



City of Bunnell, Florida

Agenda Item No. 4.

Document Date: 2/22/2025
Department: Community Development
Subject: SE 2023-08 Requesting a modification to an approved special exception for the Phoenix Crossings development.
Property Address: N Bay Street
Zoning Designation: L-1 / R-3B
Future Land Use Designation: Industrial / Multifamily
Agenda Section: New Business

ATTACHMENTS:

Description	Type
Zoning Map	Exhibit
Modified Development Plan Layout	Plans
Approval Letter for Previous Special Exception.	Exhibit

Summary/Highlights:

This is a request to modify an approved special exception for the Phoenix Crossings development. The special exception was previously granted by the PZA Board on April 21, 2020.

In accordance with local notification procedures, notice detailing the date, time, and location were mailed to adjacent property owners within 300 feet of the subject property, within the City limits, on March 10, 2025. Notice was published in the Observer Local News on March 20, 2025.

Background:

The applicant, Sandra Shank, applied for a modification to her approved special exception (Case No. PZA 2020-07) in conjunction with major site plan approval. The reason for this modification is to modify the development plan that was approved as part of the special exception. The approved special exception permits a mixed-use development on Parcel ID's: 10-12-30-0850-02130-0030, 10-12-30-0850-02680-0000, and 10-12-30-0850-02490-0020 within the R3-B and L-1 zoning districts. The following uses are authorized under the special exception:

1. Multi-family
2. Administrative Offices
3. Chapel
4. Gym/Fitness Center
5. Medical and Therapeutic Services
6. Library with computer lab

7. Park
8. Fair Market Rate Rent Housing
9. 120% of Median Income Rent Housing
10. 80% of Median Income Rent Housing
11. 50% of Median Income Rent Housing
12. 30% of Median Income Rent Housing
13. Elderly Housing
14. Homelessness Housing
15. Veterans Housing

The updated development plan layout is derived from the major site plan submitted and reviewed by the Technical Review Committee for consistency with the City's Land Development Regulations. The approved uses are consistent with the R-3B zoning district for which the uses are to reside in (*See attached zoning map*).

Staff Recommendation:

Approve the Phoenix Crossings special exception modification to the approved development plan for Parcels 10-12-30-0850-02130-0030, 10-12-30-0850-02680-0000, and 10-12-30-0850-02490-0020 with the following condition to ensure consistency with Land Development Code:

1. This special exception use shall run with the land and may be transferrable should the ownership of the property ever change only if the new owner continues the use of the property as allowed under this special exception. If under any circumstance the use of the property changes beyond what is allowed within this special exception, this special exception shall become null and void.

If motioned for approval, please state along the lines of **"I make a motion to approve the special exception modification with staff's conditions."**

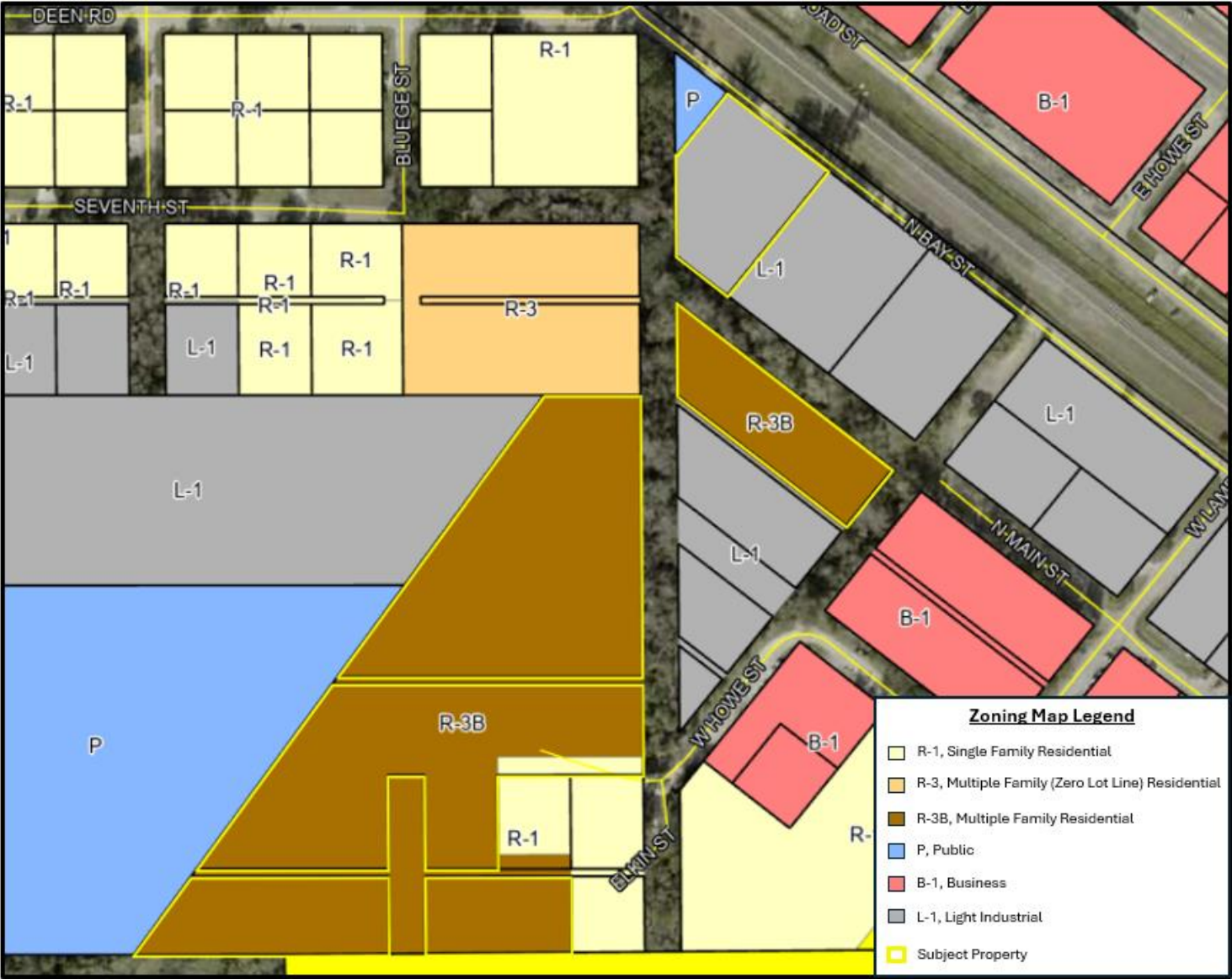
If motioned for denial, please state along the lines of **"I make a motion to deny the special exception modification for the subject property"** and state the reason for denial.

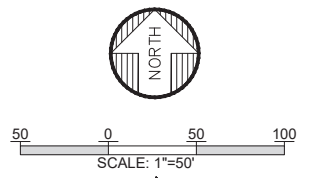
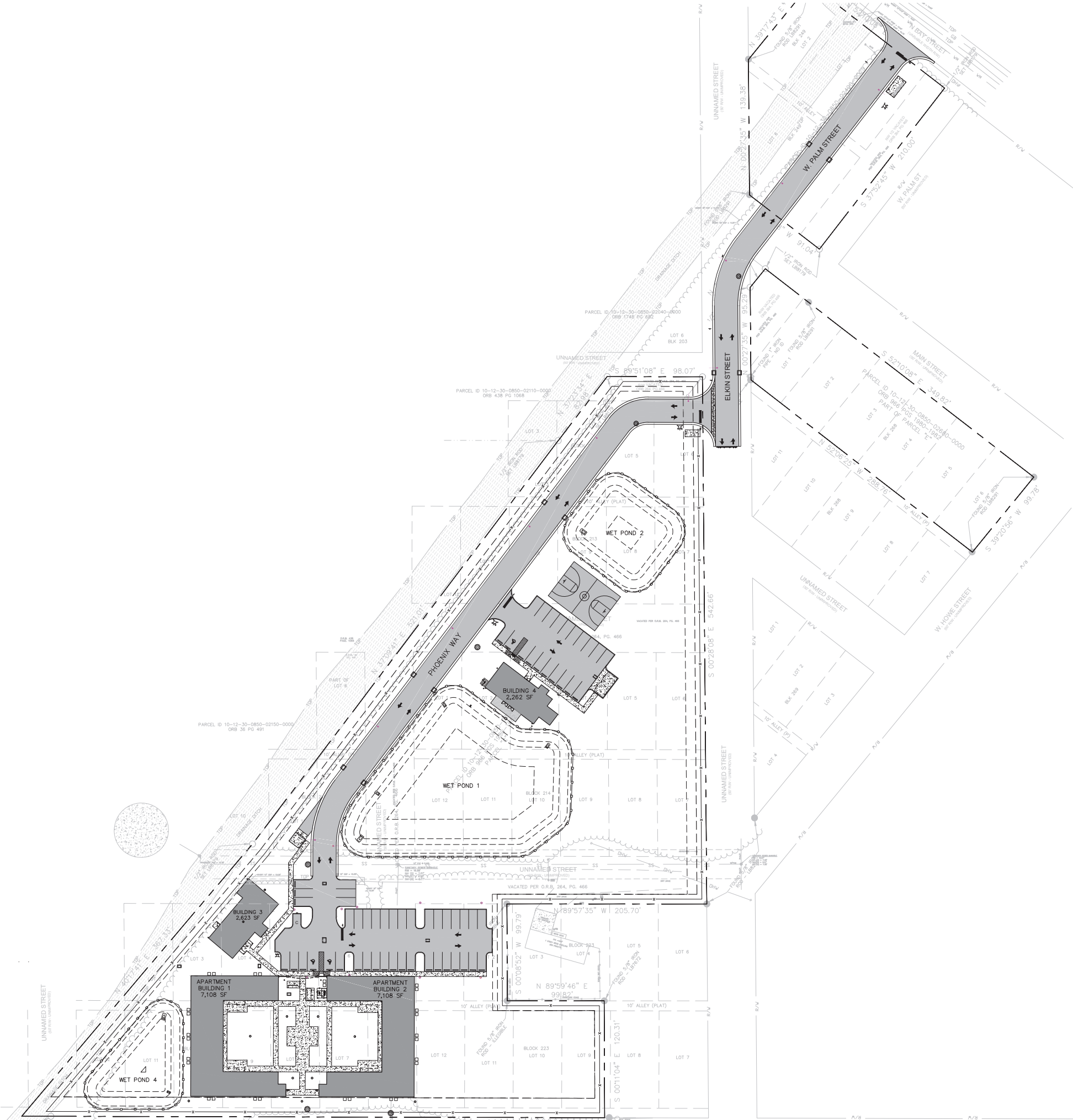
The Planning, Zoning and Appeals Board has the ability and authority to amend the conditions or apply more than what staff has recommended

City Attorney Review:

Approved for agenda

Zoning Map





- LEGEND
- PROPOSED CONCRETE (SIDEWALK OR PAVEMENT)
 - PROPOSED ASPHALT PAVEMENT

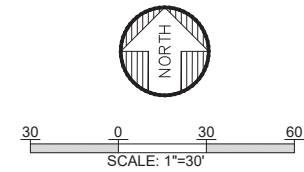
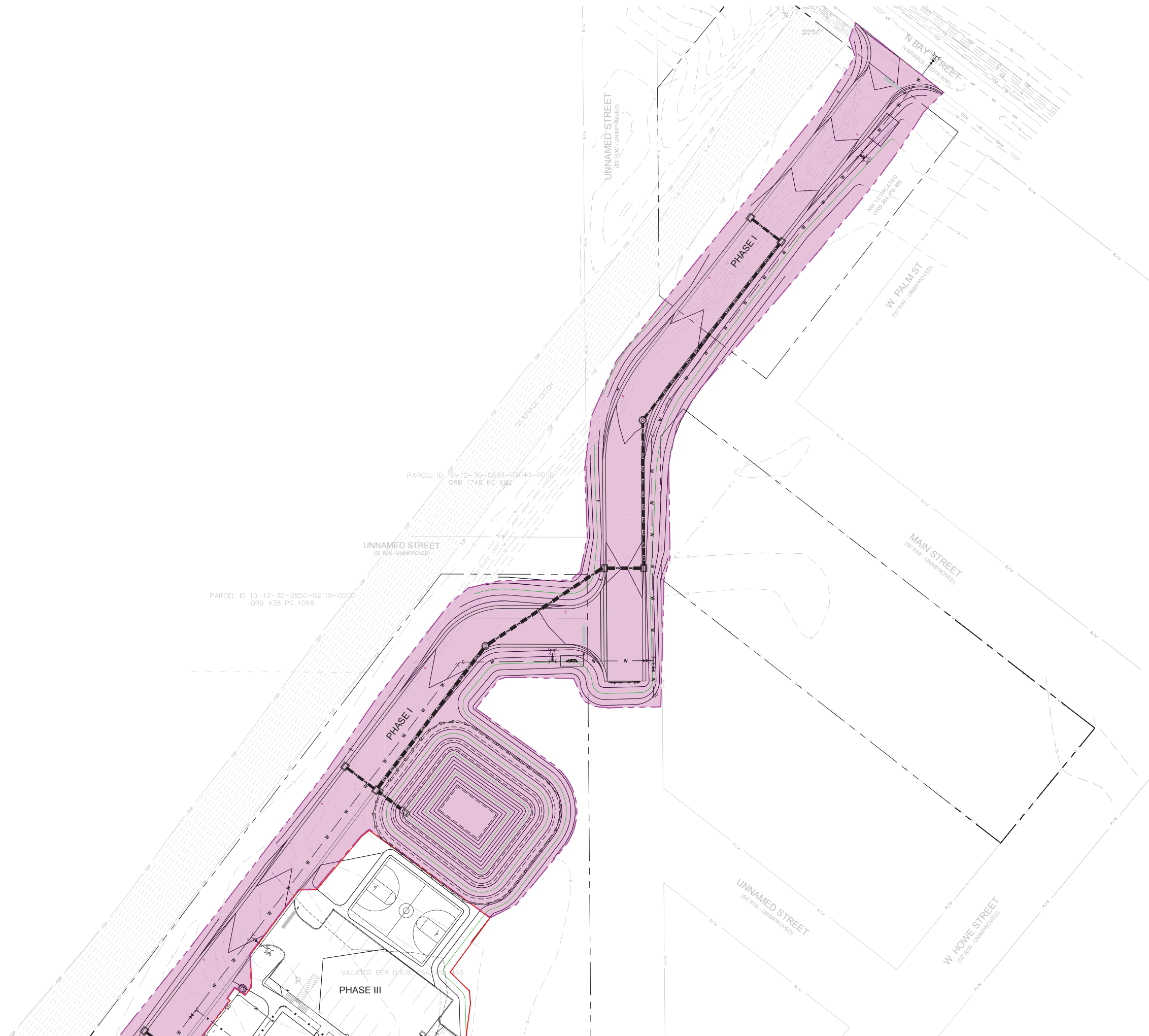
ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927

PHOENIX CROSSINGS
BUNNELL, FL
OVERALL SITE LAYOUT PLAN

NO.	DATE	PER CITY COMMENTS	REVISION	BY
1	12-9-24			KAB

DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WRS	1941-1	1" = 50'

NOT VALID UNLESS SIGNED AND SEALED
VARIABLE A, BLOCK F.E. 3855



LEGEND



PHASE I

PHASE II

PHASE III

A

**ALANN ENGINEERING
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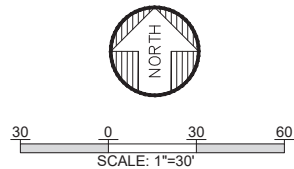
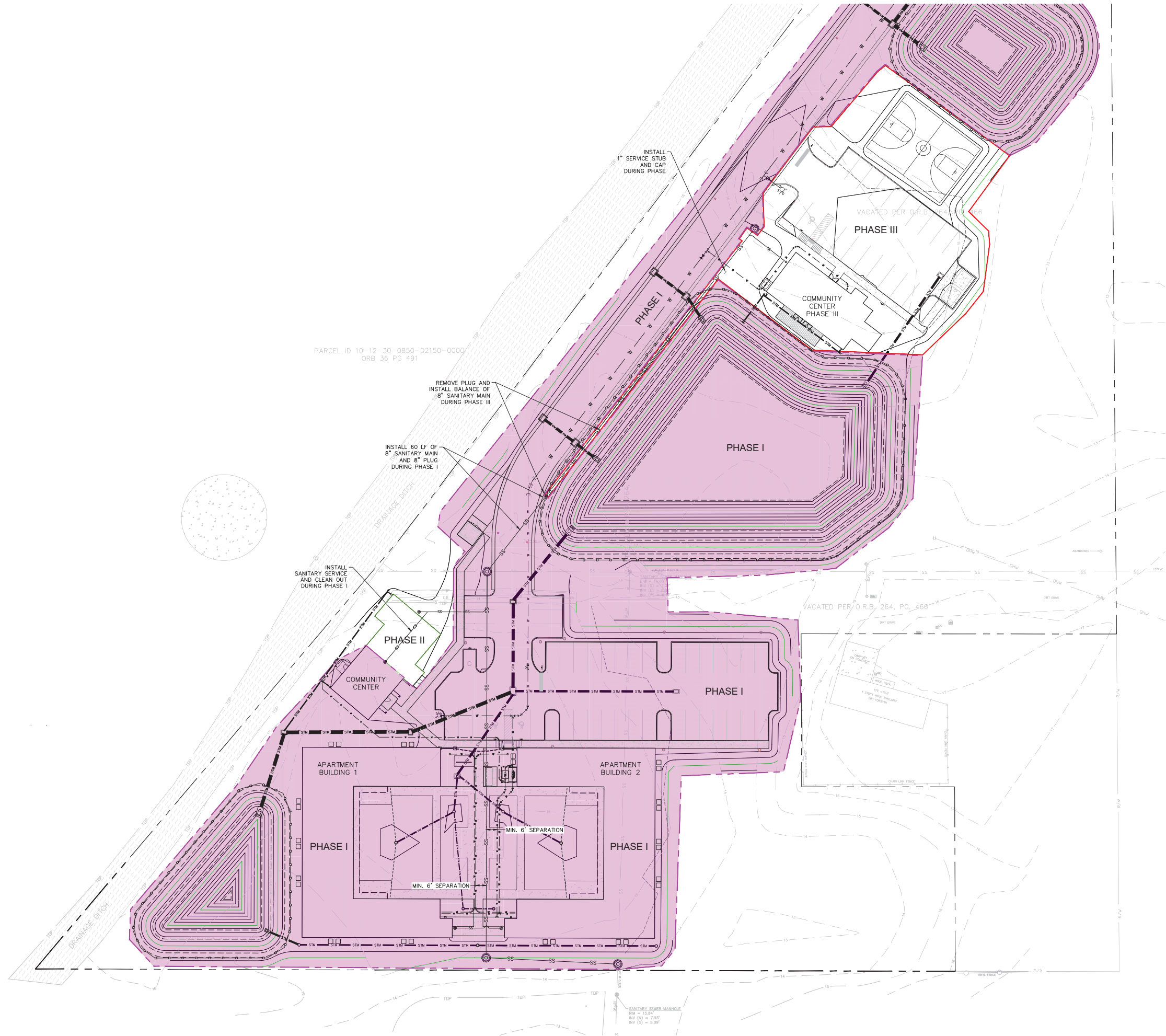
PHOENIX CROSSINGS
BUNNELL, FL
PHASING PLAN - NORTH

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DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WRS	1941-1	1" = 30'

NOT VALID UNLESS SIGNED AND SEALED
KIMBERLY A. BUCK P.E. 38565

SHEET
C002A



LEGEND	
	PHASE I
	PHASE II
	PHASE III

PHOENIX CROSSINGS
BUNNELL, FL
PHASING PLAN - SOUTH

NO.	DATE	PER CITY COMMENTS	REVISION	BY
1	12-9-24			KAB

DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WRS	1941-1	1" = 30'

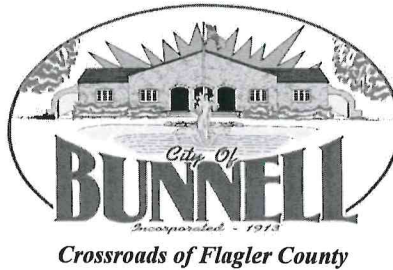
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NUMBER A, BOOK F.E. 3850



CATHERINE D. ROBINSON
MAYOR

JOHN ROGERS
VICE-MAYOR

DR. ALVIN B. JACKSON, JR.
CITY MANAGER



COMMISSIONERS:

BILL BAXLEY

DONNIE NOBLES

TONYA GORDON

June 23, 2021

Phoenix Crossing
ATTN: Sandra Shank
PO Box 354925
Bunnell, FL 32110

Dear Ms. Shank:

At its April 21, 2020 meeting, the Planning, Zoning, and Appeals Board approved a request for a Special Exception to permit a mixed use development on parcel ID's: 10-12-30-0850-02130-0030, 10-12-30-0850-02680-0000 and 10-12-30-0850-02490-0020 in the R3-B and L-1 zoning districts. The following uses are authorized with this approval:

- 1) Multi-Family
- 2) Administrative Offices
- 3) Chapel
- 4) Gym/Fitness Center
- 5) Medical and Therapeutic Services
- 6) Library with Computer Lab
- 7) Park
- 8) Fair Market Rate Rent Housing
- 9) 120% of Median Income Rent Housing
- 10) 80% of Median Income Rent Housing
- 11) 50% of Median Income Rent Housing
- 12) 30% of Median Income Rent Housing
- 13) Elderly Housing
- 14) Homelessness Housing
- 15) Veterans Housing

Please note that the Special Exception only permits the uses on the site and is not a Development Order. Site plan approval will be needed to authorize development of the permitted uses. If you need additional information, please let me know. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark P. Karet". The signature is fluid and cursive, with a long horizontal line extending from the end.

Mark P. Karet, AICP
Director of Planning



City of Bunnell, Florida

Agenda Item No. 5.

Document Date: 2/22/2025
Department: Community Development
Subject: MJSP 2023-15 Requesting approval of the major site plan for the Phoenix Crossings project, located off of North Bay Street.
Property Address: N Bay Street
Zoning Designation: L-1 / R-3B
Future Land Use Designation: Industrial / Multifamily
Agenda Section: New Business

ATTACHMENTS:

Description	Type
Phoenix Crossings Major Site Plan Sheets C001 - C002A	Plans
Phoenix Crossings Major Site Plan Sheets C002B - C004	Plans
Phoenix Crossings Major Site Plan Sheets C005 - C007	Plans
Phoenix Crossings Major Site Plan Sheets C008 - C009A	Plans
Phoenix Crossings Major Site Plan Sheets C009B - C011	Plans
Phoenix Crossings Major Site Plan Sheets C012 - C014	Plans
Phoenix Crossings Major Site Plan Sheets C015 - C017	Plans
Phoenix Crossings Major Site Plan Sheets C018 - C020	Plans
Phoenix Crossings Major Site Plan Sheets C021 - C023	Plans
Phoenix Crossings Major Site Plan Sheets C024 - C025	Plans
Phoenix Crossings Landscaping Plan Sheets LA-1 through LA-3	Plans
Phoenix Crossings Landscaping Plan Sheets LA-4 through LA-5	Plans

Summary/Highlights:

This is a request for major site plan approval for the Phoenix Crossings development on 8.03+/- acres of land. The request for approval includes the following:

- Phoenix Crossings Major site plan civil set Sheets C001 - C025
- Phoenix Crossings Landscaping Plan Sheets LA-1 - LA-5

Background:

The applicant, Abundant Life Ministries-Hope House, Inc., has requested major site plan approval for a development that spans 8.03+/- acres of land located within three Parcel ID's: 10-12-30-0850-02130-0030, 10-12-30-0850-02680-0000, and 10-12-30-0850-02490-0020. The development consists affordable multifamily housing with amenities to support and service the

community within. The development is permitted by a special exception granted in April 21, 2020 and will contain the following uses:

1. Multi-family
2. Administrative Offices
3. Chapel
4. Gym/Fitness Center
5. Medical and Therapeutic Services
6. Library with computer lab
7. Park
8. Fair Market Rate Rent Housing
9. 120% of Median Income Rent Housing
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Staff and the Technical Review Committee have reviewed the submitted plans and material in accordance with the City's Land Development Code, Comprehensive Plan, and other applicable federal, state, and local regulations. The plans have received all applicable staff and TRC member sign-offs and is deemed to meet the requirements listed within the City's land development regulations and is consistent with the City's 2035 Comprehensive Plan. There are some outstanding comments that are not major and have been placed as conditions of approval. The applicant will be required to satisfy these conditions prior to a building permit being issued.

In accordance with Section 22-3(e) in the Land Development Code, the Planning, Zoning and Appeals Board shall consider each major site plan application and shall base its decision on the use, size and dimension regulations for the respective zoning district, the site review standards established herein and all other applicable land development regulations, and comprehensive plan policies. The planning, zoning, and appeals board may impose conditions on-site plan approvals which ensure compliance with all applicable land development regulations and comprehensive plan policies.

Staff Recommendation:

Approve the major site plan for the Phoenix Crossings development with the following conditions to ensure consistency with the City's land development regulations:

1. The development agreement addressing concerns regarding ingress/egress, rights-of-way, stormwater management, potable water and sewer must be approved and executed by the City Commission prior to any building permits being issued.
2. Please obtain and provide to the City a St. Johns River Water Management District (SJRWMD) Environmental Resource Permit as necessary for the proposed construction with regards to stormwater management. The SJRWMD permit shall be provided to the City prior to the issuance of any building permits.
3. On sheet C014, revise "Palm Harbor Parkway" to "North Bay Street" under sequence of major activities.

4. On sheet C006, the dead-end sign at the entrance point from Elkin Street into Phoenix Way was provided but was incorrectly placed on Elkin Street at the end of Elkin Street. Please place the dead-end sign within Phoenix Way and the entry point to Phoenix Way.
5. On Sheets C012 and C013, Provide the City with a 30' wide Sanitary Sewer Easement with labeled metes and bounds describing the easement and tying to a property corner for the existing 15" gravity sanitary sewer which crosses parcel 10-12-30-0850-02130-0030 in a west to east direction. Please call out the proposed 30' wide Easement, with metes and bounds description, within the Civil Plan set on plan sheets C007 and C0012. The applicant shall also provide the metes and bounds easement in a recordable format, as approved by the City, and recorded in the Clerk of Court of Flagler County, Florida, after which a copy is to be provided to the City.
6. The alley ways and right-of-way located within the subject parcels must be vacated prior to the issuance of any building permits.
7. All land and/or easements must be donated or executed with the proper instruments, as described herein and in the development agreement, prior to the release of the site plan pursuant to Section 22-7 in the Land Development Code.

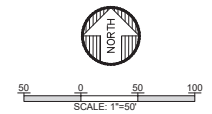
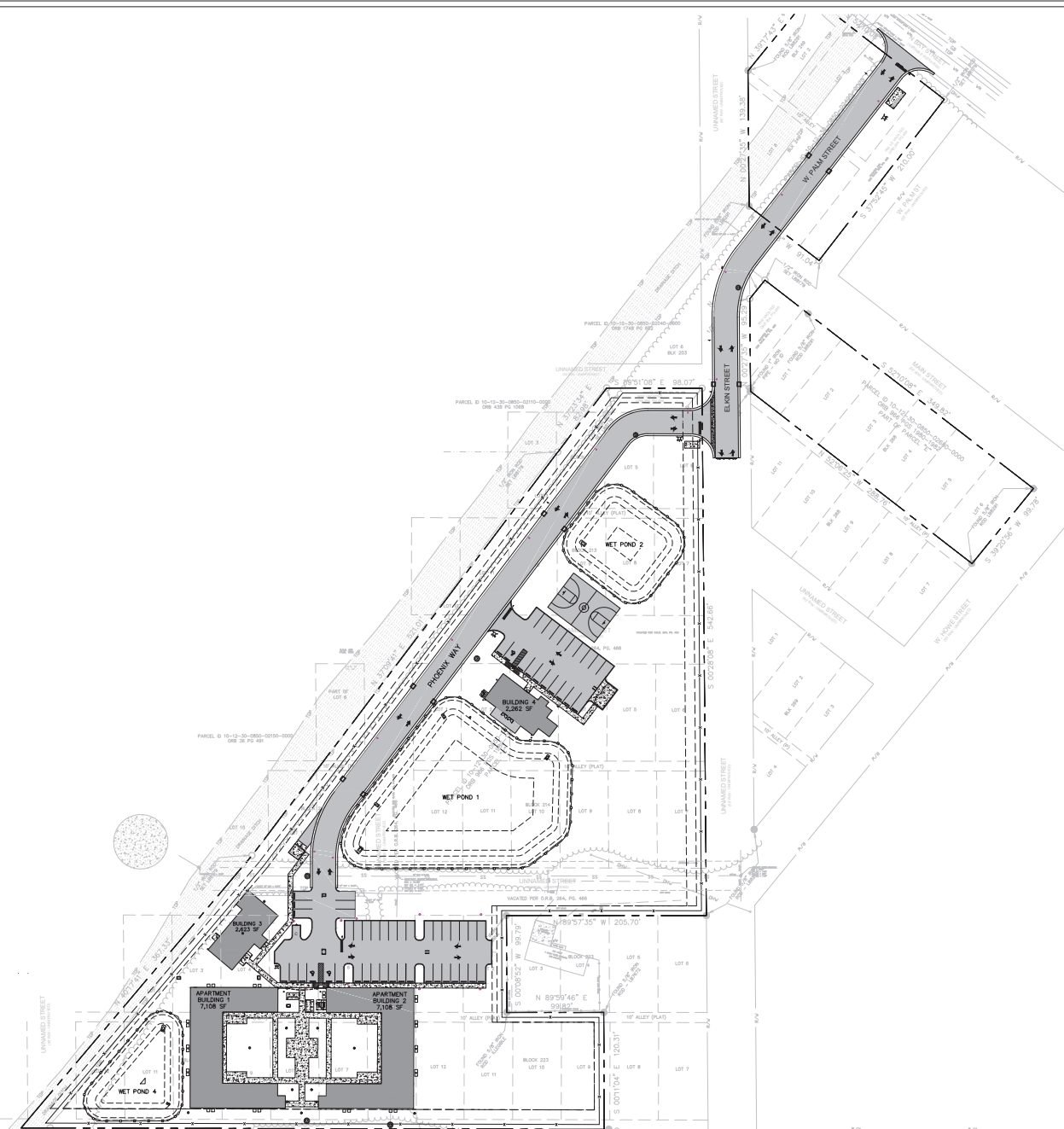
If motioned for approval, please state along the lines of **"I make a motion to approve the major site plan application MJSP 2023-15 for the Phoenix Crossings development with staff's conditions."**

If motioned for denial, please state along the lines of **"I make a motion to deny the major site plan application MJSP 2023-15 for the Phoenix Crossings development"** and state the reason for denial.

The Planning, Zoning and Appeals Board has the ability and authority to amend the conditions or apply more than what staff has recommended

City Attorney Review:

Approved for agenda



- LEGEND
- PROPOSED CONCRETE (SIDEWALK OR PAVEMENT)
 - PROPOSED ASPHALT PAVEMENT

ALANN ENGINEERING
GROUP, INC.
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880 AIRPORT ROAD, SUITE 113
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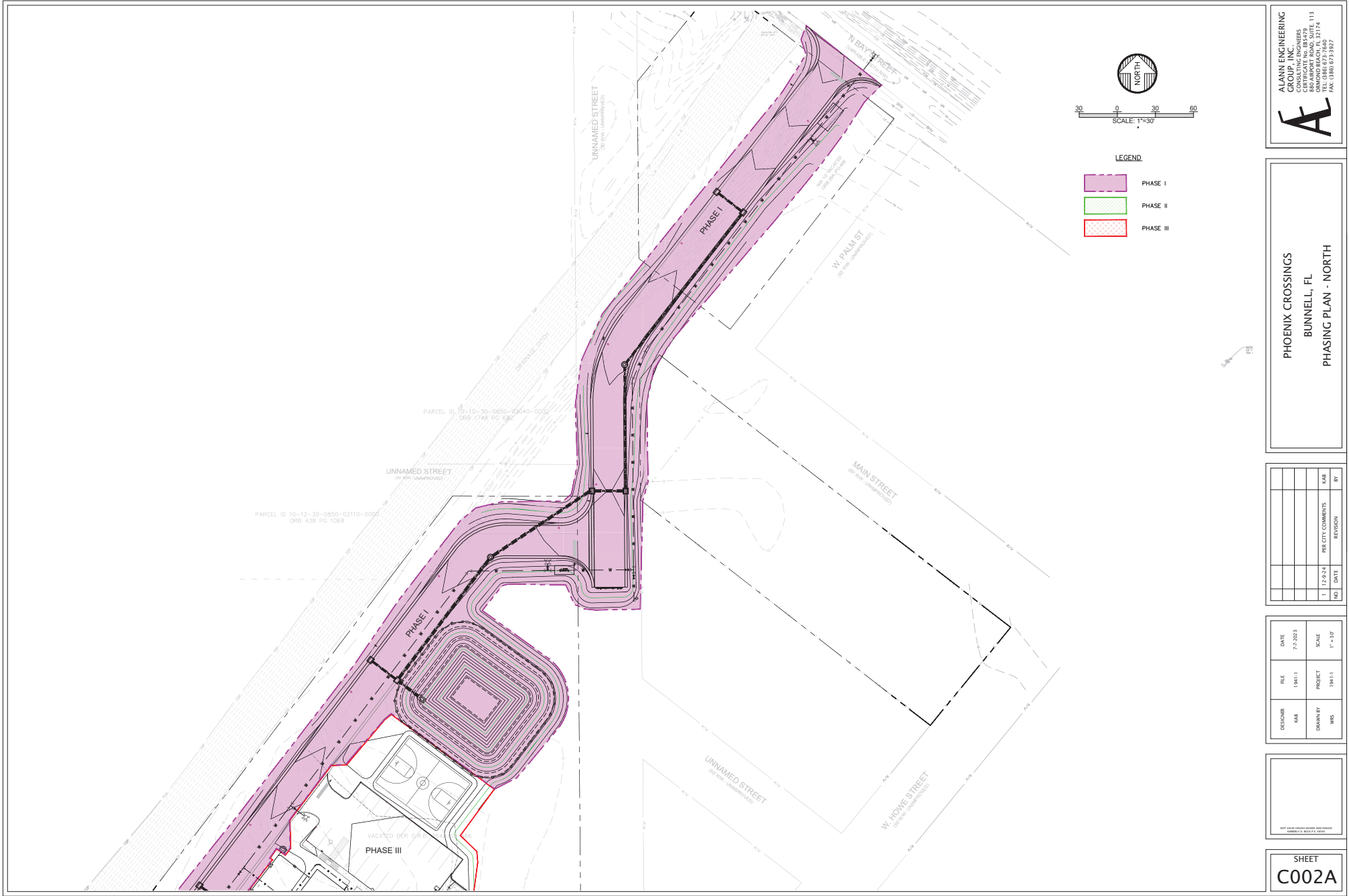
PHOENIX CROSSINGS
BUNNELL, FL
OVERALL SITE LAYOUT PLAN

NO.	DATE	REVISION	KAB	BY
1	12-02-24	PER CITY COMMENTS	KAB	BY

DESCR	FILE	DATE
SAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WES	1941-1	1" = 50'

NOT VALID WITHOUT RECORDING AND APPROVAL
APPROVED BY: [Signature]

SHEET
C002



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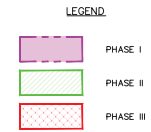
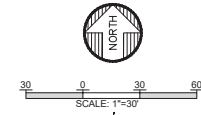
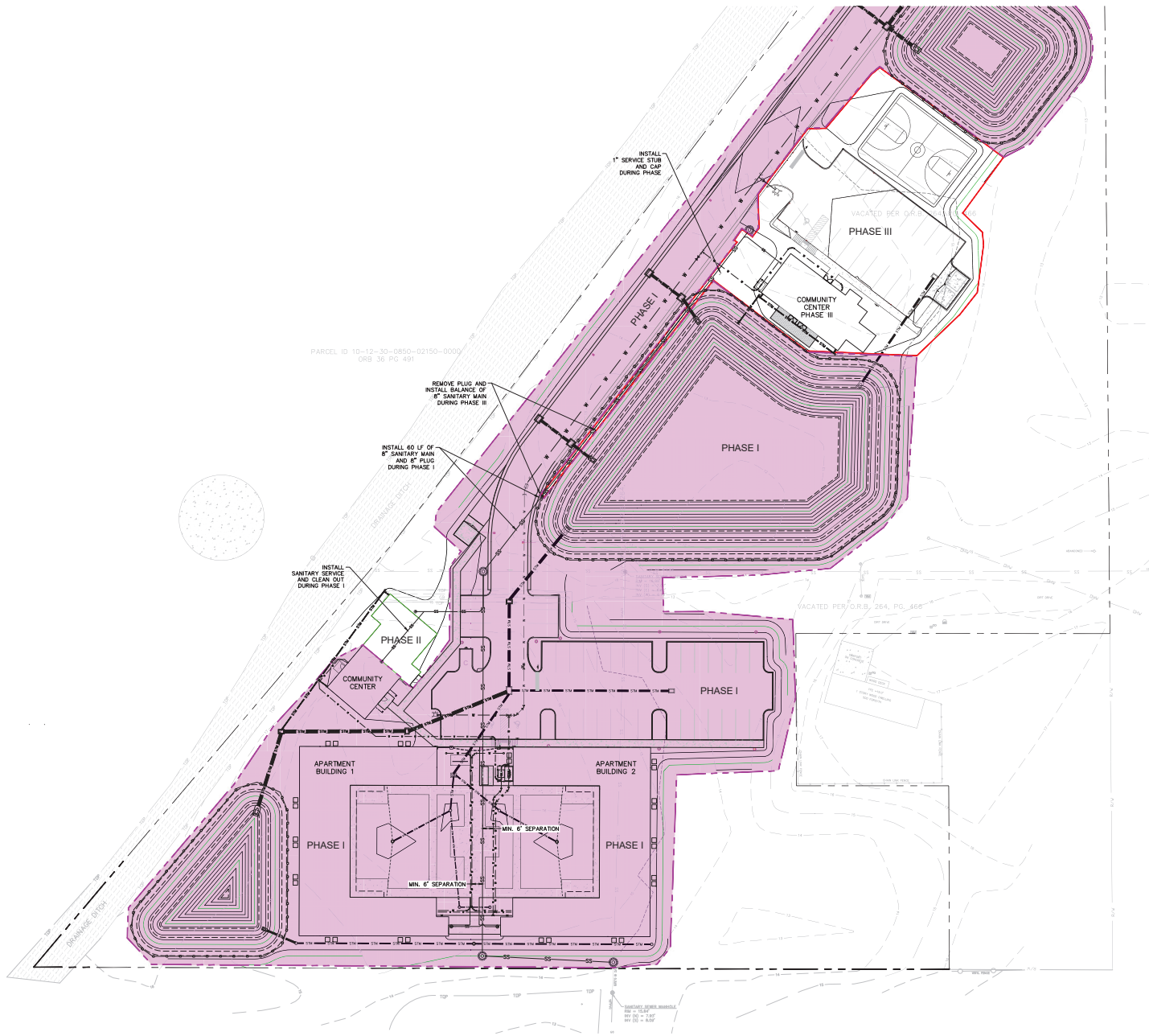
PHOENIX CROSSINGS
BUNNELL, FL
PHASING PLAN - NORTH

NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DESCRIB	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WEL	1941-1	1" = 30'

NOT VALID WITHOUT RECORDING AND APPROVAL
RECORDING IN BUNNELL, FL

SHEET
C002A



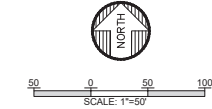
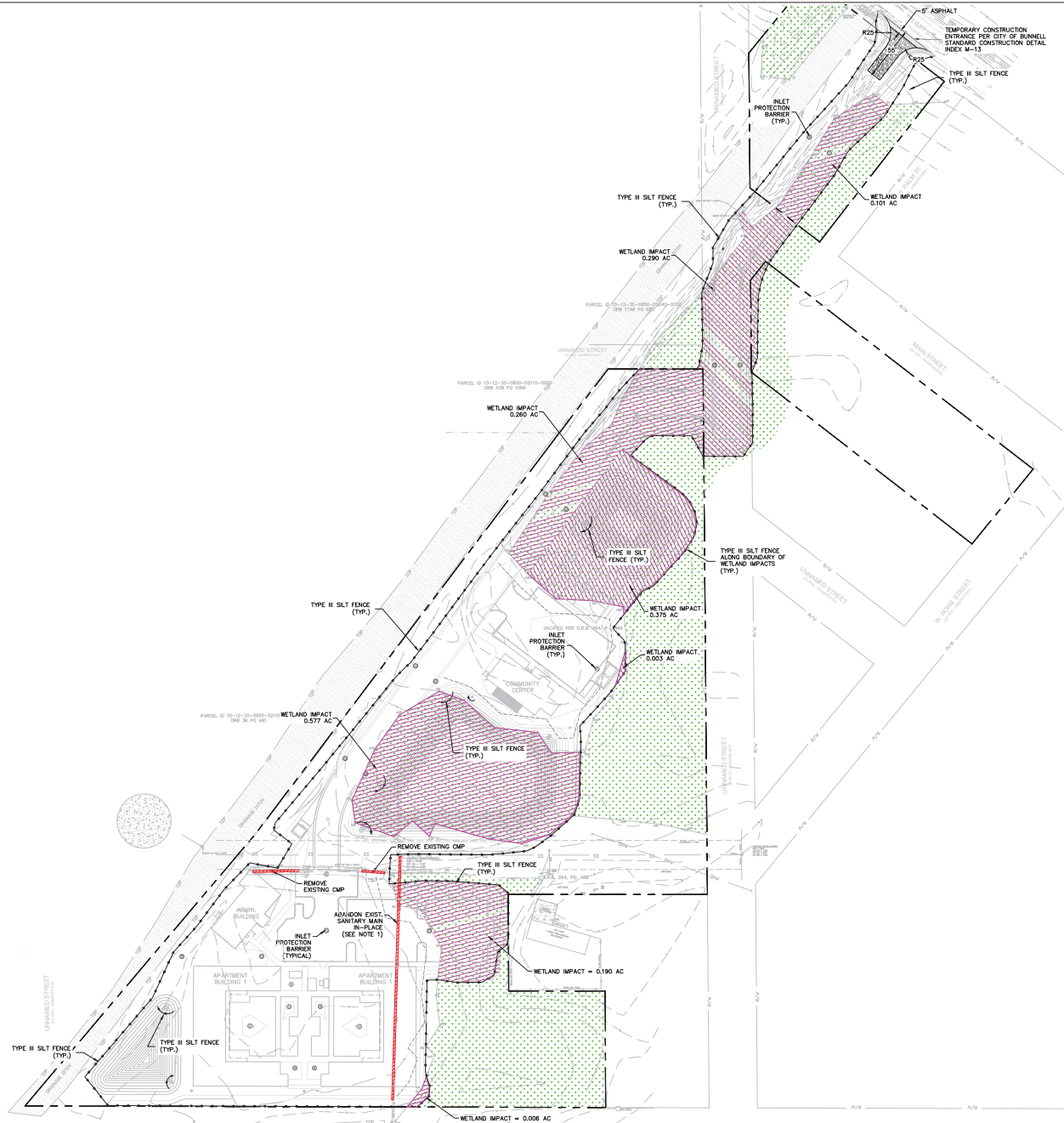
ALANN ENGINEERING
GROUP, INC.
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880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32111
TEL: (386) 673-7445
FAX: (386) 673-1937

PHOENIX CROSSINGS
BUNNELL, FL
PHASING PLAN - SOUTH

NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DESCR	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WES	1941-1	1" = 30'

NOT VALID UNLESS SIGNED AND SEALED
REGISTERED PROFESSIONAL ENGINEER



- LEGEND**
- WETLANDS
 - PROPOSED WETLAND IMPACTS ≈ 1.802 ACRES
 - SILT FENCE/LIMITS OF DISTURBANCE

NOTE:
 1. SANITARY MAIN TO BE ABANDONED IN-PLACE SHALL BE FILLED WITH FLOWABLE FILL. FLOWABLE FILL SHALL BE SELF-LEVELING, NON-SHRINK AND HAVE A MINIMUM OF 75 PSI UNCONFINED COMPRESSIVE STRENGTH AT 56 DAYS WITH A MINIMUM WET DENSITY OF 90 LBS. PER CUBIC FT.

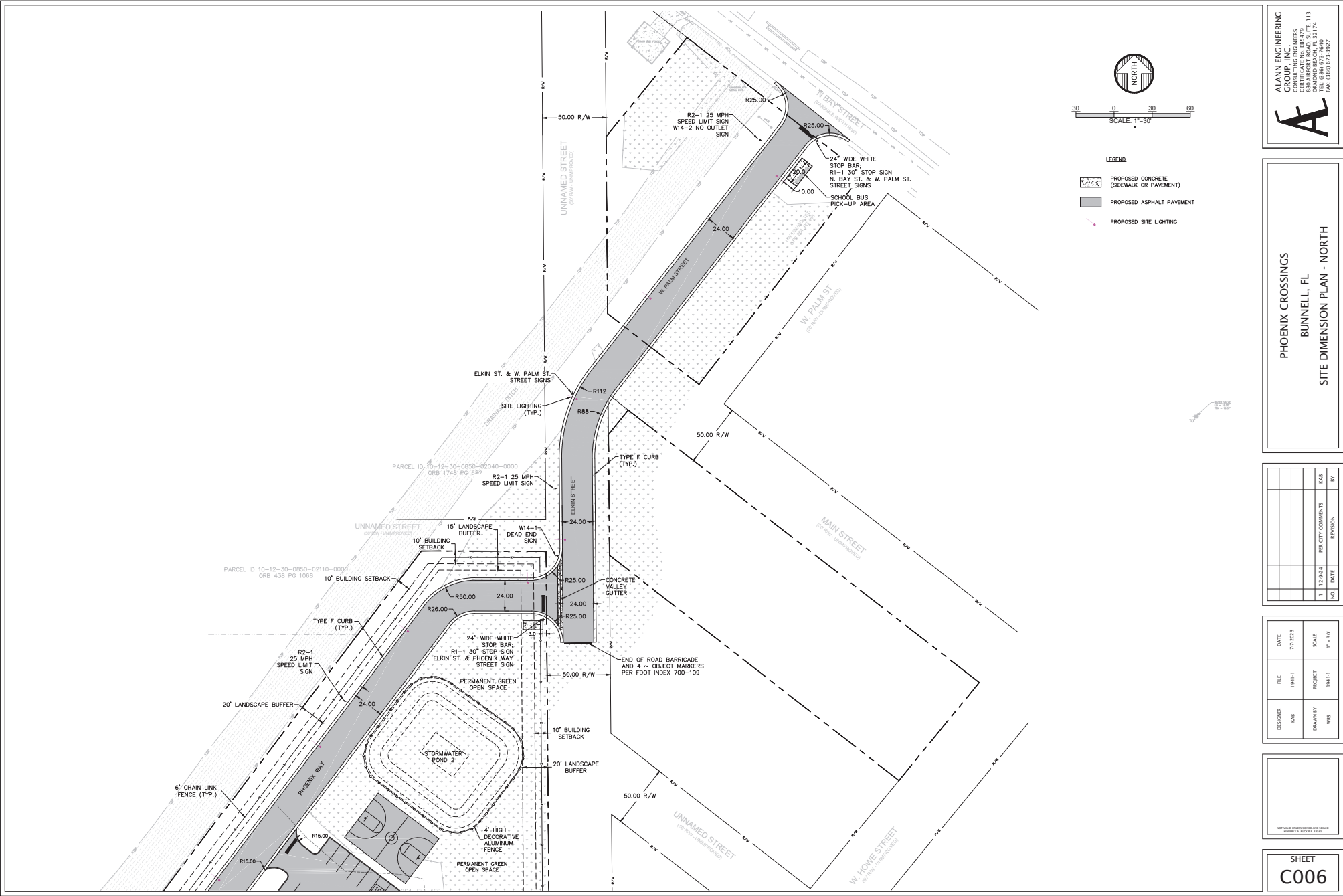
ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 880 AIRPORT ROAD, SUITE 113
 BUNNELL, IL 61812
 TEL: (386) 673-7446
 FAX: (386) 673-1937

**PHOENIX CROSSINGS
 BUNNELL, FL
 DEMOLITION & EROSION CONTROL PLAN**

NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WEL	1941-1	1" = 50'

NOT VALID WITHOUT RECORD AND REVISION APPROVAL BY ALANN ENGINEERING GROUP, INC.



ALANN ENGINEERING
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CONSULTING ENGINEERS
880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32111
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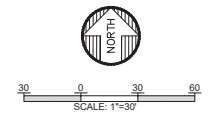
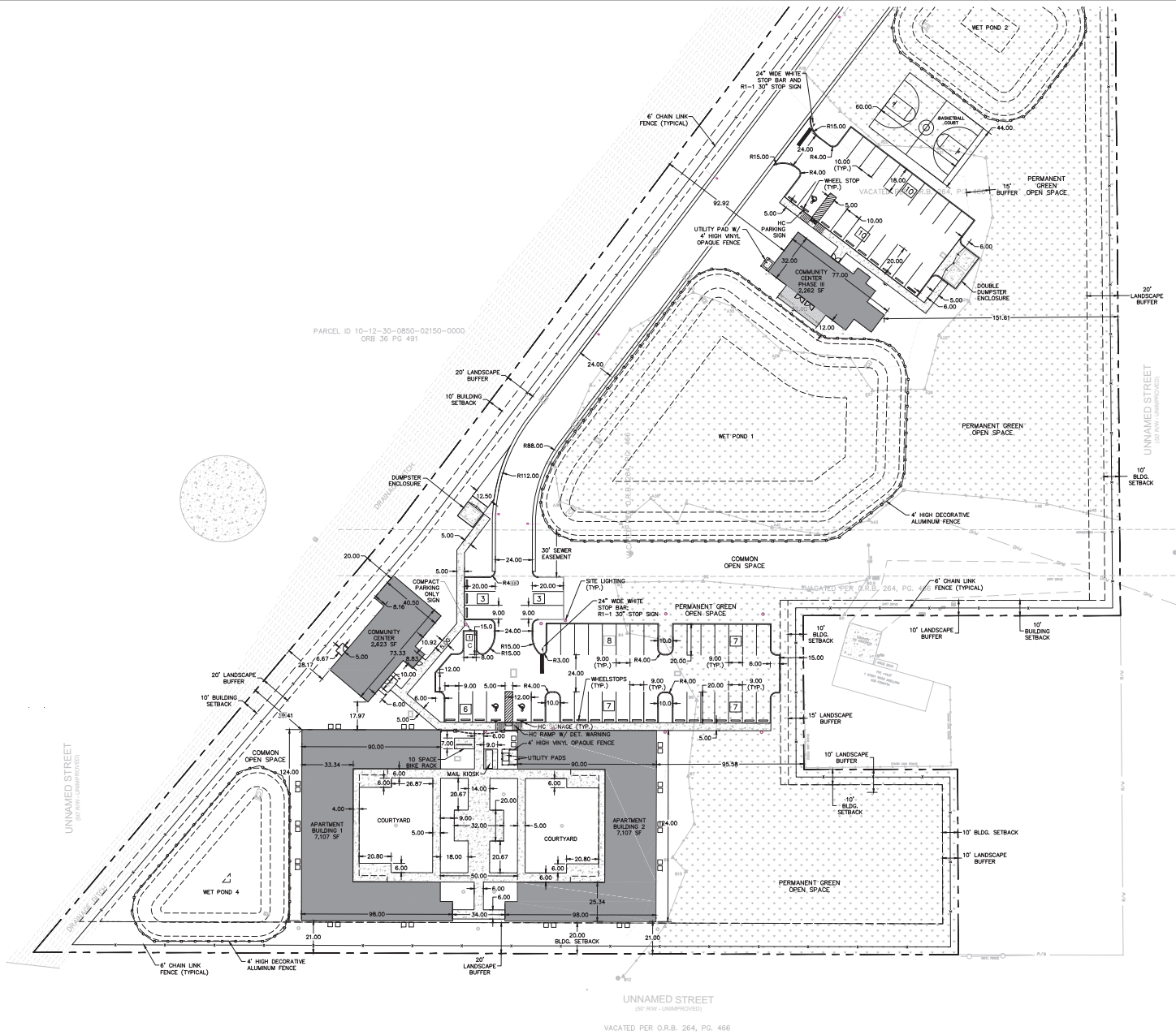
PHOENIX CROSSINGS
BUNNELL, FL
SITE DIMENSION PLAN - NORTH

NO.	DATE	PER CITY COMMENTS	KAB	BY
1	12-02-24			

DESCRIB	FILE	DATE	SCALE
KAB	1941-1	7-7-2023	1" = 30'
DRAWN BY	PROJECT		
WEL	1941-1		

NOT VALID WITHOUT RECORD MAP REVIEW
REVIEWED BY: ALANN ENGINEERING

SHEET
C006



- LEGEND
- PROPOSED CONCRETE (SIDEWALK OR PAVEMENT)
 - PROPOSED ASPHALT PAVEMENT
 - CONCRETE PAVERS
 - PROPOSED SITE LIGHTING
 - COMPACT PARKING SPACE

ALLAN ENGINEERING GROUP, INC.
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880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32114
TEL: (386) 673-7446
FAX: (386) 673-1937

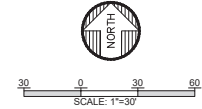
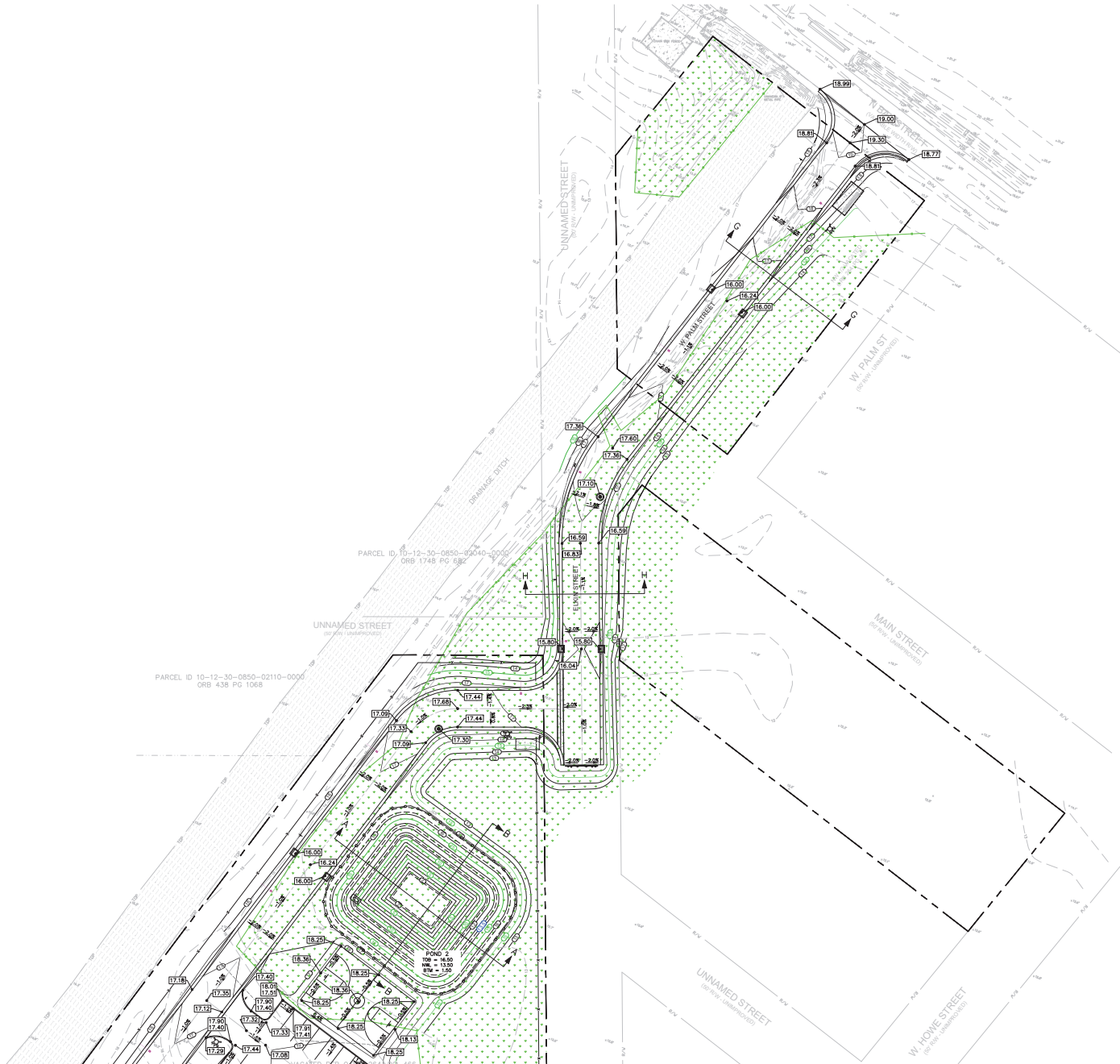
PHOENIX CROSSINGS
BUNNELL, FL
SITE DIMENSION PLAN - SOUTH

NO.	DATE	REVISION	BY
1	12-12-24	PER CITY COMMENTS	KAB

DESCR	FILE	DATE	SCALE
KAB	1941-1	7-7-2023	1" = 30'
DRAWN BY	PROJECT		
WKS	1941-1		

NOT A VALID ENGINEERING DESIGN UNLESS SIGNED AND SEALED BY A LICENSED ENGINEER

SHEET
C007



ALANN ENGINEERING
GROUP, INC.
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880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32111
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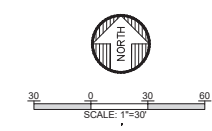
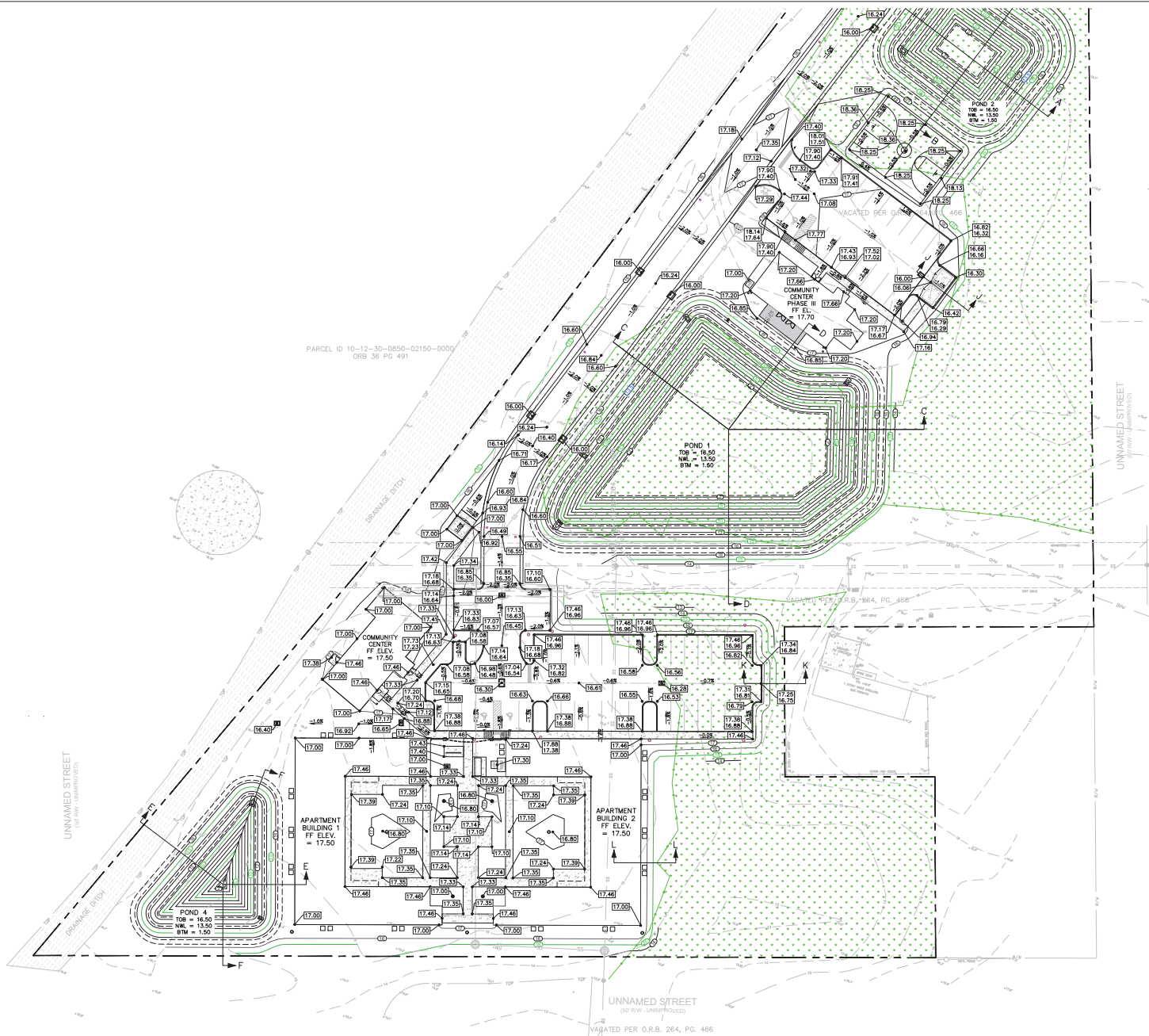
PHOENIX CROSSINGS
BUNNELL, FL
GRADING PLAN - NORTH

NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DESCR	FILE	DATE
SAB	1941.1	7-7-2023
DRAWN BY	PROJECT	SCALE
WEL	1941.1	1" = 30'

NOT VALID WITHOUT RECORDS FROM ORIGINAL
DRAWING & REVISIONS

SHEET
C008



LEGEND

PROPOSED CONCRETE (SIDEWALK OR PAVEMENT)

NOTE:
REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON LANDSCAPE EARTH FORMS.

ALLAN ENGINEERING GROUP, INC.
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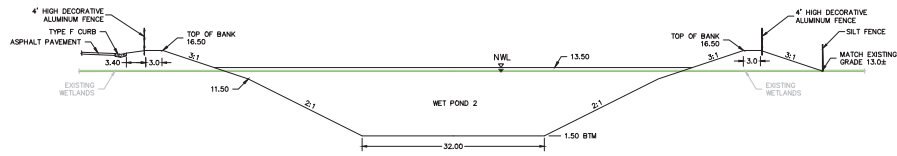
PHOENIX CROSSINGS
BUNNELL, FL
GRADING PLAN - SOUTH

NO.	DATE	REVISION	BY
1	12-22-24	PER CITY COMMENTS	KAB

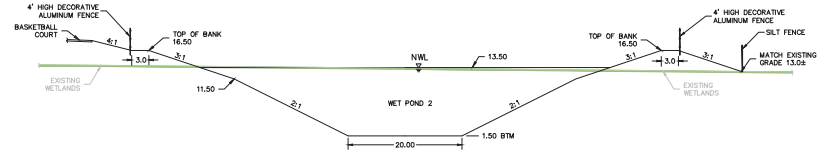
DESCR	DATE	FILE	SCALE
SAB	1941-1	1941-1	1" = 30'
DRAWN BY	PROJECT	DATE	SCALE
WES	1941-1	1941-1	1" = 30'

NOT A VALID ENGINEERING DESIGN UNLESS SIGNED AND SEALED BY A LICENSED ENGINEER

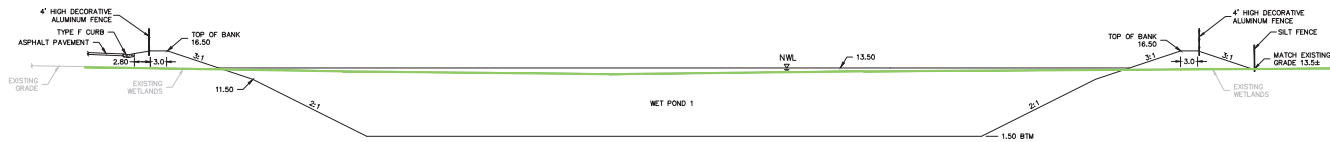
SHEET
C009



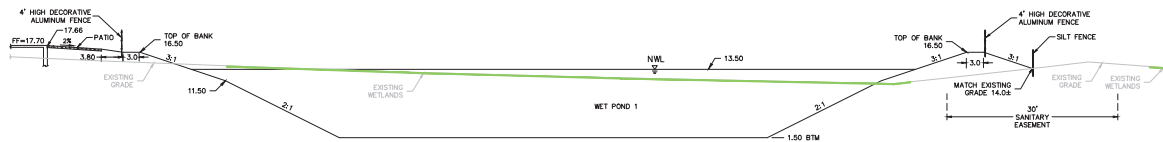
SECTION A-A
(N.T.S.)



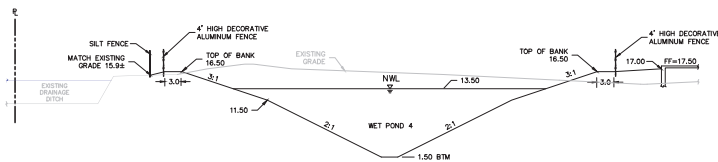
SECTION B-B
(N.T.S.)



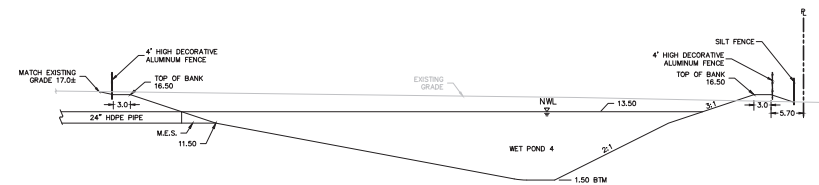
SECTION C-C
(N.T.S.)



SECTION D-D
(N.T.S.)



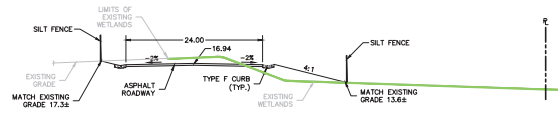
SECTION E-E
(N.T.S.)



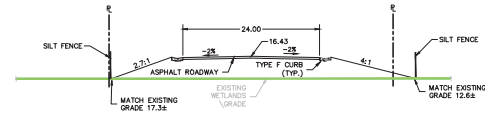
SECTION F-F
(N.T.S.)

NO.	DATE	REVISION	KAB	BY
1	12-02-24	PER CITY COMMENTS	KAB	BY

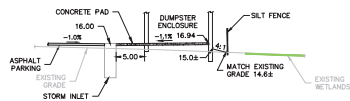
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7-7-2023	1" = 30'
FILE	PROJECT
1941-1	1941-13
DESIGNER	DRAWN BY
KAB	WEL



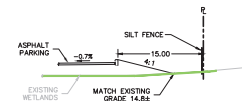
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(N.T.S.)



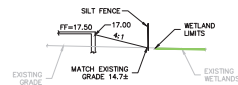
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SECTION J-J
(N.T.S.)



SECTION K-K
(N.T.S.)



SECTION K-K
(N.T.S.)

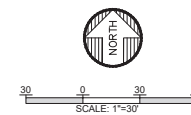
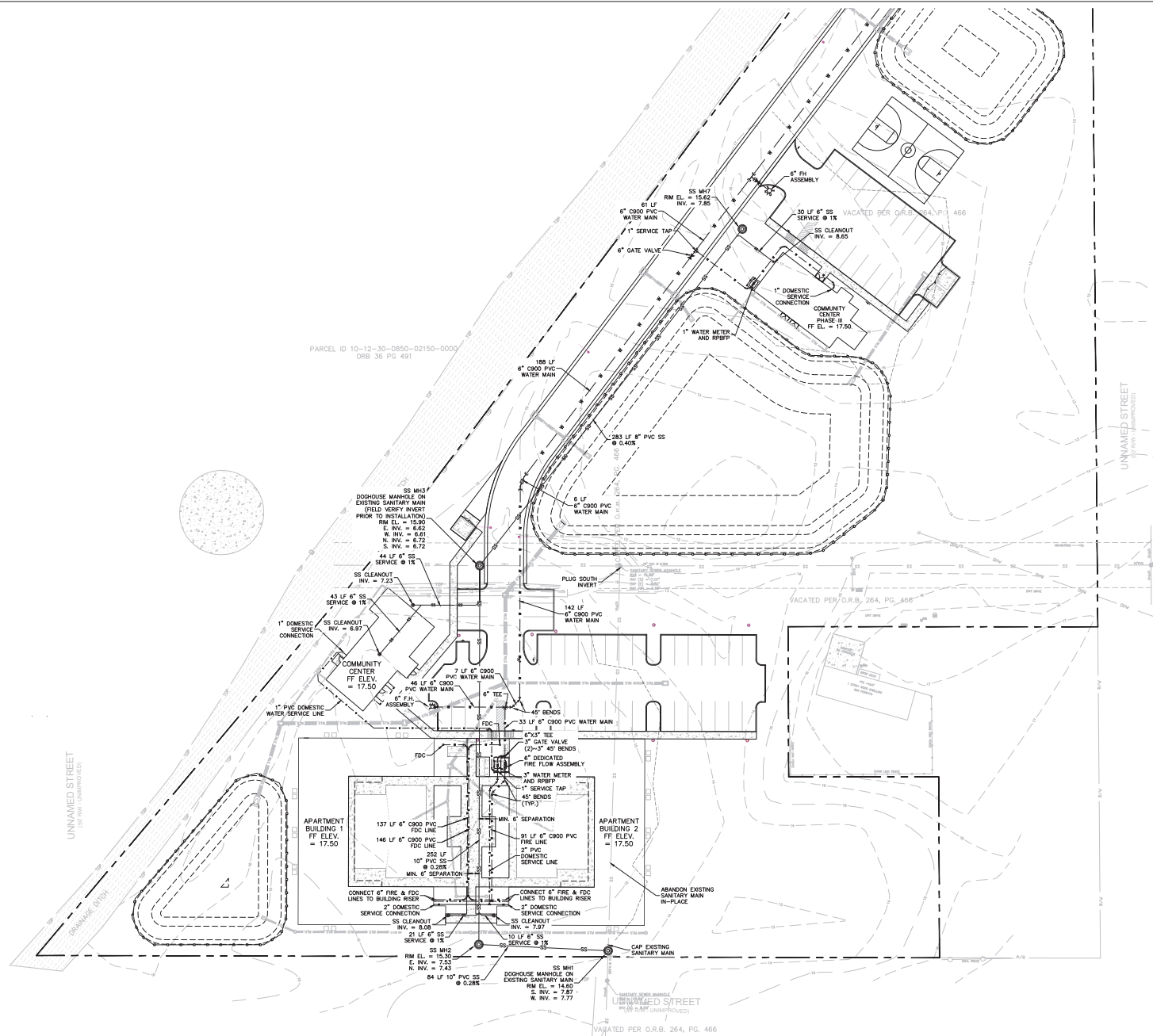
ALANN ENGINEERING
GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32111
TEL: (386) 673-7445
FAX: (386) 673-1927

PHOENIX CROSSINGS
BUNNELL, FL
GRADING SECTIONS

NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DESCR	DATE	SCALE
KAB	7-7-2023	1" = 30'
DRAWN BY	PROJECT	
WEL	194-13	

SHEET
C009B



ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 880 AIRPORT ROAD, SUITE 113
 BUNNELL, FL 32114
 TEL: (386) 673-7445
 FAX: (386) 673-1937

PHOENIX CROSSINGS
 BUNNELL, FL
 UTILITY PLAN - SOUTH

NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DESCRIB	FILE	DATE
SAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WES	1941-1	1" = 30'

NOT VALID FOR CONSTRUCTION
 WITHOUT A REVISION TO THE PLAN

ROADWAY CONSTRUCTION NOTES

- ALL RIGHT OF WAY OTHER THAN ROADWAY AREAS SHALL BE SEEDED AND MULCHED OR SOODED. THE CITY RESERVES THE RIGHT TO REQUIRE SOODING AT ITS DISCRETION.
- THE FOLLOWING WILL BE THE STANDARD PROTECTION FOR DITCHES UNLESS DRAINAGE CALCULATIONS INDICATE OTHERWISE:

SWALE PROFILE GRADES	PROTECTION REQUIRED
0.2% - 1.0%	SEEDING AND MULCHING
1.0% - 4.0%	SOODING
4.0% AND GREATER	DITCH PAVING
- ALL FANSHIRE UTILITY CROSSINGS INCLUDING 801 R/O LUMBER TO PPL, BELLSOUTH AND CABLE SHALL BE INSTALLED PRIOR TO INSTALLATION AND COMPACTION OF THE ROAD SUB BASE. ANY CROSSINGS AFTER INSTALLATION OF THE SUB BASE SHALL BE BY DIRECTIONAL BORE.
- IF OPEN CUTTING A ROADWAY IS APPROVED BY THE CITY, THE ROAD SHALL BE MILLED AND RESURFACED 25' ON EACH SIDE OF THE REPAIR.
- THE LIMITS OF STABILIZED SUB BASE SHALL EXTEND TO A DEPTH OF TWELVE INCHES (12") BELOW THE BOTTOM OF THE BASE AND OUTWARD TO TWELVE INCHES (12") BEYOND THE CURB.
- THE STABILIZING MATERIAL, IF REQUIRED, SHOULD BE A HIGH BEARING VALUE SOIL, SAND-CLAY, LIMEROCK, RECYCLED CONCRETE, SHELLO OR OTHER MATERIAL AS APPROVED BY THE CITY AND A LICENSED SOILS ENGINEER.
- THE SUB BASE SHALL BE STABILIZED NOT LESS THAN FORTY (40) LIMEROCK BEARING RATIO (BR) PERCENT DENSITY BASED ON AASHTO T-180 SHALL BE REQUIRED.
- TESTS FOR SUB BASE BEARING CAPACITY AND COMPACTION SHALL BE DONE AT A MINIMUM OF EVERY 300 FEET AND SHALL BE STAGGERED TO THE LEFT, RIGHT AND AT CENTER LINE OF THE ROAD.
- BASES FOR ALL STREETS SHALL HAVE A MINIMUM SIX INCH (6") DEPTH. PRIMING AND SANDING SHALL BE REQUIRED AS SOON AS BEARING CAPACITY AND COMPACTION HAS BEEN ACHIEVED.
- RECYCLED CONCRETE OR LIMEROCK BASES SHALL BE COMPACTED TO (98%) MAXIMUM DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.
- MATERIAL DELIVERY TICKETS SHALL BE PROVIDED TO THE CITY AT THE TIME OF PLACEMENT.
- TESTING OF THE IN-PLACE BASE SHALL BE DONE AT INTERVALS EQUIVALENT TO SUB BASE TESTING AND SHALL CONSIST OF, AS A MINIMUM, MOISTURE CONTENT AND COMPACTION TEST.



STANDARD CONSTRUCTION DETAIL
ROADWAY CONSTRUCTION NOTES

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- DESIGN MIXES SHALL BE SUBMITTED TO THE CITY FOR THEIR APPROVAL NO LESS THAN THREE (3) WORKING DAYS PRIOR TO ANY ROADWAY CONSTRUCTION.
- ASPHALT SPECIFICATIONS SHALL BE SUBMITTED BY THE DESIGN ENGINEER WITH FINAL PLANS TO THE CITY. FLORIDA STATE CERTIFIED BATCH PLANTS MUST THEN CERTIFY THAT THESE APPROVED SPECIFICATIONS HAVE BEEN MET.
- EXTRACTION AND GRADATION TESTS ON ASPHALT MIXES SHALL BE PROVIDED TO THE CITY TO INSURE THAT DESIGN MIXES MEET THE CITY STANDARD SPECIFICATIONS.
- THE ROADWAY LUMBER SHALL HAVE A STANDARD LINE QUARTER INCH (1/4") PER FOOT (28) SLOPE.
- ALL ROADWAYS WITH CURB AND GUTTER SECTIONS SHALL HAVE AS A STANDARD A MINIMUM LONGITUDINAL SLOPE OF 0.30%.
- THE FINISHED PAVEMENT EDGE SHALL BE WITHIN ONE QUARTER INCH (1/4") OF THE ADJACENT CONCRETE CURB.
- IF PROVIDED, CONCRETE CURBS IN NEW SUBDIVISIONS (ON BOTH SIDES OF ALL STREETS) TO BE CONSTRUCTED WITH 3000 PSI CONCRETE AT 28 DAYS.
- CONCRETE CURBS SHALL BE SAW CUT TO A 1/4" DEPTH EQUAL TO 1/4 OF CURB THICKNESS AT INTERVALS OF TEN FEET (10') WITH EXPANSION JOINTS AT STREET INTERSECTIONS, STRUCTURES AND ALONG CURVES AT SIXTY FEET (60') INTERVALS. ALL EXPANSION JOINT MATERIAL IS REQUIRED TO BE INSTALLED THROUGH THE ENTIRE DEPTH OF THE CONCRETE CURB.
- A "V" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF WATER DISTRIBUTION SYSTEM VALVE.
- AN "R" SHALL BE CUT INTO THE CURB TO MARK THE LOCATION OF ALL VALVES OTHER THAN WATER DISTRIBUTION VALVES.
- AN "S" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL SEWER SERVICES.
- A "L" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL RECLAIMED WATER SERVICES.
- A "W" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL WATER SERVICES.



STANDARD CONSTRUCTION DETAIL
ROADWAY CONSTRUCTION NOTES

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March 2022

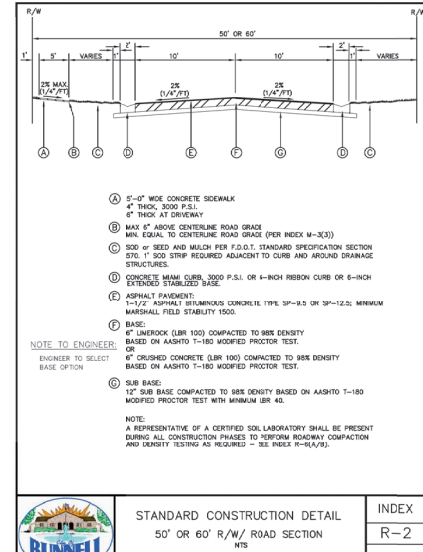
- TYPE CDS CONCRETE LUMBER SHALL BE IMPROVED AND TESTED FOR EVERY THREE HUNDRED (300) FEET OF ROADWAY CONSTRUCTED. TEST RESULTS SHALL THEN BE PROVIDED TO THE CITY AS THEY BECOME AVAILABLE.
- THE DEVELOPER SHALL PROVIDE ALL REQUIRED PAVEMENT MARKINGS ON ALL ROADWAYS PER CITY, COUNTY AND STATE REQUIREMENTS. CENTERLINE STRIPES SHALL BE PROVIDED ON EXTENSIONS OF CITY COLLECTOR OR ARTERIAL ROADS, COUNTY ROADS AND STATE HIGHWAYS ONLY.
- STOP BARS WITHIN STATE, COUNTY, OR CITY RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND MEET REQUIREMENTS SET FORTH IN THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION CURRENT EDITION, WITH THE EXCEPTION THAT TRAFFIC PAINT MAY BE UTILIZED ON CITY RIGHT-OF-WAY.
- ALL TRAFFIC CONTROL DEVICES PLACED AT INTERSECTIONS, PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS AND STATE HIGHWAYS WITHIN THE CITY LIMITS SHALL BE INSTALLED ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR ALL STREET LIGHTS PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CITY.
- STANDARD TURNING RADI FOR INTERSECTIONS:

2-LANE ACCESS OR FEEDER	30'
LOCAL TO COLLECTOR	30'
LOCAL OR COLLECTOR TO ARTERIAL	40'
ARTERIAL TO ARTERIAL	60'
- CITY INSPECTOR SHALL BE PRESENT DURING PAVING OF ALL PUBLIC AND PRIVATE ROADS.
- CONSTRUCTION METHODS AND DESIGN FOR CONCRETE PAVEMENT SHALL CONFORM TO FOOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION OF PUBLIC IMPROVEMENTS (SEWER MAIN, SANITARY SEWER MAIN, RECLAIMED WATER MAIN, STORM WATER PIPES AND INLETS AND ALSO CONSTRUCTION OF ROADWAYS) SHALL BE CERTIFIED WITH THE FLORIDA STATE DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATIONS (DBPR) FOR THE TYPE OF WORK THAT THEY PERFORM. A COPY OF THE VALID LICENSE IS REQUIRED AT THE CITY CONSTRUCTION MEETING.
- UTILITY BERTS (REFERENCED TO FINISHED GRADE):
 - HIGH VOLTAGE UTILITIES SUCH AS POWER (FEEDER, SERVICE AND DROPS) SHALL BE BURIED A MINIMUM OF 30 INCHES IN DEPTH.
 - LOW VOLTAGE UTILITIES SUCH AS PHONE AND CABLE TV SHALL BE BURIED A MINIMUM OF 18 INCHES IN DEPTH FOR FEEDER AND SERVICES. SERVICE DROPS SHALL BE BURIED A MINIMUM OF 18 INCHES IN DEPTH.
 - HIGH VOLTAGE UTILITIES INSTALLED PARALLEL TO PRESSURE MAINS SHALL MAINTAIN A MINIMUM FIVE FOOT SEPARATION.
- GEOTECHNICAL TESTING REPORTS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER SHALL BE SUBMITTED TO THE CITY PRIOR TO FINAL SIGN OFF. REPORTS SHALL CLEARLY LABEL PROJECT NAME AND PHASE.



STANDARD CONSTRUCTION DETAIL
ROADWAY CONSTRUCTION NOTES

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NOTE TO ENGINEER:
ENGINEER TO SELECT
BASE OPTION

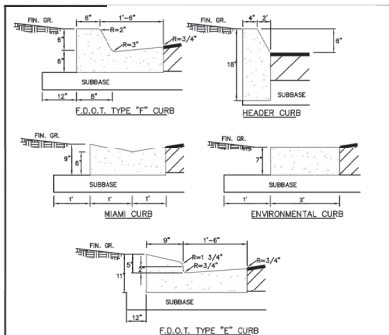
- 5'-0" WIDE CONCRETE SIDEWALK
- 4" THICK, 3000 P.S.I. 6" THICK AT DRIVEWAYS
- MAX 6" ABOVE CENTERLINE ROAD GRADE MIN. EQUAL TO CENTERLINE ROAD GRADE (PER INDEX M-303)
- 500 SF OF SEED AND MULCH PER F.O.D.T. STANDARD SPECIFICATION SECTION 570.1. 500 STOPS REQUIRED ADJACENT TO CURB AND AROUND DRAINAGE STRUCTURES.
- CONCRETE MAIN CURB, 3000 P.S.I. OR 4-INCH REINFORC CURB OR 6-INCH EXTENDED STABILIZED BASE.
- ASPHALT PAVEMENT:
 - 1-1/2" ASPHALT BEARING RATIO CONCRETE TYPE SP-9.5 OR SP-12.5 MINIMUM MARSHALL FIELD STABILITY 1500.
- BASE:
 - 4" LIMEROCK (BR 100) COMPACTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.
 - OR 6" CRUSHED CONCRETE (BR 100) COMPACTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.
- SUB BASE:
 - 12" SUB BASE COMPACTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST WITH MINIMUM BR 40.

NOTE:
A REPRESENTATIVE OF A CERTIFIED SOIL LABORATORY SHALL BE PRESENT DURING ALL CONSTRUCTION PHASES TO PERFORM ROADWAY COMPACTION AND DENSITY TESTING AS REQUIRED - SEE INDEX T-16 (REV)



STANDARD CONSTRUCTION DETAIL
50' OR 60' R/W/ ROAD SECTION
NTS

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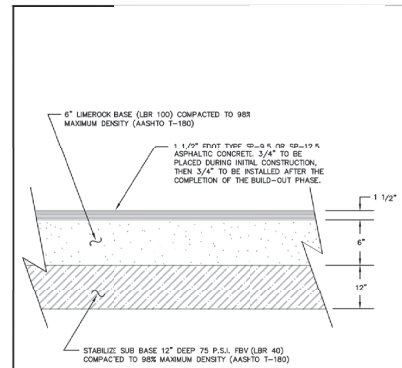


- NOTES:
- ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 2500 P.S.I. CONCRETE.
 - 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 500', CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4" MINIMUM).
 - 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED AT EACH SIDE OF ALL STORM INLET STRUCTURES AND AT ALL RADIUS POINTS.
 - 12" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY WITH MINIMUM L.B.R. 40 BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.
 - EXPANSION JOINT MATERIAL MUST COVER THE ENTIRE CROSS SECTION OF CURB.
 - ALL EXPOSED CORNERS TO BE ROUNDED AT 3/4" MIN. RADII.



STANDARD CONSTRUCTION DETAIL
STANDARD CURB CONSTRUCTION
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STANDARD CONSTRUCTION DETAIL
STANDARD PAVING DETAIL
NTS

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ROADWAY COMPACTION AND DENSITY TESTING REQUIREMENTS

ITEM	TEST	FREQUENCY	STANDARD	TEST METHOD
ROADWAY SUBBASE (NOTIFY OF SUBBASE DOW 1 FOOT)	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (ASTM D-1557 OR AASHTO T-99)	ASTM D-2937 (D-2922) D-1558
STABILIZED SUBBASE	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (ASTM D-1557 OR AASHTO T-99)	ASTM D-2937 (D-2922) D-1558
STABILIZED SUBBASE	IN-PLACE DENSITY	ONE (1) TEST/200 LF	FW = 75	ASTM D-2937 (D-2922) D-1558
STABILIZED SUBBASE	UNIFORMITY (BR)	ONE (1) TEST/200 LF	BR = 40	ASTM D-2937 (D-2922) D-1558
LIMEROCK BASE	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (ASTM D-1557 OR AASHTO T-99)	ASTM D-2937 (D-2922) D-1558
LIMEROCK BASE	UNIFORMITY (BR)	PROVIDE CERTIFICATE FROM PLAN	BR 100	FW D-515
CRUSHED CONCRETE BASE	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (ASTM D-1557 OR AASHTO T-99)	ASTM D-2937 (D-2922) D-1558
CONCRETE BASE	UNIFORMITY (BR)	1/4" MIN. CORNER RADIUS AT ALL RADIUS POINTS	BR 100	
ASPHALT	EXTRACTION AND GRADATION	(2) PER DAY FOR MAX	PER MAX DESIGN	D-1558
ASPHALT	MOISTURE AND DENSITY	(1) PER 300 LF ROADWAY	PER MAX DESIGN AND MAX SPEED	COMING ON MAXIMUM DENSITY ONLY
SOIL OPTIMUM MOISTURE/DENSITY	PROCTOR TEST	(1) PER 500 LF OR BASE TYPE	ASTM D-1557 (MODIFIED) FOR D-2937 (STANDARD) AASHTO T-99 (MODIFIED) AASHTO T-99 (STANDARD)	ASTM D-2937 (D-2922) D-1558
CURB SUBBASE	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (ASTM D-1557 OR AASHTO T-99)	
EXTEND SUBBASE (CURB)	UNIFORMITY (BR)	(2) TEST/200 LF	BR 40	



STANDARD CONSTRUCTION DETAIL
TECHNICAL SPECIFICATIONS FOR TESTING REQUIREMENTS

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March 2022

PIPED UTILITY INSTALLATION REQUIREMENTS

ITEM	TEST	FREQUENCY	STANDARD	TEST METHOD
PIPE TRENCH SUBBASE (IF SPECIFIED)	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR	ASTM D-2937 (D-2922) D-1558
PIPED BACKFILL IN PAVED AREAS & ANY OTHER CONDITION NOT SPECIFICALLY MENTIONED	IN-PLACE DENSITY	ONE (1) TEST/200 LF PER ONE (1) FOOT VERTICAL LIFT OF FILL	SEE MODIFIED PROCTOR	ASTM D-2937 (D-2922) D-1558
PIPED BACKFILL IN GREEN AREAS	IN-PLACE DENSITY	ONE (1) TEST/200 LF PER ONE (1) FOOT VERTICAL LIFT OF FILL	SEE MODIFIED PROCTOR	ASTM D-2937 (D-2922) D-1558
SOIL OPTIMUM MOISTURE/DENSITY	PROCTOR TEST	ONE (1) PER SOIL OR BASE TYPE	ASTM D-2937 (MODIFIED) FOR D-2937 (STANDARD) AASHTO T-99 (MODIFIED) AASHTO T-99 (STANDARD)	ASTM D-2937 (D-2922) D-1558



STANDARD CONSTRUCTION DETAIL
TECHNICAL SPECIFICATIONS FOR TESTING REQUIREMENTS

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ALLAN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32114
TEL (386) 673-7546
FAX (386) 673-1927

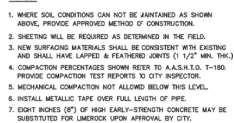
PHOENIX CROSSINGS
BUNNELL, FL
ROADWAY DETAILS

NO.	DATE	BY
1	12-02-24	KAB
2		
3		
4		
5		

DATE	SCALE	N.T.S.
7-7-2023		
FILE	PROJECT	DATE
1941-1	1941-1	1941-1
DESCRIB	DRAWN BY	WBS
KAB		

SHEET
C015

5. FERTILIZER MAY, AT THE DISCRETION OF THE ENGINEER/ARCHITECT, UPON THE PRESENTATION BY THE MANUFACTURE OF SATISFACTORY FACTORY EVIDENCE OF ITS FEASIBILITY, BE APPLIED IN LIQUID FORM.



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33. STORM LINE SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF.
34. NET DETENTION POND SHALL BE EIGHT (8) FEET MINIMUM TO TWELVE (12) FEET MAXIMUM DEPTH BELOW THE DESIGN LOW WATER STAGE.
35. MAXIMUM DISTANCES BETWEEN INLETS AND/OR JUNCTION BOXES:

PIPES SIZE (INCHES)	LENGTH OF RUN (FEET)
18 OR LESS	50
24 OR GREATER	100
36. ALL SWALES OUTFLOWS, AND DRY RETENTION POND "NO" SWALES, SHALL BE DEEPER THAN SIX (6) INCHES AND SHALL BE SLOPED.
37. ALL RETENTION POND BACKSLOPES SHALL BE NO STEEPER THAN 3:1 (H:V) AND SHALL BE SLOPED.
38. NORMAL ROADSIDE SWALES SHALL BE CONSTRUCTED TO A MAXIMUM DEPTH OF 18" BELOW THE OUTSIDE EDGE OF PAVEMENT OR CONCRET CURB.
39. CONCRETE BRUSH POND SHALL BE PROVIDED WHERE SWALES OR CULVERTS INTERRUPT DRAINAGE DITCHES.
40. A MINIMUM ONE FOOT (1") FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL PONTS AROUND NET DETENTION PONDS.
41. A MINIMUM OF TWELVE INCHES (12") FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL PONTS AROUND DRY RETENTION PONDS.
42. POND INFLOW SHALL GENERALLY BE CONSTRUCTED WITH REINFORCED CONCRETE SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.
43. OUTLET STRUCTURES ARE REQUIRED ON ALL PONDS. ALL OUTLET STRUCTURES SHALL BE PERMANENT CONCRETE OVERFLOW WEIRS OR FLOW CONTROL STRUCTURES. NON-PERMANENT OVERFLOW STRUCTURES SHALL BE ALLOWED.
44. SOIL EROSION CONTROL MEASURES SATISFACTORY TO THE CITY, SHALL BE REQUIRED DURING CONSTRUCTION AND UPON COMPLETION OF THE POND.
45. THE CITY MAY REQUEST THAT THE DEVELOPER SUBMIT A REPORT BY A QUALIFIED ENGINEER, REGISTERED PROFESSIONAL ENGINEER, FOR ALL NEIGHBORING WATER TABLE ELEVATIONS BOTH DURING CONSTRUCTION AND AFTER POND COMPLETION. THE CITY MAY REQUIRE GROUNDWATER MONITORING DURING THE EXCAVATION AND CONSTRUCTION.



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- 2.8. ADEQUATE MAINTENANCE ACCESS AS APPROVED BY THE CITY SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL PONDS AND CULVERTS. ALL FALLS OR DAMS SHALL BE MAINTAINED TO PREVENT OVERFLOW.
- 2.9. IN GENERAL, ALL RETENTION/DETENTION POUNDS MUST BE CONSTRUCTED PRIOR TO ANY ROAD, PARKING LOT, OR BUILDING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN PERMIT CONDITIONS DICTATE.
- 2.10. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY DRAINAGE PERMITS THAT MAY BE REQUIRED.
- 2.11. CULVERTS CROSSING RIGHT-OF-WAY SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE UNDER THE ROADWAY.
- 2.12. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO THE DESIGN FLOOD ELEVATION. ALL DRAINAGE STRUCTURES SHALL BE REQUIRED TO BE CHANNELLED INTO DRAINAGE PATHS TO THE NEAREST BOULEVARD OR HIGHWAY, ETC.
- 2.13. THE CITY REQUIRE THE DEVELOPER TO TELEVIEW ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
- 2.14. ALL STORM SEWER PIPE SYSTEMS SHALL BE TELEVIEWED IN THE PRESENCE OF THE CITY INSPECTOR AND COPIES OF THE VIDEO AND PHOTOGRAPHS SHALL BE SUBMITTED TO THE CITY INSPECTOR AND THE INSPECTOR AT LEAST 48 HOURS (48 HOURS) PRIOR TO REQUESTING FINAL INSPECTIONS. ANY DEFECTS NOTED SHALL BE CORRECTED TO THE SATISFACTION OF THE CITY.
- 2.15. ALL STORM SEWER PIPES, PRIOR TO ACCEPTANCE BY THE CITY, SHALL BE TELEVIEWED AND PHOTOGRAPHED. THE CITY INSPECTOR SHALL REVIEW THE VIDEO OF THIS WORK. THE VIDEO SHALL BE IN DIGITAL FORMAT WITH AN AUDIO TRACK. THE VIDEO SHALL BE CLEAR AND FOCUSED PICTURE WITH SUFFICIENT LIGHTING TO ALLOW A CLEAR AND FOCUSED PICTURE OF THE ENTIRE INSIDE PIPE CIRCUMFERENCE. THE VIDEO SHALL BE SUBMITTED TO THE CITY INSPECTOR AND THE INSPECTOR AT LEAST 48 HOURS PRIOR TO REQUESTING FINAL INSPECTIONS. ANY DEFECTS NOTED SHALL BE CORRECTED TO THE SATISFACTION OF THE CITY.
- 2.16. THE CITY REQUIRE THE DEVELOPER TO TELEVIEW ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
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- 2.21. THE CITY REQUIRE THE DEVELOPER TO TELEVIEW ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
- 2.22. THE CITY REQUIRE THE DEVELOPER TO TELEVIEW ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
- 2.23. THE CITY REQUIRE THE DEVELOPER TO TELEVIEW ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
- 2.24. THE CITY REQUIRE THE DEVELOPER TO TELEVIEW ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
- 2.25. THE CITY REQUIRE THE DEVELOPER TO TELEVIEW ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
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- GENERAL NOTES
WATER SYSTEM CONSTRUCTION
1. THE CITY'S PUBLIC UTILITIES DEPARTMENT SHALL BE NOTIFIED PRIOR TO BEGINNING ANY WATER SYSTEM CONSTRUCTION.
 2. DOWNSTREAM VALVES SHALL BE LOCATED AT WATER ELEVATION A MINIMUM OF 6 INCHES BELOW THE MAIN BEING LAID.
 3. ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL JOINTS, COUPLERS, MANHOLES, ETC., REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
 4. TRENCHES SHALL BE BACKFILLED WITH CLEAN GRANULAR MATERIAL IN MAX. 1' LIFTS WITH A MINIMUM COMPACTION OF 98 PERCENT (KAKKAD 1500 IN PAVEMENT AREAS) OR 95 PERCENT IN OTHER AREAS.
 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TAPES AND COMPACTOR TESTS BE PROVIDED AT POINTS 1 FOOT ABOVE THE PIPE AND AT 1 FOOT VERTICAL INTERVALS TO FINISH GRADE, AT A MINIMUM SPACING EVERY 500 FEET. PROVIDE COPIES OF TEST REPORTS PROMPTLY TO THE CITY UTILITIES DEPARTMENT.
 6. METALLIZED PIPE LOCATION TAPE SHALL BE LOCATED 15 INCHES BELOW FINISH GRADE OR 18 INCHES BELOW FINISH GRADE FOR ALL PVC LINES. MARKER TAPE SHALL BE USED ON ALL DUCTILE IRON PIPE.
 7. WATER SERVICES (SINGLE T" OR DOUBLE 2") SHALL BE POLYETHYLENE TUBING (BLUE IN COLOR); POLYETHYLENE SHALL NOT BE ALLOWED.
 8. WATER SERVICE EXPOSURE SHALL BE MARKED WITH 4" X 4" LUMBER OR 2" X 4" LUMBER. WATER SERVICE SHALL BE MARKED WITH WATER SERVICES SECURED 24" ABOVE THE GROUND. WIRE TIES SHALL BE USED TO SECURE THE CURB SIDING AT ALL SPOT POINTS.
 9. WATER VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACINGS OF 500 FEET.
 10. AT ALL WATER MAIN TEES AND CROSSES, VALVES SHALL BE INSTALLED ON ALL LESS EXCEPT _____.
 11. APPROXIMATE WATER VALVE TYPES ARE THE FOLLOWING:
 - ____ STANDARD GATE VALVES LESS THAN 48" DIAMETER
 - ____ RESILIENT SEAT GATE VALVES (AWWA C-509 OR C-515).
 - ____ B. TAPPING VALVES AND MECHANICAL TAPPING SLEEVE
 - ____ C. VALVE STOPCHOCKS



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- GENERAL NOTES
- WATER SYSTEM CONSTRUCTION
12. ALL WATER VALVE BOXES SHALL BE ADJUSTED TO FINISH GRADE AND THE LIDS PLANTED BLUE TO MATCH NEW PLANTING TO BE COMPLETED.
 13. WATER VALVES SHALL BE COMPLETELY OPENED BY THE CONTRACTOR UPON FINAL ACCEPTANCE OF NEW WATER SYSTEMS IN THE RESIDENTIAL SUBDIVISION.
 14. HYDRANTS SHALL BE PLACED AT MAXIMUM SPACINGS IN ACCORDANCE WITH NFPA (LATEST EDITION). SPECIAL EXCEPTIONS MAY BE ALLOWED BY FIRE AUTHORITY HAVING JURISDICTION. ALL WATER MAINS TO WHICH HYDRANTS ARE CONNECTED SHALL BE 8 INCHES MINIMUM.
 15. ALL FIRE HYDRANTS SHALL BE CONSTRUCTED TO MAKE THEM EASILY ACCESSIBLE TO FIRE PERSONNEL. IN CASE OF FIRE, THE MAIN NOZZLE COUPLER SHALL ALWAYS BE OPEN TO THE STREET AND BE 18" ABOVE GRADE.
 16. AS STANDARD PRACTICE, WATER MAINS SHALL BE INSTALLED 4 FEET FROM THE BACK OF CURB TO THE APPROXIMATE CENTERLINE.
 17. ALL WATER MAINS AND APPURTENANCES SHALL BE TEST-APPROVED FOR POTABLE WATER USE, AND SHALL HAVE A MINIMUM COVER OF 36 INCHES. SPECIAL CONCERN SHALL BE GIVEN TO THE APPROPRIATE TO PROVIDE ADEQUATE COVER. DUCTILE IRON CLASS 350 OR CONCRETE ENCASEMENT MAY BE USED AS APPROVED BY THE CITY.
 18. ALL PROPOSED WATER MAINS SHALL BE FLUSHED WITH A FULL PIPE (MINIMUM 100 FEET) AND TESTED TO 150 PSI TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE REGULATORY AGENCIES, AND THAT CERTIFIED AS-BUILT DRAWINGS ARE PROVIDED TO THE CITY PRIOR TO PAYING AND OBTAINING A FINAL CERTIFICATE OF COMPLETION. THREE (3) COPIES AS WELL AS A CD OF AUTOCAD DRAWINGS AND PDF FILES OF EACH INDIVIDUAL STREET SHALL BE SUBMITTED TO APPROVE VENDOR.
 19. WATER MAINS SHALL BE ANWWA C-800/C-905 C, 150, OR D.P.D. CLASS 350 STANDARD CEMENT LINED.
 20. UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE REGULATORY AGENCIES, AND THAT CERTIFIED AS-BUILT DRAWINGS ARE PROVIDED TO THE CITY PRIOR TO PAYING AND OBTAINING A FINAL CERTIFICATE OF COMPLETION. THREE (3) COPIES AS WELL AS A CD OF AUTOCAD DRAWINGS AND PDF FILES OF EACH INDIVIDUAL STREET SHALL BE SUBMITTED TO APPROVE VENDOR.
 21. MEDIALUG OR EQUIVALENT, RESTRAINED JOINT SYSTEM MAY BE USED ON ALL KEADREHAINED FITTINGS, VALVES, ETC. MINIMUM DEPTH OF BURIED PIPES NOT MEETING REQUIRED COVER REQUIREMENTS SHALL FOLLOW THE CITY SPECIFICATIONS.



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DESIGNER	FILE	DATE
EAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WWS	1941-1	N.T.S.

GENERAL NOTES

WATER SYSTEM CONSTRUCTION

22. WATER SYSTEMS SHALL BE PRESSURE TESTED AT 150 PSI STATIC PRESSURE FOR A PERIOD OF 2 HOURS PER AWWA STANDARDS. TESTS SHALL BE CONDUCTED BEFORE FINAL PAVING AND AFTER LIME ROCK BASE, AND IN THE PRESENCE OF THE CITY'S INSPECTOR. MAXIMUM PRESSURE LOSS SHALL BE 5 PSI ON THE GAUGE.

23. ALL WATER SERVICES SHALL BE MARKED WITH A "W" SAWCUT INTO THE CURB AND BY METAL TABS SET INTO THE PAVEMENT.

24. ALL WATER VALVES AND BLOW-OFFS SHALL BE MARKED WITH A "V" SAWCUT INTO THE CURB AND BY METAL TABS SET INTO THE PAVEMENT. LOCATION OF METAL TABS IN INCHES FROM EDGE OF PAVEMENT SHALL EQUAL DISTANCE IN FEET FROM EDGE OF PAVEMENT TO VALVE.

25. UNFLANGE 1300 SERIES PIPE RESTRAINTS AS MANUFACTURED BY FORD OR APPROVED EQUIVALENT. UNFLANGING SHALL BE REQUIRED BY RESTRAINT TABLE. PRESSURE PIPE EACH SIDE OF PIPE JOINT, AS REQUIRED BY RESTRAINT TABLE.

26. TRACING WIRE SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY PIPE LOCATION MATERIALS DETAIL.

27. NO GALVANIZED PIPE, FITTINGS, ETC. ARE ACCEPTED.

28. ALL WATER METER BOXES SHALL BE INSTALLED AT THE RIGHT OF WAY LINE ONLY REGARDLESS OF SIZE.

29. SUBMIT ASSEMBLY CERTIFICATION FOR ALL BACKFLOW PREVENTERS TO THE CITY'S UTILITIES DEPARTMENT BEFORE FINAL INSPECTION.

30. PIPING FOR RAW WATER SHALL BE BLUE FOR ABOVE GROUND PIPING, BURIED PVC PIPING SHALL BE BLUE WITH WHITE COLOR BACKGROUND LOCATOR TAPE PLACED DIRECTLY ON TOP OF THE PIPE AND AT 12" TO 18" ABOVE THE PIPE. THE TAPE SHALL CONTINUOUSLY READ "CAUTION - RAW WATER MAIN BURIED BELOW" OR WHITE WITH LOCATOR TAPE PLACED 12" TO 18" ABOVE THE TOP OF THE PIPE.

31. SEE CHART BELOW FOR WATERMAIN SIZE AND MATERIALS.

MATERIALS			
DIAMETER	MATERIAL	STANDARD	
2" - 4"	PVC 1120 / 800 SL	ASTM D 2241	
4" - 6"	PVC 1120 / 200 SL	ASTM D 2241	
6" - 12"	PVC 1120 / 200 SL	ASTM D 2241	
12" - 18"	PVC 1120 / 200 SL	ASTM D 2241	
18" - 24"	PVC 1120 / 200 SL	ASTM D 2241	
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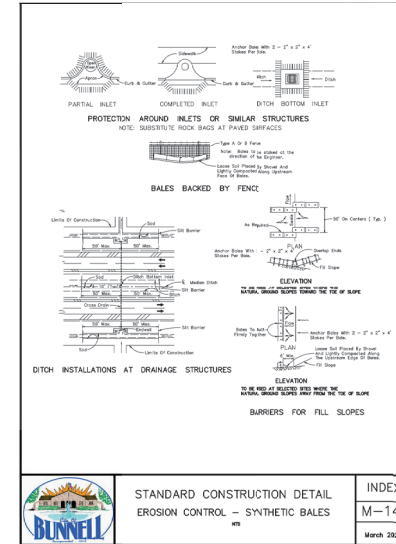
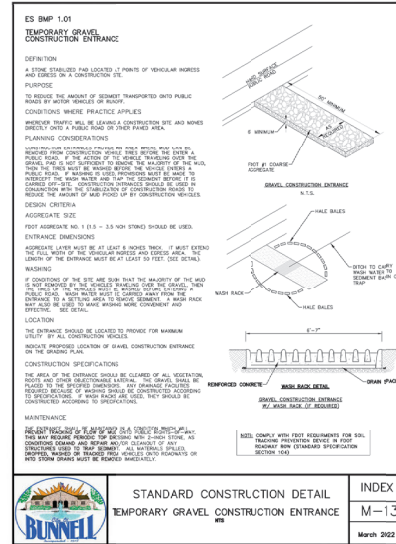
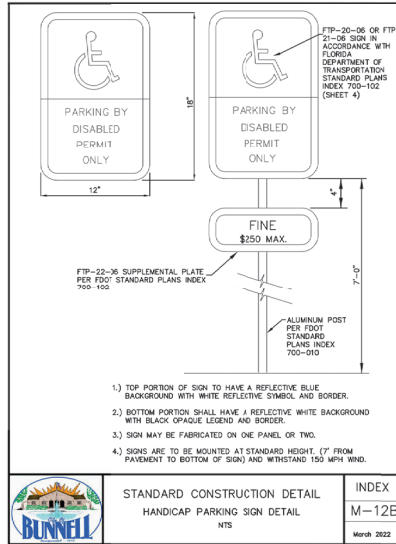
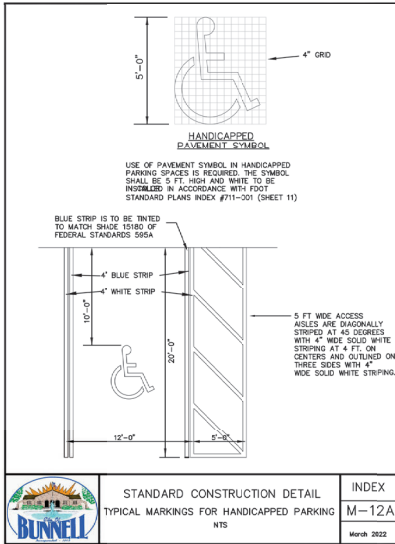


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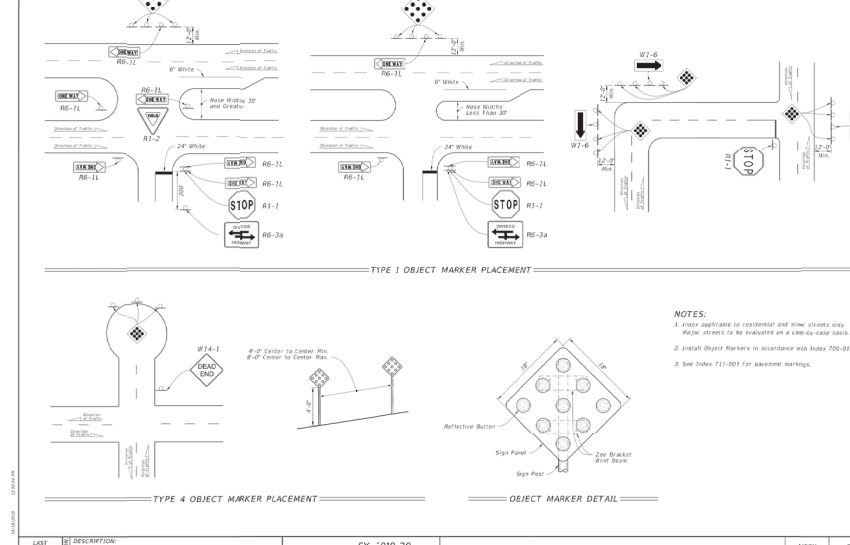
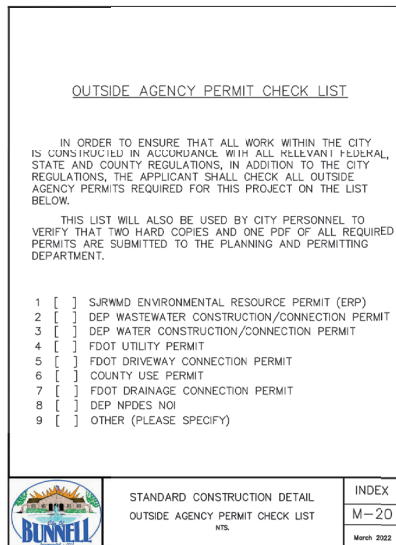
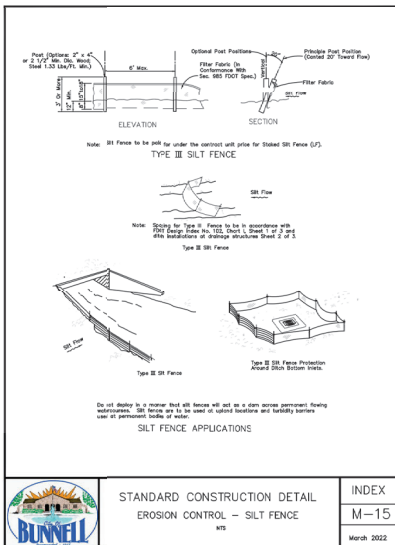
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ALLAN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32114
TEL: (386) 673-7446
FAX: (386) 673-1937

PHOENIX CROSSINGS
BUNNELL, FL
GENERAL DETAILS

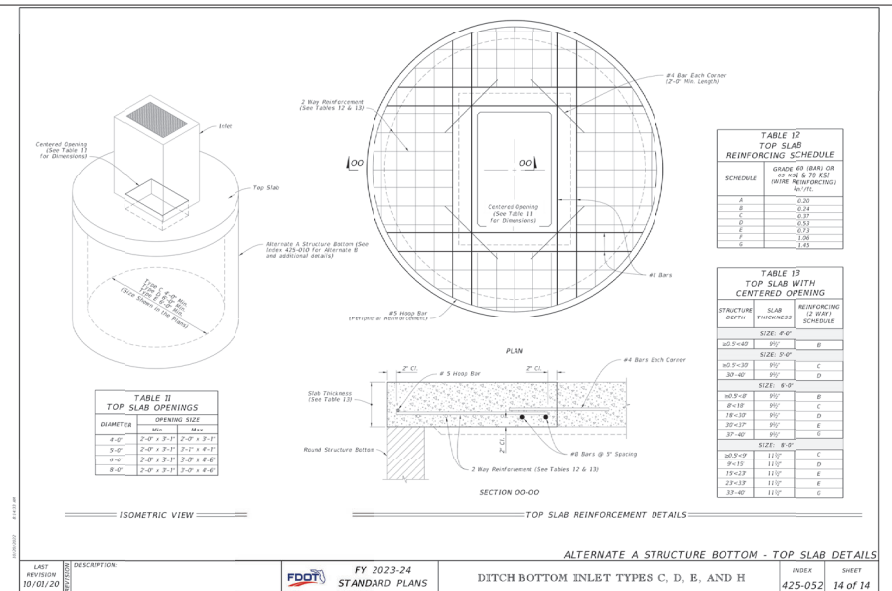
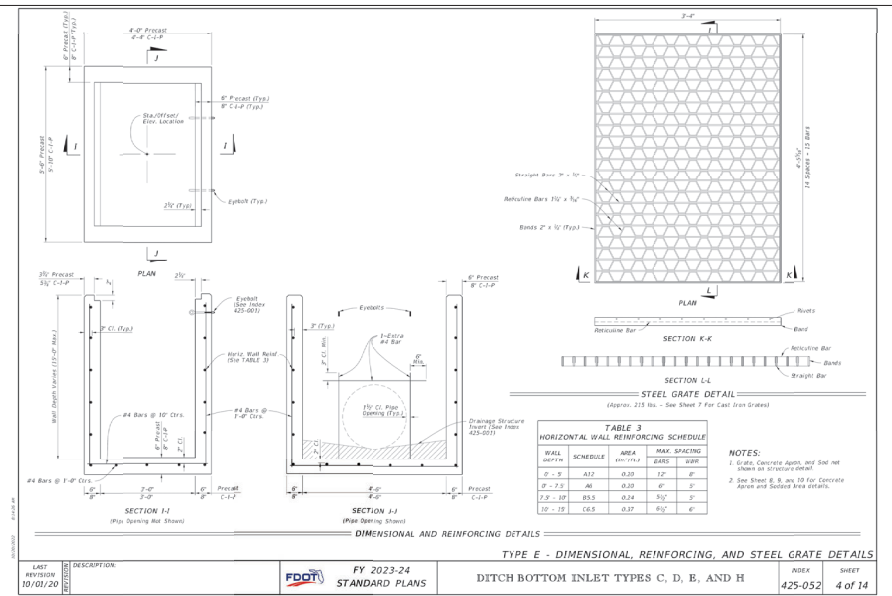
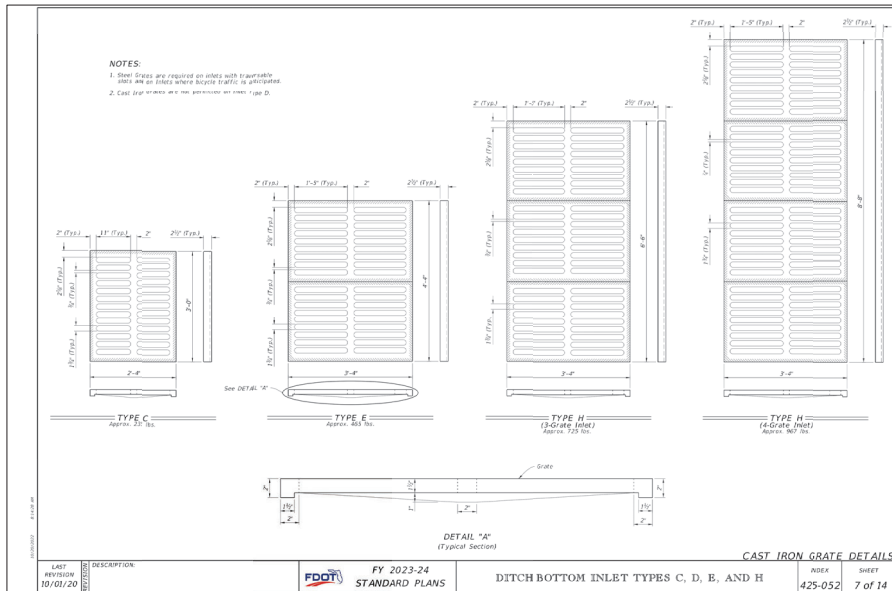
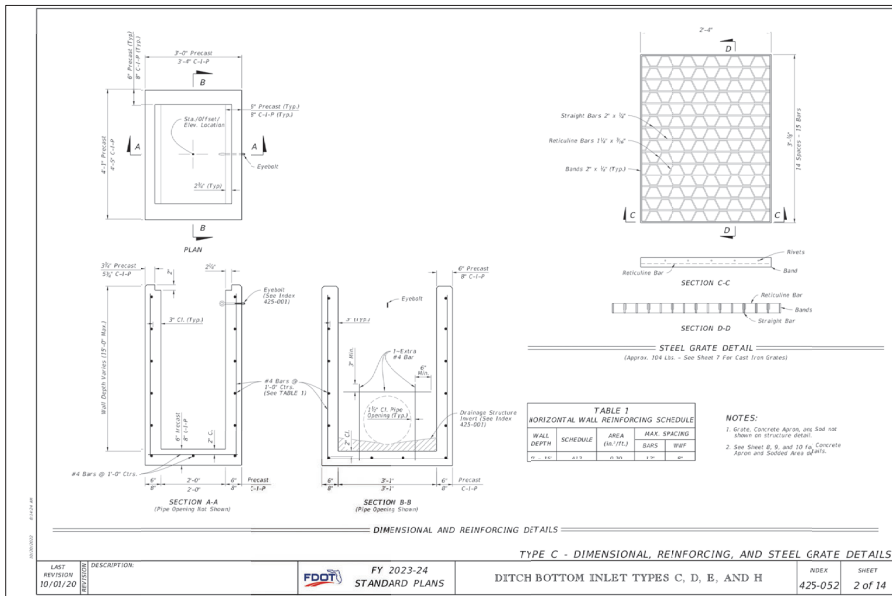


NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DATE	SCALE	N.T.S.
7-7-2023		
FILE	PROJECT	
1941-1	1941-1	
DESIGNER	DRAWN BY	
KAB	WES	

NOT VALID WITHOUT RECORD AND REVISIONS
REVISIONS A, B AND C, D AND E

SHEET
C021



- [illegible]

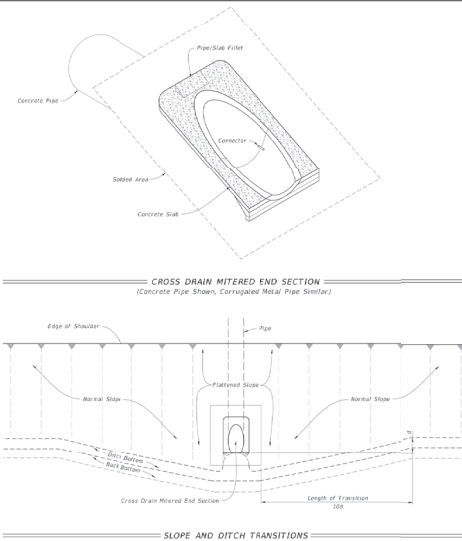
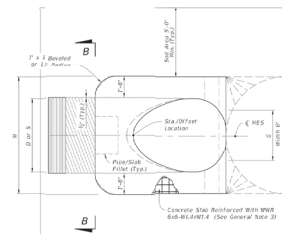
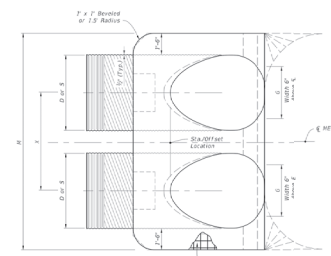


TABLE OF CONTENTS:	
Sheet	Description
1	General Notes and Contents
2	Single and Multiple Concrete Pipe
3	Concrete Pipe Dimensions and Quantities
4	Single and Multiple Corrugated Metal Pipe
5	Corrugated Metal Pipe Dimensions and Quantities
6	Concrete Pipe Connections and Corrugated Metal Pipe (CMP) Anchor Details

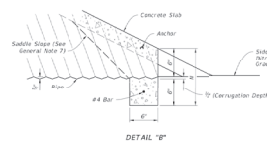
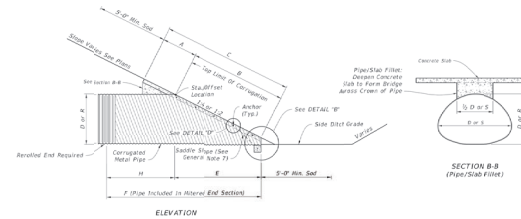
LAST REVISION 11/01/19	DESCRIPTION:	 FY 2023-24 STANDARD PLANS	CROSS DRAIN MITERED END SECTION	INDEX 430-021	SHEET 1 of 6
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PLAN - SINGLE PIP



PLAN MULTIPLE DICE



DETAIL "B"

NOTE: See Table 2 on Sheet 5 for Dimensions and Quantities

SINGLE AND MULTIPLE CORRUGATED METAL PIPE

LAST REVISION 11/01/19	DESCRIPTION:	FY 2023-24 STANDARD PLANS	CROSS DRAIN MITERED END SECTION	INDEX 430-021	SHEET 4 of 6
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TABLE 2
SINGLE AND MULTIPLE CORRUGATED METAL PIPE DIMENSIONS AND QUANTITIES

[illegible]

CORRUGATED METAL PIPE DIMENSIONS AND QUANTITIES

LAST REVISION 11/01/19	DESCRIPTION:	 FY 2023-24 STANDARD PLANS	CROSS DRAIN MITERED END SECTION	INDEX 430-021	SHEET 5 of 6
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**ALANN ENGINEERING
GROUP, INC.**
CONSULTING ENGINEERS
CERTIFICATE No. EB5479
3880 AIRPORT ROAD, SUITE. 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927

PHOENIX CROSSINGS
BUNNELL, FL
STORM DRAINAGE DETAILS

[illegible]

DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WRS	1941-1	N.T.S.

SHEET
C023

GENERAL NOTES:

1. Cross Slopes and Grades:

- Sidewalk, ramp, and landing slopes (i.e. 0.01, 0.05, and 1:12) shown in this index are minimums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.
- Landings must have cross-slopes less than or equal to 0.02 in any direction.
- Provide a single longitudinal slope along steep side of the curb ramp.
- Landings must be not required to exceed 15 feet in length.
- Joints permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Index 522-001. No joints are permitted within the ramp portion of the Curb Ramp.

2. Curb, Curb and Gutter, and/or Sidewalk:

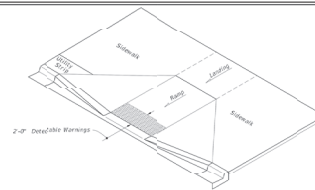
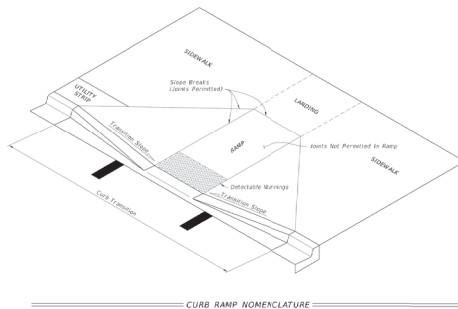
- Refer to Index 522-001 for concrete thickness and sidewalk details.
- Remove any existing curb, curb and gutter, or sidewalk to the nearest joint beyond the curb transition or to the extent that no remaining section is less than 5 feet long.
- Width of Curb Ramp is 4'-0" minimum. Match sidewalk or Shared the Path width at shown in the Plans.

3. Curb Ramp Alpha-Identification:

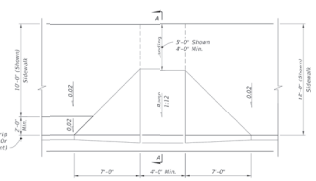
- Sidewalk curb ramp alpha-identifications (i.e. CR-A) are provided for reference purposes in the Plans.
- Alpha-identifications CR-1 and CR-2 are intentionally omitted.

4. Detectable Warnings:

- Install detectable warnings in accordance with Specification 527.
- Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 5 feet from the back of the curb or edge of pavement.
- If detectable warnings are shown in the Plans on slopes greater than 5%, align the truncated domes with the centerline of the ramp; otherwise, the truncated domes are not required to be aligned.

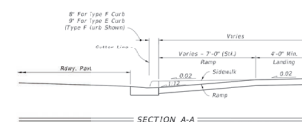


ISOMETRIC VIEW

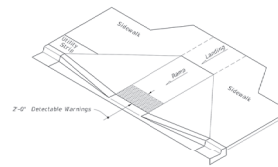


PLAN VIEW

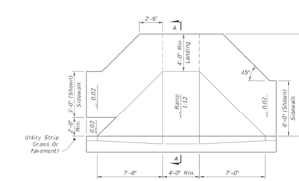
NOTE: For Examples of CR-A used in Roadway Curb Return, See Sheet E.



SECTION A-A



ISOMETRIC VIEW



PLAN VIEW

SIDEWALK CURB RAMPS CR-A AND CR-B

LAST
REVISION
11/01/20

DESCRIPTION

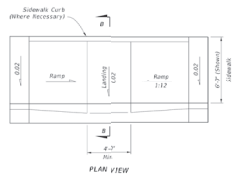
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FY 2023-24
STANDARD PLANS

DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS

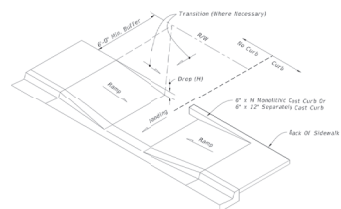
INDEX
522-002

SHEET
1 of 7

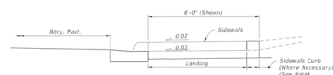


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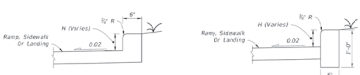
CR-C



CONSTRUCTION OF SIDEWALK CURB IN CUT SECTIONS



SECTION B-B



MINIMUM 1' RAMP

DESCRIPTIVE RAMP

SIDEWALK CURB OPTIONS

SIDEWALK CURB RAMPS CR-C AND SIDEWALK CURB

LAST
REVISION
11/01/20

DESCRIPTION

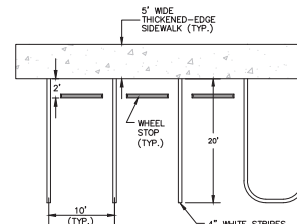
FDOT

FY 2023-24
STANDARD PLANS

DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS

INDEX
522-002

SHEET
3 of 7



STANDARD 20' SPACE

NOTES:

- WHERE PARKING SPACES ARE MARKED WITH LINES, WIDTH MEASUREMENTS OF PARKING SPACES SHALL BE MADE FROM THE CENTERLINE OF THE MARKINGS.
- WHERE PARKING SPACES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS ISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE.

STANDARD PARKING SPACE DETAILS

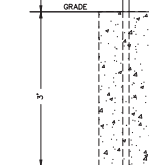
NOT TO SCALE



R1-1
STOP SIGN

NOTES:

- SIGN POST TO BE GALVANIZED 2" SQUARE WITH 7/16" HOLES OR KNOCKOUTS AT 1" O.C.
- POST TO BE EMBEDDED IN CONCRETE



STREET SIGN DETAIL

NTS

ALANN ENGINEERING
GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT ROAD, SUITE 113
BUNNELL, FL 32114
TEL: (386) 673-7946
FAX: (386) 673-1927

A

PHOENIX CROSSINGS
BUNNELL, FL
SITE DETAILS

NO.	DATE	REVISION	BY
1	12-02-24	PER CITY COMMENTS	KAB

DESCRIB	DATE	SCALE	N.T.S.
SAB	7-7-2023	1"=40'-1	
WKS	PROJECT	184-11	

SHEET
C024

LAST REVISED 11/01/21	DESCRIPTION:	FY 2023-24 STANDARD PLANS	TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY	INDEX 102-603	SHEET 1 of 2
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LAST REVISION 1/01/21		DESCRIPTION	 FY 2023-24 STANDARD PLANS	TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY	INDEX 102-603	SHEET 2 of 2
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LAST REVISION 11/01/21	DESCRIPTION	 FY 2023-24 STANDARD PLANS	TWO-LANE AND MULTILANE, WORK ON SHOULDER	INDEX 102-602	SHEET 1 of 2
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LAST REVISION 1/01/20	DESCRIPTION:	 FY 2023-24 STANDARD PLANS	TWO-LANE AND MULTILANE, WORK ON SHOULDER	INDEX 102-602	SHEET 2 of 2
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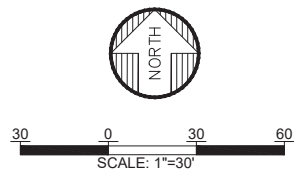
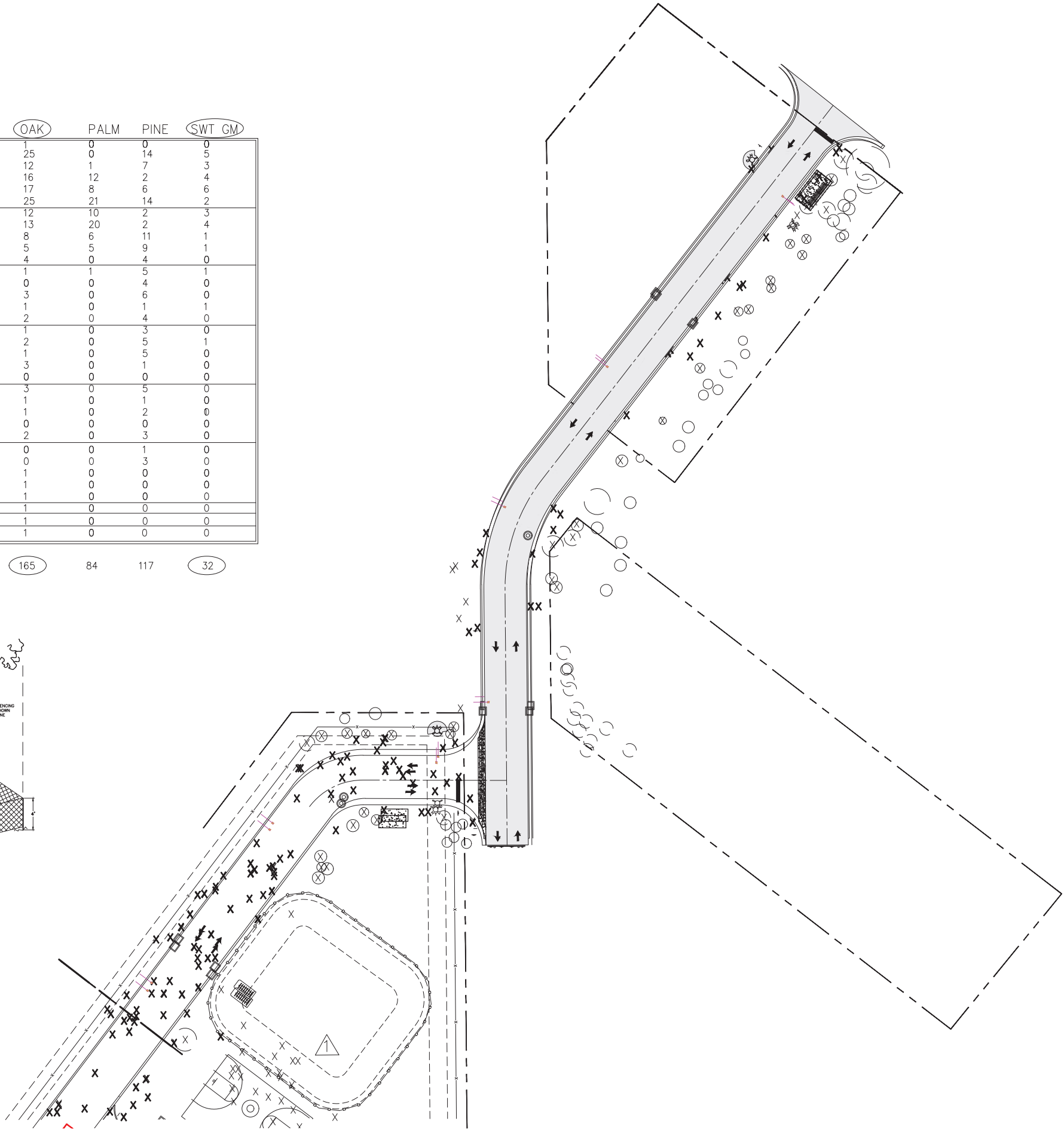
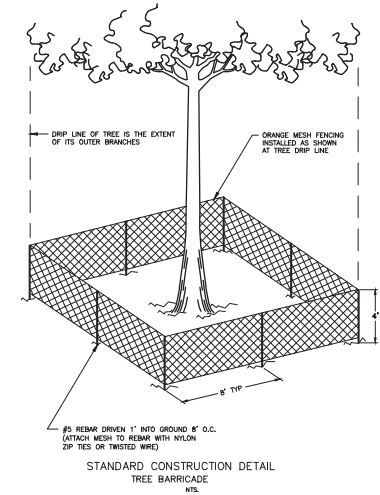
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DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WRS	1941-1	N.T.S.

1

TREE REMOVAL INDEX

	CYP	MAG	MAP	OAK	PALM	PINE	SWT GM
5"	0	0	0	1	0	0	0
6"	0	3	5	25	0	14	5
7"	0	0	1	12	1	7	3
8"	0	0	0	16	12	2	4
9"	0	0	2	17	8	6	6
10"	0	10	0	25	21	14	2
11"	1	0	0	12	10	2	3
12"	0	0	2	13	20	2	4
13"	2	0	0	8	6	11	1
14"	0	1	0	5	5	9	1
15"	0	0	0	4	0	4	0
16"	0	0	0	1	1	5	1
17"	0	0	0	0	0	4	0
18"	0	0	0	3	0	6	0
19"	0	0	0	1	0	1	1
20"	0	0	0	2	0	4	0
21"	1	0	0	1	0	3	0
22"	0	0	0	2	0	5	1
23"	0	0	0	1	0	5	0
24"	1	0	0	3	0	1	0
25"	0	0	0	0	0	0	0
26"	0	0	0	3	0	5	0
27"	0	0	0	1	0	1	0
28"	0	0	0	1	0	2	0
29"	0	0	0	0	0	0	0
30"	0	0	0	2	0	3	0
31"	0	0	0	0	0	1	0
32"	0	0	0	0	0	3	0
33"	0	0	0	1	0	0	0
34"	0	0	0	1	0	0	0
35"	0	0	0	1	0	0	0
38"	0	0	0	1	0	0	0
47"	0	0	0	1	0	0	0
72"	0	0	0	1	0	0	0
TOTAL # TREES REMOVED	5	14	10	165	84	117	32



- LEGEND:
- 8" CH TREE TO BE REMOVED
 - LIMITS OF CLEARING
 - SILT FENCE
 - LIMITS OF TREE PROTECTION AREA*
- TREE LEGEND
- PALM TREE
 - PINE TREE
 - CYPRESS TREE
 - MAGNOLIA TREE
 - SWEET GUM TREE
 - MAPLE TREER
 - OAK TREE

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
STATE OF FLORIDA
ORLANDO BEACH, FL 32174
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FAX: (386) 673-3927

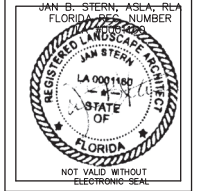
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PHOENIX CROSSINGS
BUNNELL, FL

TREE REMOVAL PLAN - NORTH

4	10/17/2024	REV PER TRC JULY 17 COMMENTS	JBS		
2	11/15/2023	REV SITE BASE PLAN	JBS		
1	07/13/2023	REV SITE BASE PLAN	JBS		
NO.	DATE	REVISION	BY		

DESIGNER	KAB	DRAWN BY	WRS
FILE	1941-1	PROJECT	1941-1
DATE	7-7-2023	SCALE	1" = 30'



THE STERN DESIGN GROUP, P.A.
LANDSCAPE ARCHITECTS LAND PLANNERS
1685 Promenade Circle, Port Orange, Florida 32129
(386) 788-3788 CELL (386) 290-6411
SternDesignGroup@att.net

1

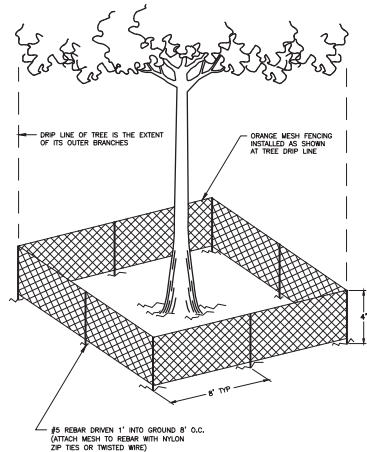
TREE REMOVAL INDEX

CYP MAG MAP OAK PALM PINE SWT GM

5"	0	0	0	1	0	0	0
6"	0	3	5	25	0	14	5
7"	0	0	1	12	1	7	3
8"	0	0	0	16	12	2	4
9"	0	0	2	17	8	6	6
10"	0	10	0	25	21	14	2
11"	1	0	0	12	10	2	3
12"	0	0	2	13	20	2	4
13"	2	0	0	8	6	11	1
14"	0	1	0	5	5	9	1
15"	0	0	0	4	0	4	0
16"	0	0	0	1	1	5	1
17"	0	0	0	0	0	4	0
18"	0	0	0	3	0	6	0
19"	0	0	0	1	0	1	1
20"	0	0	0	2	0	4	0
21"	1	0	0	1	0	3	0
22"	0	0	0	2	0	5	1
23"	0	0	0	1	0	5	0
24"	1	0	0	3	0	1	0
25"	0	0	0	0	0	0	0
26"	0	0	0	3	0	5	0
27"	0	0	0	1	0	1	0
28"	0	0	0	1	0	2	0
29"	0	0	0	0	0	0	0
30"	0	0	0	2	0	3	0
31"	0	0	0	0	0	1	0
32"	0	0	0	0	0	3	0
33"	0	0	0	1	0	0	0
34"	0	0	0	1	0	0	0
35"	0	0	0	1	0	0	0
38"	0	0	0	1	0	0	0
47"	0	0	0	1	0	0	0
72"	0	0	0	1	0	0	0

TOTAL
TREES
REMOVED

5	14	10	165	84	117	32
---	----	----	-----	----	-----	----



STANDARD CONSTRUCTION DETAIL
TREE BARRICADE
NYS



30 0 30 60
SCALE: 1"=30'

LEGEND:

- 8"CH TREE TO BE REMOVED
- LIMITS OF CLEARING
- SILT FENCE
- LIMITS OF TREE PROTECTION AREA*

TREE LEGEND:

- PALM TREE
- PINE TREE
- CYPRESS TREE
- MAGNOLIA TREE
- SWEET GUM TREE
- MAPLE TREER
- OAK TREE

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880 AIRPORT ROAD, SUITE 113
ORLANDO, FL 32816
TEL: (386) 673-3927
FAX: (386) 673-3927

A

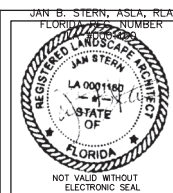
PHOENIX CROSSINGS

BUNNELL, FL

TREE REMOVAL PLAN - SOUTH

NO.	DATE	REVISION	BY
4	10/17/2024	REV PER TRC JULY 17 COMMENTS	JBS
2	11/15/2023	REV SITE BASE PLAN	JBS
1	07/12/2023	REV SITE BASE PLAN	JBS

DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WIS	1941-1	1" = 30'



THE STERN DESIGN GROUP, P.A.
LANDSCAPE ARCHITECTS LAND PLANNERS
1685 Promenade Circle, Port Orange, Florida 32129
(386) 788-3788 CELL (386) 290-6411
SternDesignGroup@att.net

SHEET
LA-2

4
PROPOSED TREES

KEY	QTY	BOTANICAL/COMMON NAMES	HT.	SPR.	REMARKS
IL	8	Ilex 'Nellie Stevens' Nellie Stevens Holly	8'	3'	Min 2 1/2" DBH Full to Ground
IW	14	Ilex vomitoria pendula Weeping Holly	8'	3'	Min 2 1/2" DBH Full
LI	3	Lagerstroemia indica Tuscarora Crepe Myrtle	8'	3'	Min 2 1/2" DBH One (1) Main-Trunk with Min Five (5) Branches
MG	17	Magnolia grandiflora 'D.D. Blanchard' D.D. Blanchard Southern Magnolia	8'-10'	3'-4'	Min 2 1/2" DBH Shape/Full
QV	36	Quercus virginiana Live Oak	8'-10'	3'-4'	Min 2 1/2" DBH Shape/Full
TD	14	Taxodium distichum Southern Bald Cypress	8'-10'	3'-4'	Min 2 1/2" DBH Shape/Full
UP	13	Ulmus parvifolia 'Emerit' Allee Elm	8'-10'	3'-4'	Min 2 1/2" DBH Shape/Full

PROPOSED SHRUBS AND GROUND COVERS

KEY	QTY	BOTANICAL/COMMON NAMES	HT.	SPR.	REMARKS
DIA	36	Dianella tasmanica Bleberry Flax Lilly	18"	12"	3 Gal Cont 30" O.C.
ILE	15	Ilex vomitoria 'Schellings' Yaupon Holly 'Schellings'	18"	12"	3 Gal Cont 30" O.C.
POD	39	Podocarpus macrophyllum Japanese Yew	3'	18"	7 Gal Cont FULL
THR	53	Galphimia gracilis Thryallis	24"	12"	3 Gal Cont 30" O.C.
VIB	565	Viburnum odoratissimum Sandankwa Viburnum	48" MINIMUM	24"	7 Gal Cont 36" O.C.

MINIMUM FIFTEEN-FOOT (15') WIDTH BUFFER
ONE (1) TREE / FIFTY (50) LF (2) REQUIRED
FORTY-EIGHT-INCH (48") HIGH DENSE PLANTINGS
PINE BARK NUGGETS (TYP)

10' BUILDING SETBACK

20' LANDSCAPE BUFFER

10' BUILDING SETBACK

20' LANDSCAPE BUFFER

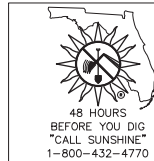
EXISTING TREES (TYP)
SEE SHEET LA-1 FOR
TREE SPECIE AND SIZE

NO LANDSCAPING SHALL BE INSTALLED
SEVEN AND ONE-HALF FEET (7.5') FROM
THE FRONT AND SIDES OF THE HYDRANTS
AND FOUR-FOOT (4') TO THE BACK.

LANDSCAPING, EXCEPT GRASS AND GROUND COVER, SHALL NOT
BE PLACED CLOSER THAN THREE-FOOT (3') FROM THE EDGE OF
ANY ACCESSWAY PAVEMENT. ALL LANDSCAPING WITHIN THE
TRIANGULAR TEN-FOOT (10') AREA SHALL PROVIDE A MAINTAINED
UNOBSTRUCTED CROSS-VISIBILITY AT A LEVEL BETWEEN TWO-FOOT
(2') AND TEN-FOOT (10') AND/OR LIMBED UP SO THAT THE CROSS-

EXISTING TREES (TYP)
SEE SHEET LA-1 FOR
TREE SPECIE AND SIZE

EXISTING TREES (TYP)
SEE SHEET LA-1 FOR
TREE SPECIE AND SIZE



GENERAL NOTES

ALL PLANT MATERIAL THAT IS INSTALLED MUST BE FLORIDA NO.1
GRADE OR BETTER ACCORDING TO THE CURRENT GRADES AND
STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA,
DEPARTMENT OF AGRICULTURE.

ANY VARIATIONS FROM THE APPROVED LANDSCAPE PLAN MUST BE
INITIALLY REVIEWED BY THIS LANDSCAPE ARCHITECT. UPON REVIEW
BY THIS OFFICE, THE CITY OF BUNNELL MUST APPROVE THE
PROPOSED REVISIONS TO THE LANDSCAPE PLAN. THE CITY MUST
BE SECURED PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH
THIS PROCEDURE MAY RESULT IN REQUIRED MITIGATION AND/OR
DELAY OF THIS PROJECT.

ALL FILL DIRT TO BE PLACED IN THE PROPOSED LANDSCAPE
AREAS AND BERMS, MUST HAVE A pH RANGE BETWEEN 5.5
AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS,
AND MATCH NATIVE EXISTING SOILS.

CURVILINEAR LANDSCAPE BEDS ARE TO BE EDGED WITH SMOOTH
FLOWING CURVES. STRAIGHT-LINE LANDSCAPE BEDS ARE TO BE
EDGED IN A STRAIGHT LINE AND MUST BE PARALLEL TO PARKING
LOTS, WALKWAYS, AND/OR STRUCTURES UNLESS INTENTIONALLY
DESIGNED TO MEANDER.

TREES SHALL BE PLANTED A MINIMUM OF FOUR-FOOT (4') FROM BACK
OF CURB OR SIDEWALK (TYP), AND SHALL BE INSTALLED ON THE PEAK
OF THE BERM ALONG WITH THE DENSE HEDGE PLANTINGS.

SEE ENGINEER'S PLAN FOR ALL EXISTING AND PROPOSED EASEMENTS,
COVENANTS, R.O.W., BUFFER DIMENSIONS, AND ALL SITE LAYOUT
DIMENSIONING.

ALL EXISTING SHRUBS, GROUND COVERS AND TREES NOT SHOWN
TO REMAIN ARE TO BE REMOVED ALONG WITH THEIR ROOT SYSTEM.

ALL UNDERBRUSH, STUMPS, AND DEAD BRANCHES ARE TO BE REMOVED
ON ALL EXISTING REMAINING TREES AND PALMS.

ST. AUGUSTINE SOLID SOD IS TO BE USED IN ALL OPEN SODDED IRRIGATED
AREAS AS SHOWN ON THIS PLAN AND THE LANDSCAPE IRRIGATION PLAN.
ALL OTHER OPEN SPACE AREAS, INCLUDING BUT NOT LIMITED TO ALL DISTURBED
AREAS, RETENTION AREAS, AREAS SUBJECT TO POSSIBLE EROSION, RIGHT-OF
WAYS (R.O.W.), ETC, SHALL ALSO BE SODDED WITH BAHIA 'ARGENTINE' SOLID SOD
OR SOLID BERMUDA SOD. ALSO, REFERENCE AND SEE CIVIL ENGINEERING DWGS
FOR SODDING LIMITATIONS OF SOD AT WET AND/OR DRY RETENTION AREAS,
AND THE EDGE OF PAVEMENTS AND R.O.W.

ALL IRRIGATION BACK-FLOW DEVICES WILL BE VUSUALLY SCREENED
WITH LANDSCAPING AND PAINTED BLACK AND/OR NILE GREEN.

AN AUTOMATIC IRRIGATION SYSTEM, WITH A RAIN SENSOR, WILL BE
INSTALLED TO IRRIGATE 100% OF THE TREE AND LANDSCAPE
PLANTING AREAS AS SHOWN BY THE LANDSCAPE IRRIGATION DWGS.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ANY PROPOSED
TREES TO BE PRESERVED. FENCE THE TREE GROUP(S) WITH A WOOD
BARRIER AS SHOWN BY THE DETAIL. TO BE LOCATED 1 1/2 TIMES THE TREES'
DRIP-LINE RADIUS(ES). NO VEHICLES OR MATERIALS SHALL BE PLACED
UNDER OR AROUND THESE TREES TO REMAIN.

ALL TREES NOT LOCATED WITHIN A MULCHED PLANTING BED SHALL HAVE A
MINIMUM FIVE-FOOT (5') MULCH RING INSTALLED AROUND THE TRUNK AREA.

A MINIMUM FIVE-FOOT (5') GRASS RING SHALL BE INSTALLED AROUND EACH CATCH
BASIN LOCATED WITHIN ANY LANDSCAPE AREA. THE CONTRACTOR IS TO BE SURE
THAT NO MULCH CAN FLOW INTO THESE BASINS.

ALL EXISTING HAROSCAPE SURFACES WHICH ARE SHOWN TO
THEIR LIMEROCK AND/OR COMPACTED BASES REMOVED DOWN TO THE NATIVE SOIL BASE.

ALL EXPOSED MECHANICAL AND UTILITY EQUIPMENT, SUCH AS A/C UNITS,
BACKFLOW PREVENTERS, UTILITY PADS, ETC SHALL BE SCREENED USING
A FOUR-FOOT (4') HIGH, SEVEN (7) GALLON VIBURNUM HEDGE.

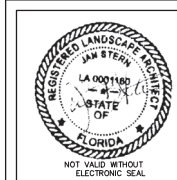
ALANN ENGINEERING
GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927

PHOENIX CROSSINGS
BUNNELL, FL

LANDSCAPE PLANTING PLAN - NORTH

NO.	DATE	REVISION	BY
4	10/17/2024	REV PER TRC JULY 17 COMMENTS	JIS
3	02/24/2024	REV SITE BASE PLAN PER COM	JIS
2	11/15/2023	REV SITE BASE PLAN	JIS
1	07/12/2023	REV SITE BASE PLAN	JIS

DESIGNER	FILE	DATE
KAB	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WRS	1941-1	



THE STERN DESIGN GROUP, P.A.

LANDSCAPE ARCHITECTS LAND PLANNERS
1685 Promenade Circle, Port Orange, Florida 32129
(386) 788-3788 CELL (386) 290-6411
SternDesignGroup@att.net

SHEET
LA-3

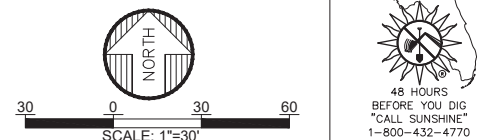
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PROPOSED TREES

KEY	QTY	BOTANICAL/COMMON NAMES	HT.	SPR.	REMARKS
IL	8	Ilex 'Nellie Stevens'	8'	3'	Min 2 1/2" DBH
IW	14	Ilex vomitoria pendula	8'	3'	Full to Ground
LI	3	Lagerstroemia indica	8'	3'	Min 2 1/2" DBH
MG	17	Magnolia grandiflora 'DD Blanchard'	8-10'	3'-4'	Min Five (5) Branches
QV	36	Quercus virginiana	8'-10'	3'-4'	Min 2 1/2" DBH
TD	14	Taxodium distichum	8'-10'	3'-4'	Shape/Full
UP	13	Ulmus parvifolia 'Emerit' Allee	8'-10'	3'-4'	Min 2 1/2" DBH
		Allee Elm			Shape/Full

PROPOSED SHRUBS AND GROUND COVERS

KEY	QTY	BOTANICAL/COMMON NAMES	HT.	SPR.	REMARKS
DIA	36	Dianella tasmanica	18"	12"	3 Gal Cont
ILE	15	Ilex vomitoria 'Schellings'	18"	12"	30" O.C.
POD	39	Podocarpus macrophyllum	3'	18"	3 Gal Cont
THR	53	Galphimia gracilis	24"	12"	30" O.C.
VB	565	Viburnum odoratissimum	48" MINIMUM	24"	7 Gal Cont
		Sandankwa Viburnum			36" O.C.



GENERAL NOTES

ALL PLANT MATERIAL THAT IS INSTALLED MUST BE FLORIDA NO.1 GRADE OR BETTER ACCORDING TO THE CURRENT GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.

ANY VARIATIONS FROM THE APPROVED LANDSCAPE PLAN MUST BE INITIALLY REVIEWED BY THIS LANDSCAPE ARCHITECT. UPON REVIEW BY THIS OFFICE, THE CITY OF BUNNELL MUST APPROVE THE PROPOSED REVISIONS TO THE LANDSCAPE PLAN. THE CITY MUST BE SECURED PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH THIS PROCEDURE MAY RESULT IN REQUIRED MITIGATION AND/OR DELAY OF THIS PROJECT.

ALL FILL DIRT TO BE PLACED IN THE PROPOSED LANDSCAPE AREAS AND BERMS, MUST HAVE A pH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, AND MATCH NATIVE EXISTING SOILS.

CURVILINEAR LANDSCAPE BEDS ARE TO BE EDGED WITH SMOOTH FLOWING CURVES. STRAIGHT-LINE LANDSCAPE BEDS ARE TO BE EDGED IN A STRAIGHT LINE AND MUST BE PARALLEL TO PARKING LOTS, WALKWAYS, AND/OR STRUCTURES UNLESS INTENTIONALLY DESIGNED TO MEANDER.

TREES SHALL BE PLANTED A MINIMUM OF FOUR-FEET (4') FROM BACK OF CURB OR SIDEWALK (TYP). AND SHALL BE INSTALLED ON THE PEAK OF THE BERM ALONG WITH THE DENSE HEDGE PLANTINGS.

SEE ENGINEER'S PLAN FOR ALL EXISTING AND PROPOSED EASEMENTS, COVENANTS, R.O.W., BUFFER DIMENSIONS, AND ALL SITE LAYOUT DIMENSIONING.

ALL EXISTING SHRUBS, GROUND COVERS AND TREES NOT SHOWN TO REMAIN ARE TO BE REMOVED ALONG WITH THEIR ROOT SYSTEM.

ALL UNDERBRUSH, STUMPS, AND DEAD BRANCHES ARE TO BE REMOVED ON ALL EXISTING REMAINING TREES AND PALMS.

ST. AUGUSTINE SOLID SOD IS TO BE USED IN ALL OPEN SODDED IRRIGATED AREAS AS SHOWN ON THIS PLAN AND THE LANDSCAPE IRRIGATION PLAN. ALL OTHER OPEN SPACE AREAS, INCLUDING BUT NOT LIMITED TO ALL DISTURBED AREAS, RETENTION AREAS, AREAS SUBJECT TO POSSIBLE EROSION, RIGHT-OF-WAYS (R.O.W.), ETC. SHALL ALSO BE SODDED WITH BAHIA 'ARGENTINE' SOLID SOD OR SOLID BERMUDA SOD. ALSO, REFERENCE AND SEE CIVIL ENGINEERING DWGS FOR SODDING LIMITATIONS OF SOD AT WET AND/OR DRY RETENTION AREAS, AND THE EDGE OF PAVEMENTS AND R.O.W.

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AN AUTOMATIC IRRIGATION SYSTEM, WITH A RAIN SENSOR, WILL BE INSTALLED TO IRRIGATE 100% OF THE TREE AND LANDSCAPE PLANTING AREAS AS SHOWN BY THE LANDSCAPE IRRIGATION DWGS.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ANY PROPOSED TREES TO BE PRESERVED. FENCE THE TREE GROUP(S) WITH A WOOD BARRIER AS SHOWN BY THE DETAIL TO BE LOCATED 1 1/2 TIMES THE TREES' DRIP-LINE RADIUS(ES). NO VEHICLES OR MATERIALS SHALL BE PLACED UNDER OR AROUND THESE TREES TO REMAIN.

ALL TREES NOT LOCATED WITHIN A MULCHED PLANTING BED SHALL HAVE A MINIMUM FIVE-FOOT (5') MULCH RING INSTALLED AROUND THE TRUNK AREA.

A MINIMUM FIVE-FOOT (5') GRASS RING SHALL BE INSTALLED AROUND EACH CATCH BASIN LOCATED WITHIN ANY LANDSCAPE AREA. THE CONTRACTOR IS TO BE SURE THAT NO MULCH CAN FLOW INTO THESE BASINS.

ALL EXISTING HARDSCAPE SURFACES WHICH ARE SHOWN TO BE REMOVED, SHALL HAVE THEIR LIMEROCK AND/OR COMPACTED BASES REMOVED DOWN TO THE NATIVE SOIL BASE.

ALL EXPOSED MECHANICAL AND UTILITY EQUIPMENT, SUCH AS A/C UNITS, BACKFLOW PREVENTERS, UTILITY PADS, ETC SHALL BE SCREENED USING A FOUR-FOOT (4') HIGH, SEVEN (7) GALLON VIBURNUM HEDGE.

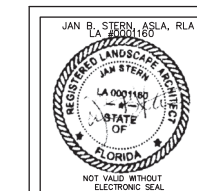
ALAN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927

A

LANDSCAPE PLANTING PLAN - SOUTH

NO.	DATE	REVISION	BY
5	12/16/2024	REMOVE BUFFER PLANTINGS	JBS
4	10/17/2024	REV PER TRC JULY 17 COMMENTS	JBS
3	02/24/2024	REV SITE BASE PLAN + KEY	JBS
2	11/15/2023	REV SITE BASE PLAN	JBS
1	07/13/2023	REV SITE BASE PLAN	JBS

DESIGNER	FILE	DATE
JBS	JBS	JBS
DRAWN BY	PROJECT	SCALE
JBS	JBS	1" = 30'



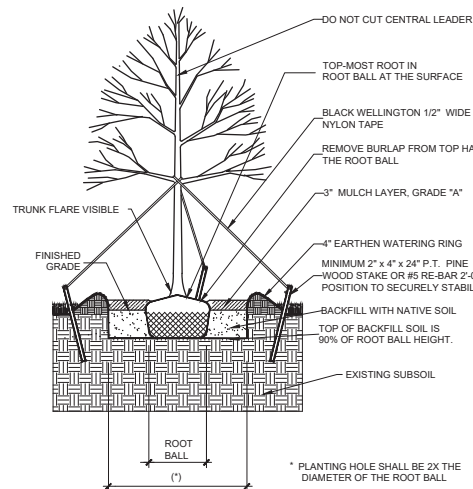
THE STERN DESIGN GROUP, P.A.

LANDSCAPE ARCHITECTS LAND PLANNERS
1685 Promenade Circle, Port Orange, Florida 32129
(386) 788-3788 CELL (386) 290-6411
SternDesignGroup@att.net

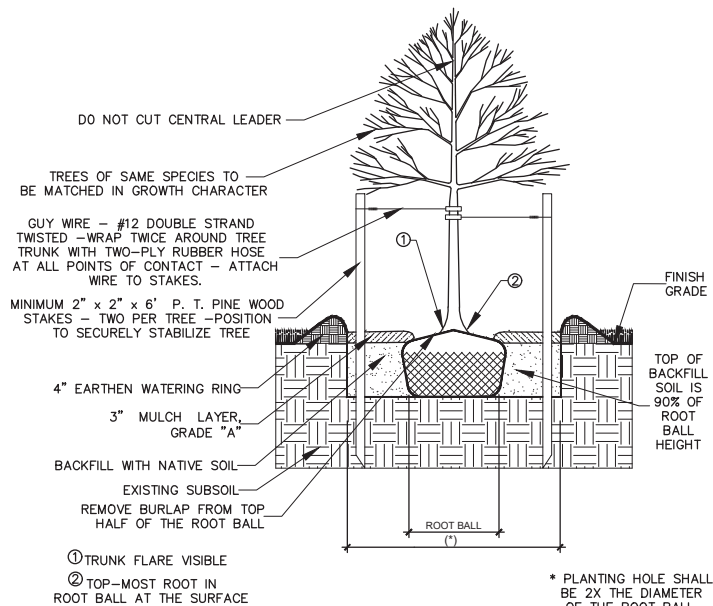
SHEET
LA-4

- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
- B. FILL PLANTING PIT TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR INCHES (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND DRAINAGE CHANNEL IS NOT REQUIRED. IF HOWEVER, THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
- C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON-POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL).
- D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- E. WHEN FILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.

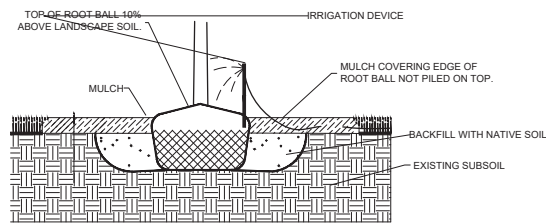
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STANDARD CONSTRUCTION DETAIL
LARGE TREE PLANTING DETAILS
NTS.

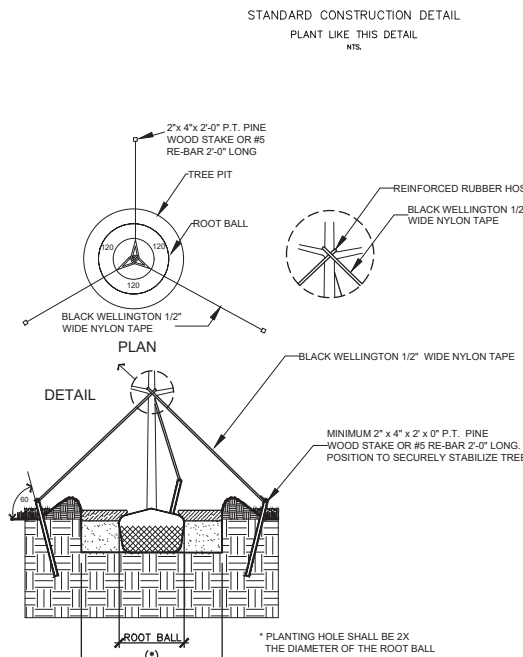


STANDARD CONSTRUCTION DETAIL
SMALL TREE PLANTING DETAIL
NTS.

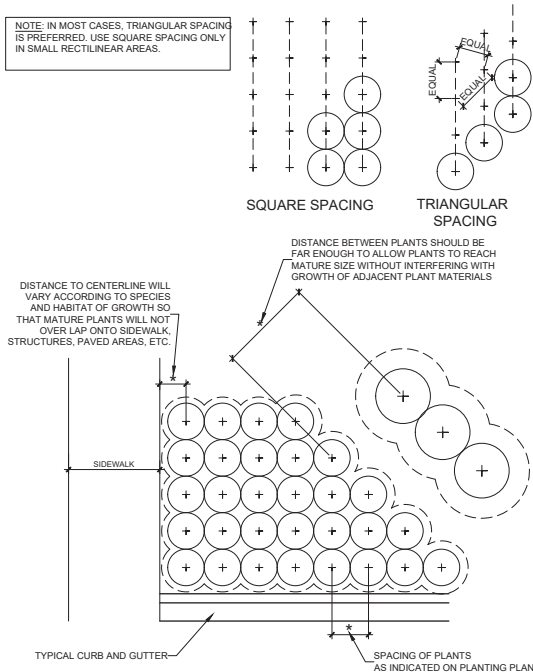


NEVER PLACE ANY SOIL OVER THE ROOT BALL. THE ROOT BALL SHOULD BE POSITIONED IN THE HOLE SHALLOW ENOUGH SO THE FINISHED GRADE OF THE BACKFILL SOIL DOES NOT REACH THE TOP. IN OTHER WORDS, LEAVE THE TOP FEW INCHES OF THE ROOT BALL SIDES EXPOSED TO THE AIR. MULCH WILL COVER THE REMAINING COUPLE INCHES. THE TOP OF THE ROOT BALL SHOULD BE SEVERAL INCHES HIGHER THAN THE SURROUNDING LANDSCAPE SOIL. BE SURE THAT WHEN YOU ARE FINISHED PLANTING, THERE IS NO SOIL OVER THE ROOT BALL. SOIL (AS WELL AS THICK MULCH LAYERS MORE THAN 3 INCHES DEEP) OVER THE ROOT BALL CAN PREVENT WATER AND AIR FROM ENTERING THE ROOT BALL. YOU SHOULD BE ABLE TO SEE THE TOP-MOST ROOT ORIGINATING FROM THE TRUNK AT THE SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL IN THE ROOT BALL. THE TRUNK FLARE SHOULD BE VISIBLE.

MULCH SHOULD COVER ONLY THEDGE OF THE ROOT BALL, SINCE THICK LAYERS OVER THE ROOT BALL CAN KEEP THE TRUNK TOO MOIST OR TOO DRY AND CAN CAUSE OTHER PROBLEMS. LOCATE THE IRRIGATION DEVICE SO IT DELIVERS WATER DIRECTLY TO THE ROOT BALL. THERE IS USUALLY NO NEED TO WATER AREAS OUTSIDE THE ROOT BALL. NO AMENDMENTS OF ANY KIND ARE NECESSARY IN THE BACKFILL SOIL, BECAUSE EXTENSIVE RESEARCH CLEARLY SHOWS THAT THEY TYPICALLY DO NOT INCREASE THE SURVIVAL, NOR GROWTH AFTER PLANTING. NO SOIL BERM IS NEEDED IF TREES WILL BE IRRIGATED WITH A LOW-VOLUME DEVICE. PLACE THE BERM AT THE EDGE OF THE ROOT BALL IF THE ROOT BALL IS FINER TEXTURE THAN THE BACKFILL SOIL. THIS WILL HELP INSURE THAT WATER PERCOLATES INTO THE ROOT BALL.



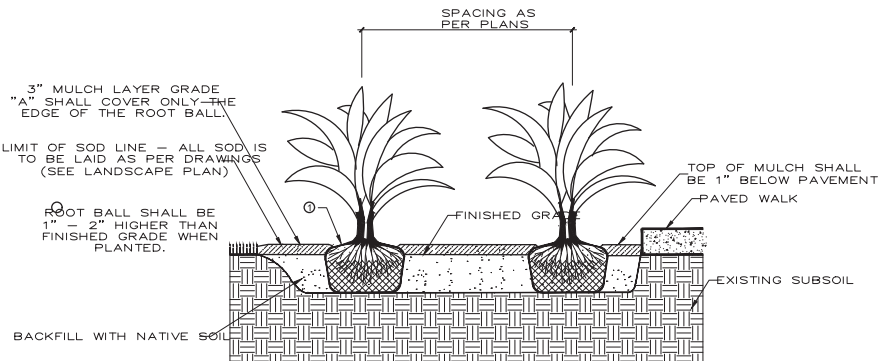
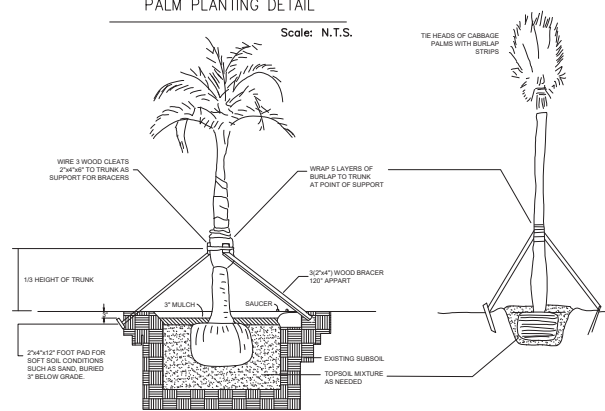
STANDARD CONSTRUCTION DETAIL
TYPICAL TREE GUYING DETAIL



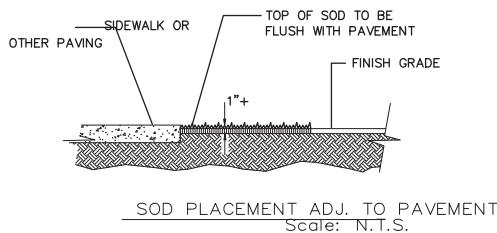
STANDARD CONSTRUCTION DETAIL
TYPICAL CONTAINER SPACING
NTS

PALM PLANTING DETAIL

Scale: N.T.S.

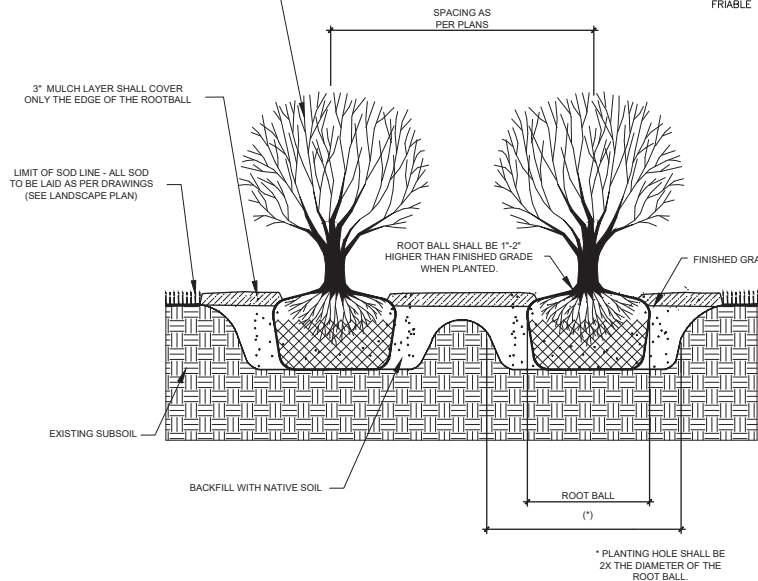


STANDARD CONSTRUCTION DETAIL
TYPICAL GROUND COVER DETAIL
NTS



SOD PLACEMENT ADJ. TO PAVEMENT
Scale: N.T.S.

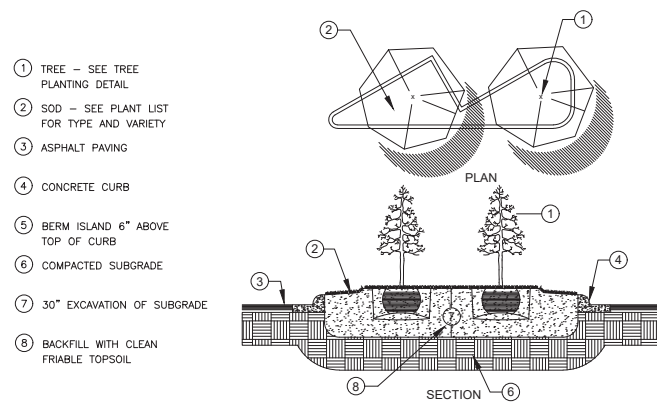
PLANT MATERIAL SHALL NOT BE PRUNED
PRIOR TO INSTALLATION - AFTER PLANT
HAVE BEEN INSTALLED, EACH PLANT SHALL
BE PRUNED FOR UNIFORMITY



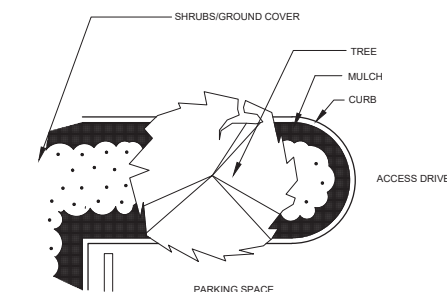
STANDARD CONSTRUCTION DETAIL
TYPICAL SHRUB PLANTING DETAIL
NTS

PLANTING NOTES

1. ALL MATERIALS ARE TO BE FLORA #1 OR BETTER, INSTALLED ACCORDING TO THE HIGHEST NURSERY STANDARDS.
2. MULCH IS TO BE 100% PINE BARK NUZZOGS GRADE "A", INSTALLED A MINIMUM OF 2" THICK IN ALL PLANTING AREAS. MULCHED PLANTING BEDS SHALL BE A MINIMUM 12" WIDE AND SHALL BE CONTINUOUS WIDE, PLANTING AREAS PROPOSED.
3. ALL AREAS MARKED SOO ON THE PLANS, SHALL BE SOODED WITH 95% WEEED-FREE "BAHIA ARGENTINE" SEEDING SOO. SOO SHALL BE INSTALLED WITH TIGHTLY ROLLED MATS. MULCH SHALL BE ADDED TO THE SOIL AS PER SOIL TESTING RESULTS.
4. BAHIA SOO SOO SHALL BE USED ON ALL AREAS SO MARKED AS SWALES, RIGGS-OF-WAYS, DISTURBED AREAS, OR OTHER AREAS SUBJECT TO EROSION.
5. GRASS SEEDING AREAS SHALL MEET FLORIDA STATE DEPARTMENT OF TRANSPORTATION STANDARDS.
6. LANDSCAPE CONTRACTOR IS TO LOCATE AND VERIFY ALL UNDERGROUND DISCREPANCIES AND BRING THEM TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
7. LANDSCAPE CONTRACTOR IS TO VERIFY ALL DRAWINGS AND CHECK FOR DISCREPANCIES AND BRING THEM TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
8. THE PLANT MATERIALS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY, THE LANDSCAPE CONTRACTOR SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
9. NO SUBSTITUTIONS WILL BE MADE AT TIME OF BIDDING OR CHANGES OF ANY KIND, SO AS TO PROVIDE FOR FAIR COMPARISONS. NO FURTHER CHANGES ARE TO BE MADE WITHOUT PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
10. OWNER TO BE RESPONSIBLE FOR IRRIGATION OF ALL PLANT MATERIALS.
11. ALL BUILDING MATERIALS AND LABOR ARE TO CONFORM TO THE SOUTHERN BUILDING CODE AND ALSO TO ALL LOCAL CODES THAT HAVE JURISDICTION.
12. ALL PERMIT AND VARIANCE APPLICATION ARE TO BE MADE BY THE CONTRACTOR.
13. PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM, A WATER TEST BE CONDUCTED ON THE WATER SOURCE TO DETERMINE PH. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. THE ARCHITECT RESERVES AN AUTHORITY TO MAKE SELECTIONS OR MODIFYING WATER SOURCE.
14. PRIOR TO CONSTRUCTION OF PLANTING BEDS, ALL AREAS ARE TO HAVE SOIL TESTS CONDUCTED TO DETERMINE PH. AND FERTILITY. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO AMEND THE SOIL TO MEET ADEQUATE FERTILITY AND PH. FOR CORRESPONDING PLANT MATERIALS.
15. PRIOR TO THE LAND CLEARING TIME, THE CONTRACTOR SHALL CLEARLY MARK THREE TREE TRIMMING ZONES. TREE TRIMMING ZONES TO BE IN THE PROXIMITY OF ANY AREA WHERE LAND CLEARING EQUIPMENT IS OPERATED. THE MARKINGS SHALL REMAIN IN PLACE DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF 10 FEET TO DESTROY TREES (3 FEET IN HEIGHT SHALL BE FORMED A MINIMUM RADIUS OF 3 FEET) FROM THE BASE OF THE TREES OR SHRUBS, AND THE DEVELOPER SHALL MAINTAIN A MINIMUM CLEARANCE OF 10 FEET TO THE TRUNKS OF THE TREES WITHIN THE DROP LINE OF ANY TREE OR GROUPS OF TREES TO BE MAINTAINED. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CAUSE OF THE DISTURBED MATERIAL, SUCH AS PANT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR OR OTHER MATERIALS HARMFUL TO THE LIFE OF A TREE WITHIN THE DROP LINE OF ANY TREE OR GROUP OF TREES. THE CONTRACTOR SHALL MAINTAIN PROTECTION GUY WIRE(S), SIGNS, OR PERMITS MAY BE FASTENED TO A TREE.
16. REMOVE ALL TAGS FROM INSTALLED PLANT MATERIALS.
17. PLANT TERRA SORB UNDER THE ROOT BALL OF ALL PLANT MATERIALS.
18. ALL TREES ARE TO BE GUYED WITHING "DUCKBILL" ANCHORING SYSTEMS OR AN APPROVED EQUAL.
19. ALL TREE CULPERS ARE TO BE MEASURED ACCORDING TO LOCAL CODES AND ORDINANCES.
20. ALL QUESTIONS CONCERNING THE PLAN AND/OR SPECIFICATIONS ARE TO BE DIRECTED TO THE LANDSCAPE ARCHITECT. (386) 788-3788
21. ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE REPLACEMENTS TO THE CONTRACT WITHIN TWO (2) WEEKS. CONTRACTOR NOTIFICATION TO



TYPICAL PLANTER ISLAND
NOT TO SCALE



TYPICAL ISLAND LANDSCAPING

NOT TO SCALE

[illegible]

DESIGNER	FILE	DATE
KAB JBS	1941-1	7-7-2023
DRAWN BY	PROJECT	SCALE
WRS JBS	JBS1941-1	AS SHOWN

