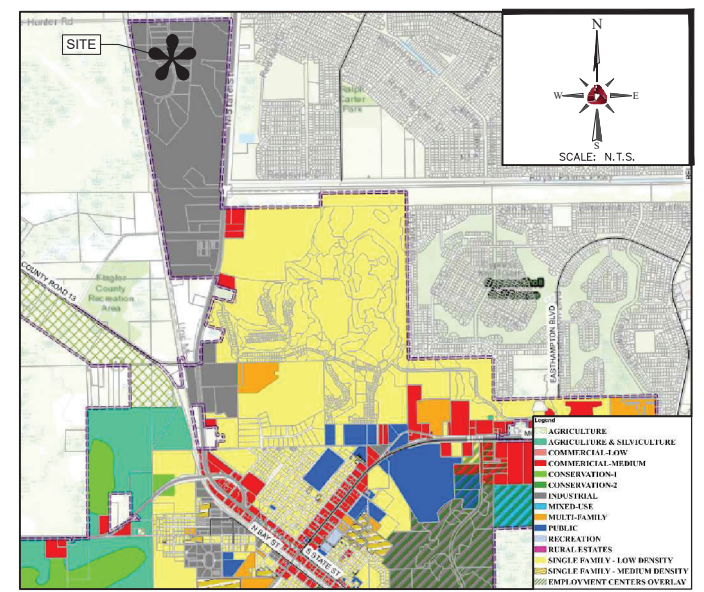
TV CABLE:
 BRIGHT HOUSE NETWORKS
 211 ST. JOE PLAZA DR.
 PALM COAST, FL 32164
 PHONE: (386) 755-4444

TELEPHONE:
 AT&T
 900 N. NOVA RD.
 DAYTONA BEACH, FL 32117
 PHONE: (386) 257-7929

SOLID WASTE SERVICE:
 CITY OF BUNNELL
 604 E. MOODY BLVD, UNIT 6
 BUNNELL, FL 32110
 PHONE: (386) 437-7515



ZONING MAP



FUTURE LAND USE MAP

STATEMENT OF INTENDED USE:
 CONSTRUCTION OF 10,000 SQ FT METAL BUILDING DIVIDED INTO 2 UNITS. 6,000 SQ FT UNIT WILL BE OCCUPIED BY PIZZA RESTAURANT THAT WILL FEATURE 2 PARTY ROOMS AND LARGE INDOOR PLAYGROUND. 4,000 SQ FT UNIT WILL BE RENTED OUT AND WILL HOST A JUIJITSU TRAINING CENTER.

LEGAL DESCRIPTION:
 LOT 6, STEEL RAIL INDUSTRIAL PARK RE-PLAT, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 37, PAGE 54, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

DESCRIPTION PARCEL 6A
 BEING A PART OF LOT 6, STEEL RAIL INDUSTRIAL PARK RE-PLAT, AS RECORDED IN MAP BOOK 37, PAGES 54 THRU 55, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, AND BEING MORE SPECIFICALLY DESCRIBED AS FOLLOWS:
 A POINT OF BEGINNING BEING THE NORTHEAST CORNER OF FORESAID LOT 6; THENCE ALONG THE PLATTED LINES OF SAID LOT 6 THE FOLLOWING CALLS: S89°09'20"W 726.63'; THENCE S36°11'46"W 60.02'; THENCE S65°51'01"E 163.98'; THENCE N71°09'05"E 151.91'; THENCE S31°19'59"E 107.60'; THENCE LEAVING THE EXTERIOR LINES OF LOT 6, RUN N89°09'20"E 118.22' TO A POINT ON THE EAST LINE OF CONSERVATION EASEMENT "A", AS SHOWN ON FORESAID PLAT OF STEEL RAIL INDUSTRIAL PARK RE-PLAT; THENCE S41°49'22"E 16.28'; THENCE S44°54'10"E 107.88'; THENCE LEAVING SAID CONSERVATION LINE RUN N45°05'50"E 29.55'; THENCE N00°50'40"W 86.16'; THENCE N89°09'20"E 210.70' TO THE WEST RIGHT-OF-WAY OF STEEL RAIL DRIVE; THENCE N08°56'23"W 147.62' TO THE POINT OF BEGINNING.

DESCRIPTION PARCEL 6B
 BEING PART OF LOT 6, STEEL RAIL INDUSTRIAL PARK RE-PLAT, AS RECORDED IN MAP BOOK 37, PAGES 54 THRU 55, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, AND BEING MORE SPECIFICALLY DESCRIBED AS FOLLOWS:
 A POINT OF BEGINNING BEING THE SOUTHEAST CORNER OF FORESAID LOT 6; THENCE ALONG THE PLATTED LINES OF SAID LOT 6, THE FOLLOWING CALLS: S64°24'57" W 30.63'; THENCE S 84°06'56"W 63.08'; THENCE N83°28'00"W 82.22'; THENCE N74°39'58"W 73.72'; THENCE S 89°09'20"W 153.75'; THENCE N31°19'59"W 112.56'; THENCE LEAVING THE EXTERIOR LINES OF LOT 6, RUN N89°09'20"E 118.22' TO A POINT ON THE EAST LINE OF CONSERVATION EASEMENT "A", AS SHOWN ON FORESAID PLAT OF STEEL RAIL INDUSTRIAL PARK RE-PLAT; THENCE S41°49'22"E 16.28'; THENCE S44°54'10"E 107.88'; THENCE S 44°54'10"E 107.88'; THENCE LEAVING SAID CONSERVATION LINE RUN N45°05'50"E 29.55'; THENCE N00°50'40"W 86.16'; THENCE N89°09'20"E 210.70' TO THE WEST RIGHT-OF-WAY OF STEEL RAIL DRIVE; THENCE S08°56'23"E 127.91' TO THE POINT OF BEGINNING.

NO.	DATE	DESCRIPTION

PIZZA NINJAS INC.
 3245 STEEL RAIL DRIVE
 BUNNELL, FL 32110

CIVIL ENGINEERING PLANS
COVER SHEET

Adam Oestman
 Digitally signed by Adam Oestman
 DN: cn=Adam Oestman, o=Engineering, ou=Alliant Inc., email=aoestman@alliant-inc.com
 Reason: I am approving this plan.
 Date: 2024.11.18 15:32:03Z

ADAM OESTMAN, PE
 98440
 Date License No.

QA/QC
 AVO 04/25/24
 BY DATE

PROJECT TEAM DATA
 DESIGNED: DS
 DRAWN: AR
 PROJECT NO: 4000130-00

C-0.0

NOT FOR CONSTRUCTION

CADD FILE: V:\projects\4000130-00\land_development\3245_steel_rail\plan_3245_c0.0_cover_sheet.dwg
 PLOT DATE: November 18, 2024 2:14 PM



ALLIANT

10475 Fortune Pkwy.,
Suite 101
Jacksonville, FL 32256
904.240.1351 MAIN
www.alliant-inc.com
CA# 29471

SITE DATA:

- SITE ADDRESS: 3245 STEEL RAIL DR., BUNNELL, FL 32110
- TAX PARCEL ID NO: 34-11-30-5736-00000-0060
- TOTAL PROJECT SITE AREA: ±2.36 ACRES.
- ZONING: L-1 - LIGHT INDUSTRIAL
- SURROUNDING ZONING: L-1
- PROPOSED SETBACKS: FRONT 40', SIDE 10'
- LANDSCAPE BUFFER: OPTIONAL BERMS IN SUBSTITUTION OF PERIMETER LANDSCAPING - PROPOSED INDUSTRIAL USE: 6 FEET WIDE AND A ½ FOOT HIGH
- STORM WATER SUMMARY: SITE DRAINS TO EXISTING OFF-SITE RETENTION POND THROUGH RESPECTIVE STORM STRUCTURES ON SITE.
- FLOOD ZONE: THE SITE IS CURRENTLY CLASSIFIED BY F.E.M.A. AS ZONE "A", COMMUNITY PANEL MAP #12035CO120E, DATED JUNE 6, 2018
- PROJECT DATUM AND COORDINATE SYSTEM:
 - VERTICAL: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
 - HORIZONTAL: FLORIDA STATE PLANE NAD83 (FL83-EF)

SITE AREA TABULATION:

TOTAL SITE (BOUNDARY SURVEY): 102,843 SF = 2.36 ACRES
DEVELOPABLE AREA: 55,630 SF = 1.27 ACRES

PERVIOUS AREA
OPEN SPACE + LANDSCAPING: 24,157 SF = .55 ACRES 44%
GRAVEL ROAD: 1,549 SF = .03 AC 2%

IMPERVIOUS AREA
BUILDING COVERAGE (Single Floor): 9,936 SF = 0.22 ACRES 18%
DRIVES, PARKING & SIDEWALKS: 19,988 SF = 0.45 ACRES 36%
** INCLUDES EXISTING APRON & DUMPSTER ENCLOSURE

TOTAL IMPERVIOUS SURFACE

ALLOWED: 70%
PROPOSED: 54%

PARKING DATA:

REQUIRED RESTAURANT = 3 SPACES, PLUS 1 PER 300 SQUARE FEET OF USABLE FLOOR SPACE
PROPOSED = 5,940 SF / 300 SF = 20 SPACES + 3 SPACES = 23

COMMERCIAL REC. = 1 PER 3 PATRONS
PROPOSED = 20 PATRONS = 7 SPACES

TOTAL PARKING REQUIRED: 30 SPACES

PROPOSED

TOTAL PARKING PROVIDED: 47 SPACES (INCLUDING 4 A.D.A. SPACES)

BUILDING:

- BUILDING HEIGHT 29'-4"
- MAXIMUM FLOOR AREA RATIO (FAR) = 50%
- PROPOSED FLOOR AREA RATIO (FAR) = 17.8%
- MAXIMUM IMPERVIOUS BUILDABLE SURFACE RATIO (ISR) = 65%
- MAXIMUM ALLOWABLE BUILDING HEIGHT IS 35 FEET.
- PROPOSED MAXIMUM BUILDING HEIGHT IS 22 FEET.

TRAFFIC ANALYSIS:

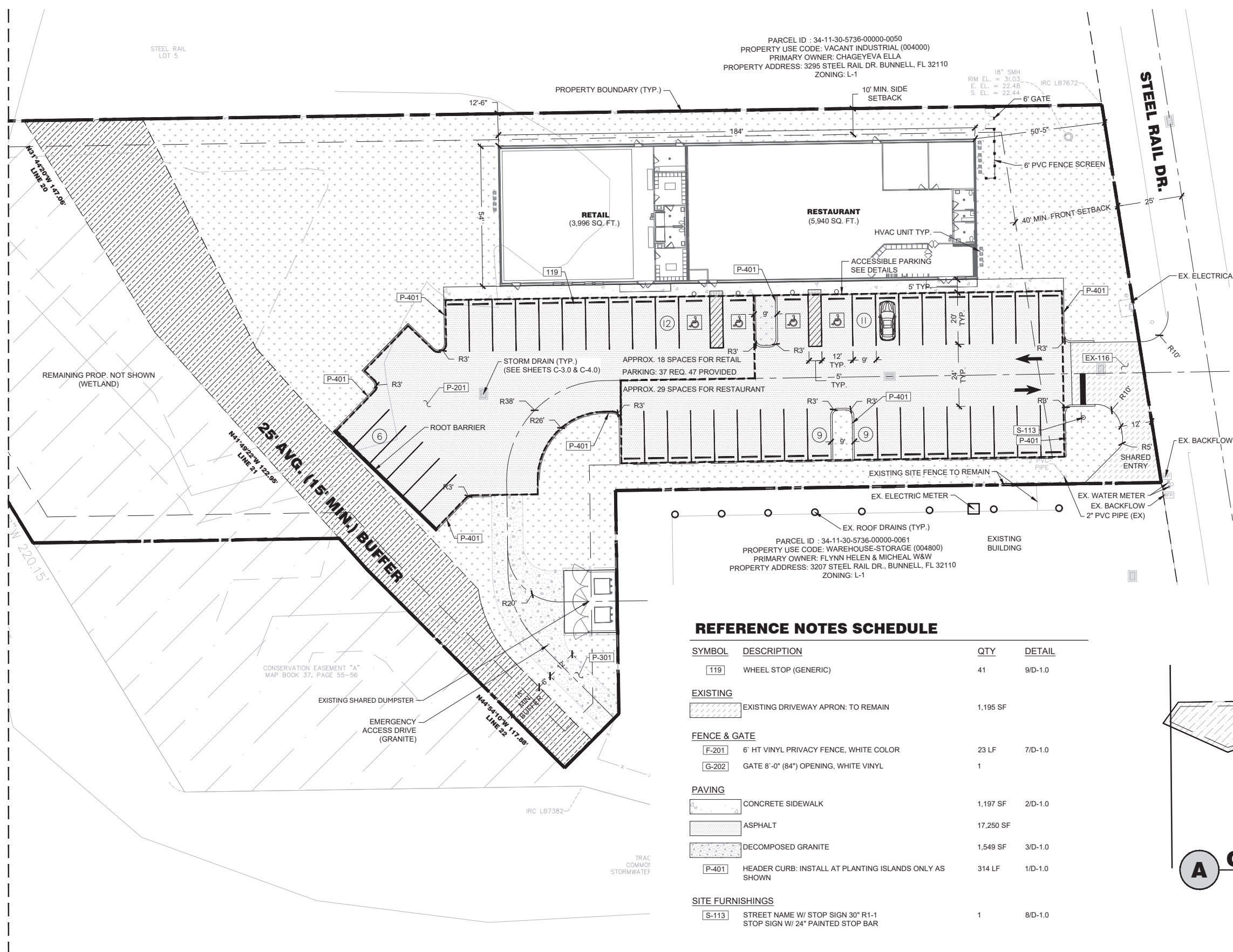
NO TRAFFIC ANALYSIS REQUIRED

PERMITS REQUIRED:

- FDEP ENVIRONMENTAL RESOURCE PERMIT
- FDEP WASTEWATER PERMIT
- FDEP WATER PERMIT

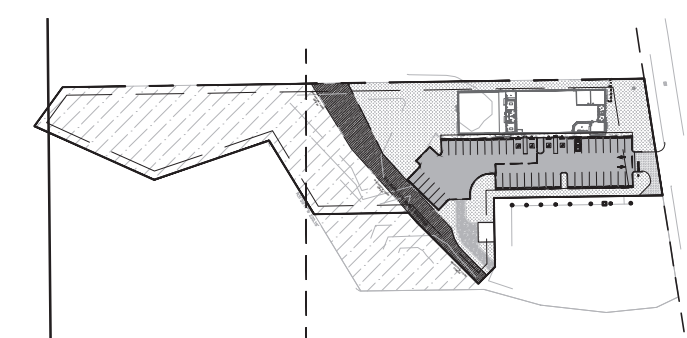
ESTIMATED CONSTRUCTION SCHEDULE:

CONSTRUCTION IS ANTICIPATED TO COMMENCE WITHIN TWELVE MONTHS OF THE DEVELOPMENT ORDER.

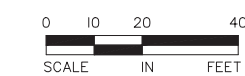
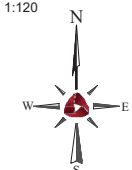


REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
[119]	WHEEL STOP (GENERIC)	41	9/D-1.0
EXISTING			
[Hatched Box]	EXISTING DRIVEWAY APRON: TO REMAIN	1,195 SF	
FENCE & GATE			
[F-201]	6' HT VINYL PRIVACY FENCE, WHITE COLOR	23 LF	7/D-1.0
[G-202]	GATE 8'-0" (84") OPENING, WHITE VINYL	1	
PAVING			
[Concrete Box]	CONCRETE SIDEWALK	1,197 SF	2/D-1.0
[Asphalt Box]	ASPHALT	17,250 SF	
[Granite Box]	DECOMPOSED GRANITE	1,549 SF	3/D-1.0
[P-401]	HEADER CURB: INSTALL AT PLANTING ISLANDS ONLY AS SHOWN	314 LF	1/D-1.0
SITE FURNISHINGS			
[S-113]	STREET NAME W/ STOP SIGN 30" R1-1 STOP SIGN W/ 24" PAINTED STOP BAR	1	8/D-1.0



A OVERALL SITE PLAN
SCALE 1:120



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

PIZZA NINJAS INC.
3245 STEEL RAIL DRIVE
BUNNELL, FL 32110

CIVIL ENGINEERING PLANS
SITE PLAN

Digitally signed by Adam Oestman
DN: cn=Adam Oestman,
o=Engineering Plans, ou=Alliant Inc.,
email=aoestman@alliant-inc.com,
serial=1, c=US
Reason: I am approving this
Date: 2024.11.18
15:19:40-0500

ADAM OESTMAN, PE
98440
Date License No.

QA/QC
AVO 04/25/24
BY DATE

PROJECT TEAM DATA
DESIGNED: DS
DRAWN: AR

PROJECT NO: 4000130-00

C-2.0

CADD FILE: v:\projects\4000130-00\land_development\final\plan_a\cadd\c2.0 site geometry plan.dwg
PLOT DATE: November 18, 2024, 2:16 PM



ALLIANT

10475 Fortune Pkwy.,
Suite 101
Jacksonville, FL 32256
904.240.1351 MAIN
www.alliant-inc.com
CA# 29471

DESCRIPTION

NO. DATE

PIZZA NINJAS INC.
3245 STEEL RAIL DRIVE
BUNNELL, FL 32110

**CIVIL ENGINEERING PLANS
PAVING GRADING & DRAINAGE**

Adam Oestman
PE
3245 Steel Rail Drive
Bunnell, FL 32110
Date: 04/25/24
Scale: 1" = 10'-0"

ADAM OESTMAN, PE
Date: 04/25/24
License No. 98440

QA/QC
BY: DATE

PROJECT TEAM DATA
DESIGNED: DS
DRAWN: AR

PROJECT NO: 4000130-00

C-3.0

GRADING AND EROSION CONTROL NOTES:

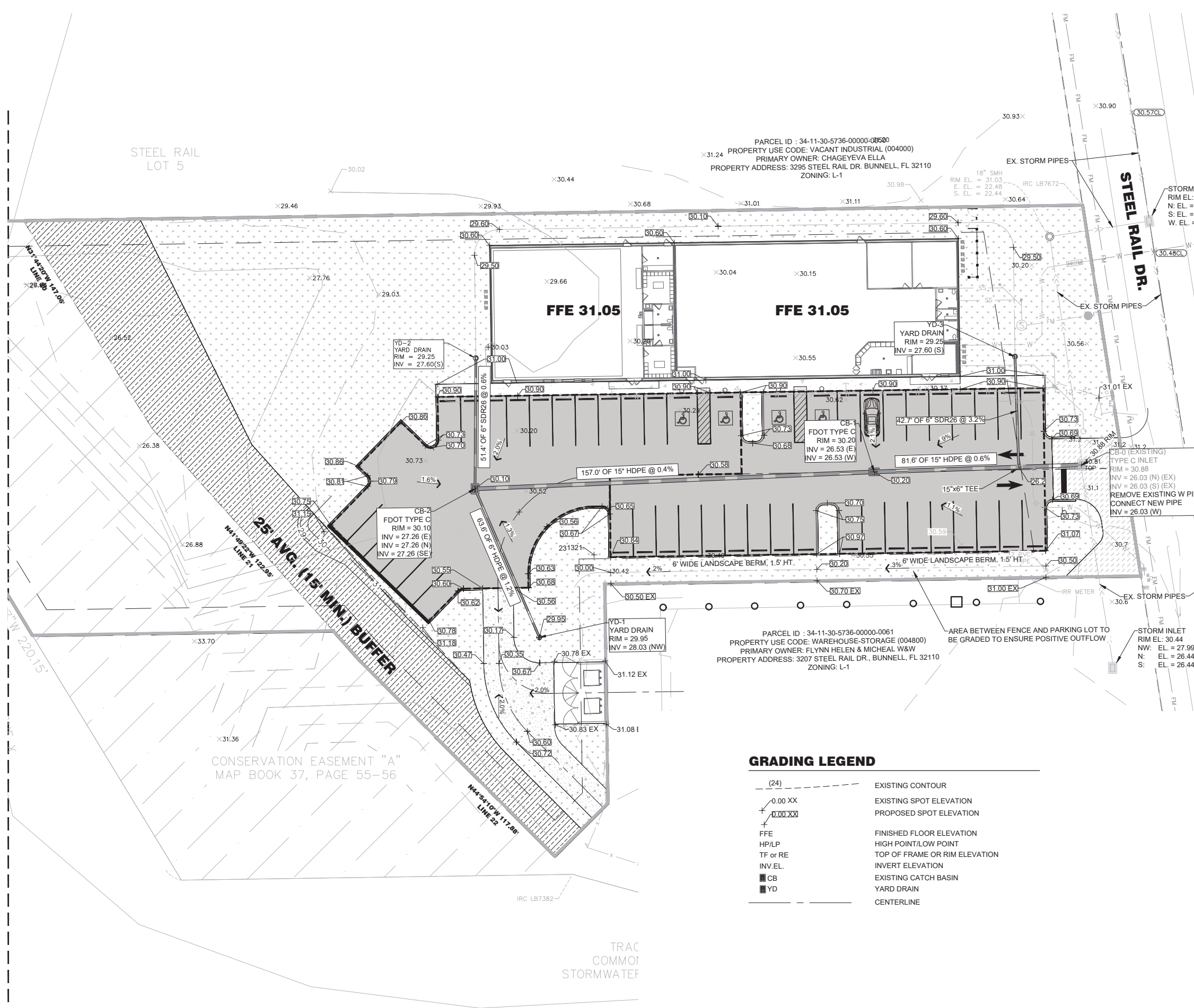
- CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, FILTER FABRIC, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
- PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON THE SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE CONTROLLING GOVERNMENT AGENCY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, THE CONTROLLING GOVERNMENT AGENCY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED THROUGHOUT PROJECT CONSTRUCTION.
- THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED.
- ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE.
- FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (SEE SPECIFICATIONS).
- IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- ALL EXISTING CATCH BASINS ADJACENT TO THE SITE SHALL BE COVERED WITH FILTER FABRIC TO PREVENT SEDIMENTS FROM ENTERING THE SYSTEM. THE FILTER FABRIC SHALL BE INSPECTED AND MAINTAINED DAILY THROUGHOUT THE DURATION OF CONSTRUCTION.
- ACCESSIBLE PARKING PACE NOT TO EXCEED 2.0% IN ANY DIRECTION.
- ALL CURB AND GUTTER AT ACCESSIBLE PARKING SPACES TO BE DEPRESSED WITH 5" TAPER.
- THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.
- SURVEYOR TO VERIFY BENCHMARK ELEVATION PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO LOOSEN SUBSOIL WITHIN ALL PROPOSED LANDSCAPE AREAS TO A DEPTH OF 24 INCHES OR GREATER
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY SITE HAS POSITIVE DRAINAGE AWAY FROM BUILDING.

PAVING AND DRAINAGE NOTES:

- PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN CENTERLINE OF DRAINAGE STRUCTURES AND TO INVERT END OF MITERED END SECTIONS.
- ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND STABILIZED UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL MITERED END SECTIONS TO BE FIELD CUT TO MATCH EXISTING OR PROPOSED CONDITIONS.
- THE STORM DRAINAGE SYSTEM SHALL BE FREE OF DIRT, SAND AND DEBRIS PRIOR TO FINAL ACCEPTANCE BY THE LOCAL GOVERNMENTAL AGENCY.
- ALL SLOPES SHALL BE FULLY SODDED AND SOD SHALL BE STAKED WHERE SIDE SLOPES ARE GREATER THAN 3:1 OR IF SOD IS UNABLE TO REMAIN IN PLACE. ALL STAKING SHALL CONFORM TO F.D.O.T. STANDARDS.
- ALL STRUCTURES SHALL CONFORM TO THE LATEST F.D.O.T. STANDARDS FOR DIMENSION AND CONSTRUCTION UNLESS OTHERWISE NOTED.

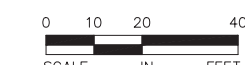
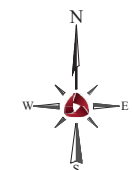
CATCH BASIN INLET NOTES:

- CATCH BASIN #1 EXISTING RIM ELEVATION TO BE LOWERED FROM 30.98 TO 30.20.
- CATCH BASE #2 EXISTING RIM ELEVATION TO BE REDUCED FROM 32.81 TO 30.10.



GRADING LEGEND

(24)	EXISTING CONTOUR
-0.00 XX	EXISTING SPOT ELEVATION
+0.00 XX	PROPOSED SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
HP/LP	HIGH POINT/LOW POINT
TF or RE	TOP OF FRAME OR RIM ELEVATION
INV.EL.	INVERT ELEVATION
CB	EXISTING CATCH BASIN
YD	YARD DRAIN
---	CENTERLINE



NOT FOR CONSTRUCTION

CADD FILE: v:\projects\4000130-00\land development\del\del\plan a\entire\3.0 paving grading and drainage plan.dwg
PLOT DATE: November 18, 2024 2:34 PM



ALLIANT

10475 Fortune Pkwy.,
Suite 101
Jacksonville, FL 32256
904.240.1351 MAIN
www.alliant-inc.com
CA# 29471

NO. DATE DESCRIPTION

PIZZA NINJAS INC.
3245 STEEL RAIL DRIVE
BUNNELL, FL 32110
**CIVIL ENGINEERING PLANS
UTILITY PLAN**

Digitally signed by Adam Oestman
DN: cn=Adam Oestman,
ou=Engineering, o=Pizza Ninjas Inc.,
email=adam.oestman@pizza-ninjas.com,
c=US
Reason: I am approving this
Date: 2024.11.18
15:15:43-0500

ADAM OESTMAN, PE
Date 98440 License No.

QA/QC
AVO 04/25/24
BY DATE

PROJECT TEAM DATA
DESIGNED: DS
DRAWN: AR
PROJECT NO: 4000130-00

C-4.0

UTILITY NOTES:

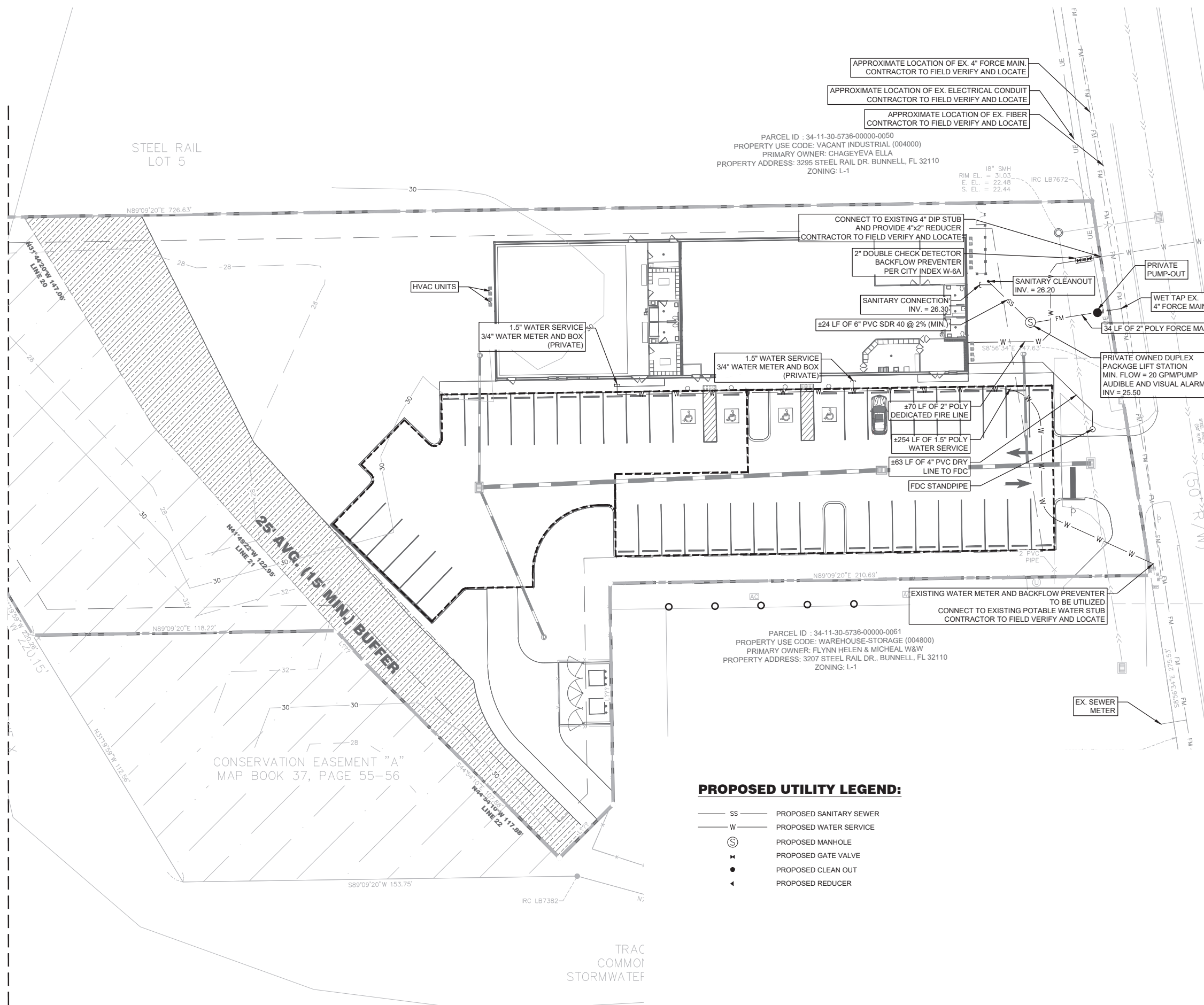
- CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
- ELECTRICAL SERVICE EQUIPMENT (METERS, MAINS, ETC.) LOCATED ON BLDG. EXTERIOR. CONTRACTOR TO COORDINATE INSTALLATION WITH UTILITY COMPANY.
- TRANSFORMER TO BE LOCATED MINIMUM 10' AWAY FROM BUILDING, DOOR AND/OR WINDOW OPENING & GAS METER. CONTRACTOR TO VERIFY THE ELECTRICAL TRANSFORMER LOCATION AND PAD SIZE WITH LOCAL ELECTRICAL COMPANY PRIOR TO INSTALLATION OF CONDUIT.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP RELATIVE TO WATER AND SANITARY SEWER SHALL BE IN ACCORDANCE TO THE APPROPRIATE GOVERNING AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- SEWER SERVICE SHALL BE PVC SDR. USE BENDS AND FITTINGS AS REQUIRED.
- INSTALL SANITARY SEWER AND WATER SERVICE A MINIMUM OF 10 FEET FROM BUILDING. SERVICE ENDS SHALL BE PLUGGED. BUILDING CONTRACTOR SHALL INSTALL BENDS AS REQUIRED AND EXTEND SERVICES INTO BUILDING. CONTRACTOR TO COORDINATE LOCATION OF SERVICES ENTERING BUILDING WITH PLUMBING/MECHANICAL FOR PROPER INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF ALL GOVERNING AGENCIES AS WORK IS IN PROGRESS FOR REQUIRED INSPECTIONS.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES, CONTACT SUNSHINE 811 TWO BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK. FOR UTILITIES THAT ARE NOT MEMBERS OF THE 811 SYSTEM, CONTACT THOSE COMPANIES DIRECTLY.
- COORDINATE WITH PROPER SERVICE PROVIDING COMPANY/UTILITY AND PROVIDE AND INSTALL TRENCHING AND PVC SLEEVING FROM BUILDING TO PROPERTY LINE AS REQUIRED FOR TELEPHONE/INTERNET/TV LINES.
- COORDINATION MUST TAKE PLACE BETWEEN THE CONTRACTOR AND THE ARCHITECT/PLUMBER TO ENSURE APPROPRIATE PLACEMENT OF SEWER SERVICE AND WATER SERVICE LOCATIONS.
- GENERAL CONTRACTOR AND UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE DEPTH, SIZE AND LOCATION OF EXISTING UTILITIES LISTED ON THIS PLAN PRIOR TO THE ORDERING OF ANY FITTINGS, STRUCTURES, CASTINGS, ETC. NOTIFY THE OWNER OF ANY DISCREPANCIES BETWEEN THE INVERT ELEVATION SHOWN AND THE FIELD ELEVATION. ENGINEER & OWNER SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY FOUND AS DEPTH ARE ESTIMATED.
- LANDSCAPING OR ANY OTHER OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 7.5 FEET TO THE FRONT AND SIDES OR 4.5 FEET TO THE REAR OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.

GENERAL WATER MAIN NOTES:

- ALL PIPELINE MATERIAL AND INSTALLATION SHALL CONFORM TO THE CITY OF BUNNELL STANDARDS, CONTRACT DOCUMENTS, TECHNICAL SPECIFICATIONS AND ALL APPLICABLE LOCAL AND STATE REQUIREMENTS.
- ALL FITTINGS FOR BURIED PIPING 4-INCH AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT (D.I.M.J.), EPOXY COATED EXTERIOR, UNLESS NOTED OTHERWISE, THESE FITTINGS SHALL INCORPORATE RESTRAINING RINGS, MEGA-LUGS OR OTHER APPROVED EQUIVALENT MECHANICAL DEVICES.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN DERIVED FROM EXISTING UTILITY RECORDS AND ACCURACY OF THIS INFORMATION IS NOT GUARANTEED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, DEPTH AND CHARACTER OF ALL UTILITIES PRIOR TO EXCAVATION IN ORDER TO PROTECT THEM DURING CONSTRUCTION.
- 2" AND 3" PVC PIPE SHALL CONFORM TO ASTM D2241. PIPE SHALL BE FURNISHED IN 20-FOOT LENGTHS, SHALL 2 HAVE DIMENSION RATIO (DR21) AND A WATER PRESSURE RATING OF 200 PSI.
- GENERAL CONTRACTOR SHALL PROVIDE CERTIFICATION DOCUMENTATION FOR EXISTING BACKFLOW DURING CONSTRUCTION PRIOR TO OBTAINING THE CERTIFICATE OF OCCUPANCY.

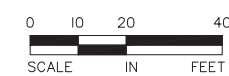
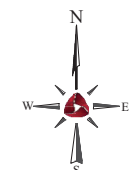
GRAVITY SANITARY SEWER GENERAL NOTES:

- ALL PIPELINE MATERIAL AND INSTALLATION SHALL CONFORM TO THE CITY OF BUNNELL STANDARDS, CONTRACT DOCUMENTS, TECHNICAL SPECIFICATIONS AND ALL APPLICABLE LOCAL AND STATE REQUIREMENTS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN DERIVED FROM EXISTING UTILITY RECORDS AND ACCURACY OF THIS INFORMATION IS NOT GUARANTEED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, DEPTH AND CHARACTER OF ALL UTILITIES PRIOR TO EXCAVATION IN ORDER TO PROTECT THEM DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF BUNNELL UTILITY DEPARTMENT 72 HOURS BEFORE COMMENCING WITH CONSTRUCTION.
- PVC PIPE AND FITTINGS 4-INCHES THROUGH 15-INCHES SHALL CONFORM TO ASTM D3034, SDR35 OR 26.
- MATERIAL FOR GRAVITY SEWER PIPE AND FITTINGS SHALL BE AS SHOWN FOR THE FOLLOWING DEPTHS OF EXCAVATION: 5.1. 3' TO 4': EPOXY-LINED DUCTILE IRON. 5.2. 4' TO 12': PVC, ASTM 3034/ASTM F679, SDR 35. 5.3. GREATER THAN 12': PVC, ASTM 3034, SDR 26 OR EPOXY-LINED DUCTILE IRON.



PROPOSED UTILITY LEGEND:

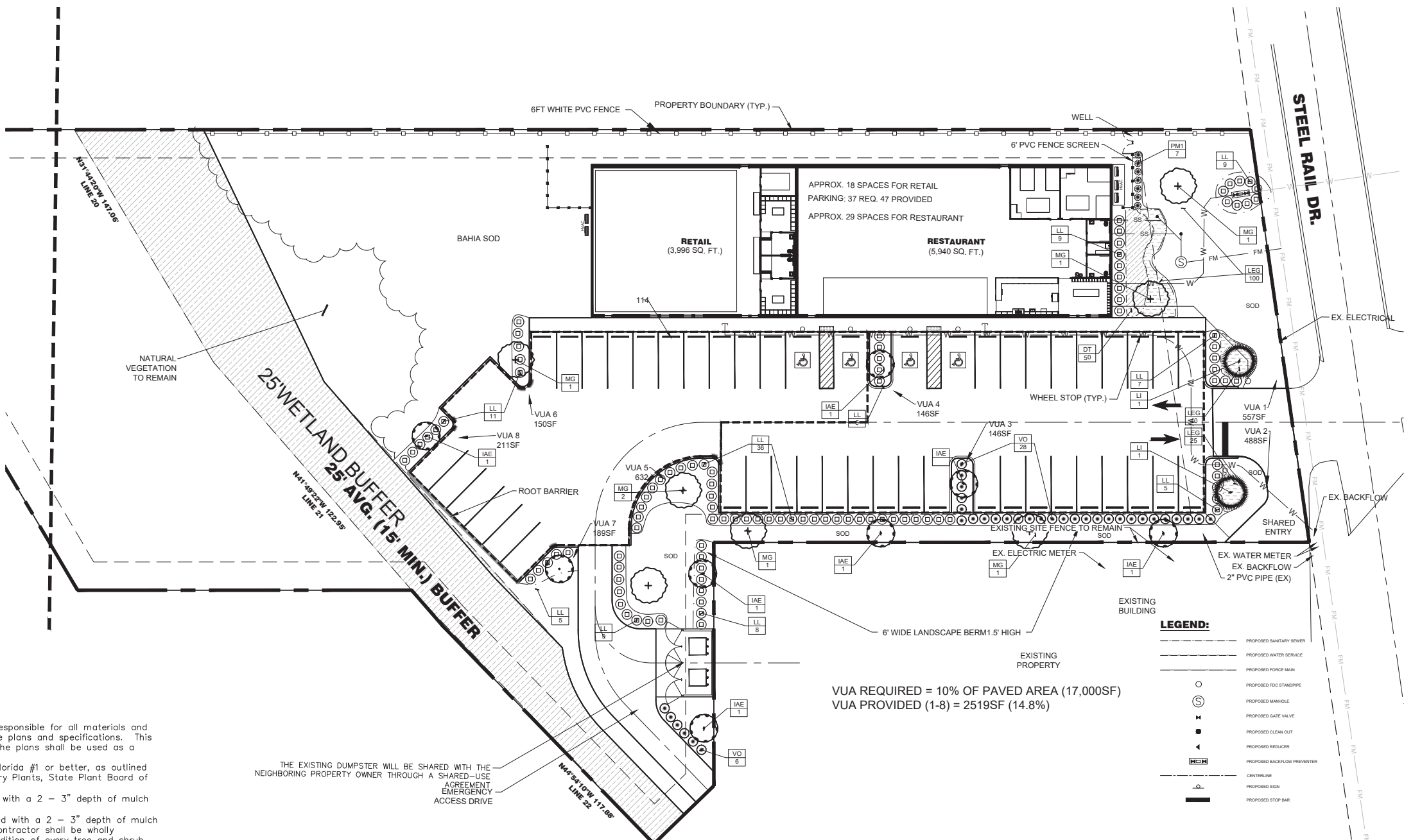
- SS PROPOSED SANITARY SEWER
- W PROPOSED WATER SERVICE
- ⊙ PROPOSED MANHOLE
- ⊙ PROPOSED GATE VALVE
- PROPOSED CLEAN OUT
- ◄ PROPOSED REDUCER



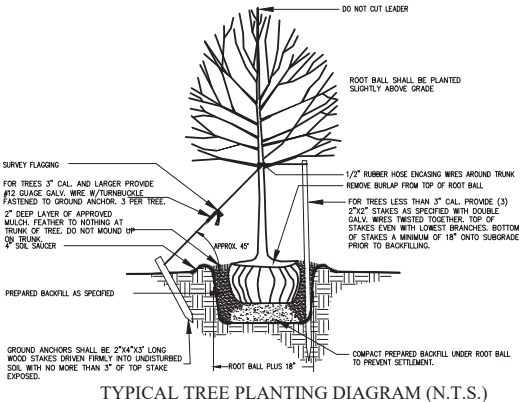
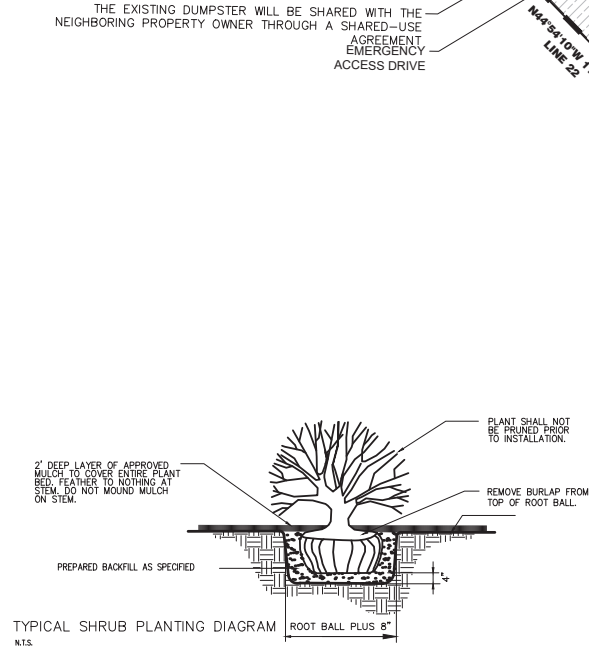
Know what's below.
Call before you dig.
Dial 811

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CADD FILE: v:\projects\4000130\00\land_development\final\utility\plan_4000130-00.dwg
PLOT DATE: November 18, 2024, 2:16 PM



- PLANTING NOTES:**
- The landscape contractor shall be responsible for all materials and all work as called for on the landscape plans and specifications. This list of plant quantities accompanying the plans shall be used as a guide only.
 - All plant material shall be graded Florida #1 or better, as outlined under Grades and Standards for Nursery Plants, State Plant Board of Florida, unless otherwise noted.
 - All plant beds shall be top dressed with a 2 - 3" depth of mulch as specified on drawings.
 - All tree saucers shall be top dressed with a 2 - 3" depth of mulch as specified on drawings. Landscape contractor shall be wholly responsible for stability and plumb condition of every tree and shrub and shall be legally liable for any damage caused by instability of any plant materials. Staking of trees, if desired, shall be done utilizing a method agreed upon by the landscape architect.
 - Landscape architect has the right to adjust planting layout and reject any work that is not satisfactory.
 - It shall be the responsibility of the landscape contractor to finish (fine) grade all areas to be sodded, taking care to eliminate all bumps, depressions, sticks, stones and other debris to the satisfaction of the owner.
 - The sodded areas must at all times be graded in such a manner as to prevent water from standing in one area for a period of time.
 - All shrubbery and ground cover root balls (particularly all azaleas) should be vertically cut 1/2" deep from top root ball to bottom if plant is at all root bound. This vertical cut to be made every 1" around root ball.
 - All ground cover beds, azalea beds and annual beds to be prepared before planting by broadcasting and incorporating into beds 50 lbs. Composted manure and 1/2 cubic yard sphagnum peat moss for every 25 square feet of bed areas. All other trees and shrubs to have backfill mixture of 1/4 peat, 1/4 composted manure and 1/2 original soil.
 - All plant materials to be installed in the ground at the same height as the top of the root ball with the exception of all azaleas, which should be planted slightly higher (1").
 - Parking area island to be provided soil mix for plantings and positive drainage.
 - All plant material to be guaranteed for one year from date of final acceptance.
 - Project as built landscape plans required by landscape architect.



VUA REQUIRED = 10% OF PAVED AREA (17,000SF)
VUA PROVIDED (1-8) = 2519SF (14.8%)

LEGEND:

- PROPOSED SANITARY SEWER
- PROPOSED WATER SERVICE
- PROPOSED FORCE MAIN
- PROPOSED FDC STANDPIPE
- PROPOSED MANHOLE
- PROPOSED GATE VALVE
- PROPOSED CLEAN OUT
- PROPOSED REDUCER
- PROPOSED BACKFLOW PREVENTER
- CENTERLINE
- PROPOSED SIGN
- PROPOSED STOP BAR

3245 Steel Rail Drive Plant List 11-6-24

TREES						
ITEM NO	SYM	BOTANICAL / COMMON NAME	MIN SIZE	SPACING	QTY	
1	MG	MAGNOLIA GRANDIFLORA/SOUTHERN MAGNOLIA	2.5 CAL@ 4 FT	8 FT. HT	AS	7
2	LI	LAGERSTROEMIA INDICA/ CREPE MYRTLE	2.5 CAL@ 4 FT	8 FT HT	AS	2
3	IAE	ILEX ATTENUATA "EAGLESTON" /EAGLESTON HOLLY	2.5 CAL @ 4 FT	8 FT HT	AS	6
SHRUBS & GROUNDCOVERS						
ITEM NO	SYM	BOTANICAL / COMMON NAME	MIN SIZE	SPACING	QTY	
4	LL	LIGUSTRUM LUCIDUM / GREEN LIGUSTRUM	7 GAL 48" X 30"	36" O.C.		111
5	VO	VIBURNUM ODORATISSIMUM/ SWEET VIBURNUM	7 GAL 48" X 30"	36" O.C.		33
6	PM1	PODOCARPUS MACROPHYLLUS / PODOCARPUS	3 GAL 24" X 14"	36" O.C.		7
7	LEG	LIRIOPE MUSCARI EVERGREEN GIANT/GIANT LIRIOPE	FULL GAL	18" O.C.		165
8	DT	DIANELLA TASMANICA VARIGATA/ VARIGATED FLAX LILY	FULL GAL	18" O.C.		50
9	SOD	ARGENTINE BAHIA SOD				
10		SHREADED MULCH, BROWN 3" DEPTH				
11		IRRIGATION SYSTEM				



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**3245 STEEL RAIL DRIVE
LANDSCAPE PLAN
BUNNELL
FLORIDA**

SCALE AS SHOWN
DATE 4-25-24
DRAWN jwk/dcl
REVISIONS X X
X-X-X-X
DWG: 3245 STEEL RAIL DRIVE 11-6-24

