

# City of Palm Coast, Florida

## Agenda Item

**Agenda Date:** November 15, 2023

<b>Department</b>	COMMUNITY DEVELOPMENT	<b>Amount</b>
<b>Division</b>	PLANNER	<b>Account #</b>
<b>Subject:</b> OLD KINGS MULTI-FAMILY APARTMENTS MASTER SITE PLAN, APPLICATION # 5447		
<b>Presenter:</b> Bill Hoover, AICP, Senior Planner		
<b>Attachments:</b> <ol style="list-style-type: none"> <li>1. Staff Report</li> <li>2. Resolution</li> <li>3. Close Up Aerial</li> <li>4. Distant Aerial</li> <li>5. Future Land Use Map (FLUM)</li> <li>6. Zoning Map</li> <li>7. Master Site Plan</li> <li>8. Architectural Elevations</li> <li>9. Master Drainage Plan #1</li> <li>10. Master Drainage Plan #2</li> <li>11. Recreation Plan</li> <li>12. School Concurrency Application</li> <li>13. Survey</li> <li>14. Threatened and Endangered Species Study</li> <li>15. Wetlands Environmental Study</li> <li>16. Neighborhood Meeting Letter Packet</li> <li>17. Application</li> </ol>		
<b>Background:</b> <p>The applicant has submitted an application (AR#5447) for a Master Site Plan – Tier 3 for Old Kings Multi-Family, a proposed 216-unit, three-story residential rental community located on a 29.24 +/- acre site on the east side of Old Kings Road about 2 miles south of Palm Coast Parkway and 2 miles north of Town Center Boulevard. The northern 12.1 +/- acres of the site was rezoned from General Office (OFC-2) to Multi-Family Residential-2 (MFR-2) on July 5, 2022.</p> <p>The density calculations for this project are based on the 29.24 +/- acres of the site which include 10.63 +/- acres of wetlands and/or conservation lands and 18.61 +/- acres of uplands. Maximum density for the MFR-2 Zoning District is 12 units/per acre for uplands and 3 units/per acre of wetlands/conservation lands which would yield 255 units and a maximum density of 8.7 units/per acre. Actual density for the proposed 216 units on the 29.24 +/- acre site is 7.4 units/per acre.</p> <p>Since the number of multi-family units is above the 100-unit threshold, the Master Site Plan is considered a “Major” (Tier 3) development, requiring review and recommendation by the</p>		

PLDRB followed by review and final determination by the City Council. If the City Council approves the Master Site Plan, the applicant can follow with a Technical Site Plan application with administrative review of detailed engineering drawings.

This rental community also includes a clubhouse with pool and numerous sidewalks and walking trails for the residents. Seven of the buildings will have rear views overlooking the extensive wetlands east of the site and/or the project's stormwater ponds. The project has 72 garages for residents use and two access points onto Old Kings Road.

Surrounding and neighboring uses of the project will not incur negative impacts from this residential community due to its location. To the north is a potential future flyover of White View Parkway over I-95, to the northeast is the City's effluent disposal field, to the east are an approximate 175'-wide average wetland area and then the City's wastewater rapid infiltration basins, to the southeast about 1100' from the project's most southerly building are single-family homes/homesites along New Leatherwood Drive but wetlands encompass most of this 1100' area, to the south is land zoned MFR-2, and to the west is Old Kings Road and then lands zoned COM-3 (along the south half of project) and OFC-1 (along the north half of project).

Public Participation: A neighborhood information meeting was held on April 9, 2022, for the rezoning process of the northern 12.1 +/- acres MFR-2. A second neighborhood information meeting was held on November 2, 2023, at the Palm Coast Community Center at 5:00 PM specifically for this Master Site Plan process. Staff and the applicant's team attended this second meeting but no one from the public attended.

**Recommended Action:**

Planning staff recommends that the Planning and Land Development Regulation Board find this in compliance with the Comprehensive Plan and recommend approval to City Council for Application #5447, Old Kings Multi-Family a Master Site Plan for 216 homes so the developer may apply for a Technical Site Plan that would need to meet all applicable development requirements.





**Planning and Land Development Regulation Board (PLDRB)  
Public Hearing on November 15, 2023**

**OVERVIEW**

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Project Name:	Old Kings Multi-Family Master Site Plan – Tier 3
Application Number:	5447
Applicant/agent:	Matthews Design Group, St. Augustine, FL
Property Owner:	Kings Business Center, LLC, Torrington, WY
Location:	East side of Old Kings Road about 2 miles south of Palm Coast Parkway
Parcel ID #:	29-11-31-0000-01010-0050, 29-11-31-0000-01010-0051
Current FLUM designation:	Mixed Use and Conservation
Current Zoning designation:	MFR-2
Current Use:	Vacant
Size of subject property:	29.24 +/- acres

**ANALYSIS**

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**REQUESTED ACTION:**

The applicant has submitted an application (AR#5447) for a Master Site Plan – Tier 3 for Old Kings Multi-Family, a proposed 216-unit, three-story residential rental community located on a 29.24 +/- acre site on the east side of Old Kings Road about 2 miles south of Palm Coast Parkway and 2 miles north of Town Center Boulevard. The northern 12.1 +/- acres of the site was recently rezoned from General Office (OFC-2) to Multi-Family Residential-2 (MFR-2) when the City Council adopted Ordinance 2022-13 on July 5, 2022.

The density calculations for this project are based on the 29.24 +/- acres of the site which include 10.63 +/- acres of wetlands and/or conservation lands and 18.61 +/- acres of uplands. Maximum density for the MFR-2 Zoning District is 12 units/per acre for the uplands and 3 units/per acre of the wetlands/conservation lands which would yield a maximum of 255 units and maximum density of 8.7 units/per acre. Actual density for the proposed 216 units on the 29.24 +/- acre site is 7.4 units/per acre.

**PROJECT DESCRIPTION:**

This is a multi-family project comprised of 216 units in nine 3-story, 24-unit buildings. This community also includes a clubhouse with pool and numerous sidewalks and walking trails for the residents. The project has at least 72 garages for residents use and two access points onto Old Kings Road.

Since the number of multi-family units is above the 100-unit threshold, the Master Site Plan is considered a “Major” (Tier 3) development, requiring review and recommendation by the PLDRB followed by review and final determination by the City Council. If the City Council

approves the Master Site Plan, the applicant can follow with a Technical Site Plan application with administrative review of detailed engineering drawings.

#### SITE DEVELOPMENT PLAN SUMMARY:

- PROJECT ACREAGE: 29.24 +/- acres
- NUMBER OF NEW BUILDINGS: One clubhouse and 9 residential buildings
- TOTAL UNITS: 216 multi-family units

#### LAND USE AND ZONING INFORMATION

The following table summarizes the general existing and proposed land use and zoning data:

##### SURROUNDING ZONING AND FLUM CATEGORIES

Direction	FLUM Category	Zoning District
North	Mixed Use	MFR-2, then PSP, then OFC-2
East	Conservation then Institutional	PSP
South	Mixed Use	MFR-2
West	Mixed Use	COM-3 (for south half of project) and OFC-1 (for north half of project)

#### SITE DEVELOPMENT REQUIREMENTS:

Site development must be in accordance with the requirements of the City of Palm Coast Land Development Code, the Comprehensive Plan and the latest Building Codes. The following tables summarize the basic development standard requirements and corresponding proposed development criteria, with which the application complies:

##### SITE DEVELOPMENT REQUIREMENTS FOR MPD (MFR-2 USES)

Criteria (per MPD or LDC)	Required	Provided
Minimum Lot Size	4 acres	29.24 +/- acres
Maximum Density	8.7 units/acre	7.4 units/acre
Maximum Impervious Coverage	70%	60.4%
Maximum Building Height	60 ft.	36.5 ft.
Minimum living area	650 s.f.	1,221 – 1,855 s.f.
Minimum Building Setbacks	Front: 25 ft. Rear: 20 ft. Int. Side: 10 ft.	70 ft. minimum 100 ft. minimum 70 ft. minimum
Minimum Parking		
24 -1BR units x 1.5 = 36 spaces		
132 -2BR units x 2 = 264 spaces		
60 -3BR units x 2 = 120 spaces	420 residential spaces	420 residential spaces
3252 /250 sf clubhouse = 13	+13 clubhouse spaces	+13 clubhouse spaces
Total spaces including garages	433 total spaces	435 total spaces

216 units x 33% with garages	72 garage spaces	72 garage spaces
Surface spaces	361 surface spaces	363 surface spaces
Including ADA designated parking	18 ADA spaces	19 ADA spaces
Bicycle (10% of 433 spaces)	43 bicycle spaces	45 bicycle spaces

## MASTER SITE PLAN PROCESS

The Master Site Plan application process is specified in Section 2.10 of the Unified Land Development Code (LDC). This review process is intended to ensure that site development takes place in an orderly and efficient manner through a process that provides adequate review based on the size and complexity of the proposed development. Master Site Plan review and approval establishes the viability of a development thereby, allowing a project to proceed to the Technical Site Plan process.

This application incorporates a review/approval process coordinated by and through City staff, the Planning and Land Development Regulation Board (PLDRB), and the City Council as applicable. As provided in Table 2-1 of Sec. 2.04 of the Land Development Code (LDC), residential projects over 100 units are classified as Major projects, which require review and recommendation from the PLDRB, and with final review and determination by the City Council.

Section 2.10.04 of the LDC establishes the review criteria for a Master Site Plan as detailed below.

Review Criteria	Comments
1. Logic of design	The Master Site Plan proposed for multi-family development illustrates a community consisting of nine 3-story, 24-unit multi-family buildings. Most of the units are inside a perimeter ring road that allows most residents to walk or bike within the community with minimal interference from motor vehicles. Seven of the buildings will have rear views overlooking the extensive wetlands east of the site and/or the project's stormwater ponds.
2. Internal Consistency	The Master Site Plan is designed for multi-family development of the community in a linear north-south manner as the project's frontage along Old Kings Road is about five times the average depth of the buildable portion of the project measured in an east-west manner.
3. Impact on neighboring sites	Surrounding and neighboring uses of the project will not incur negative impacts from this residential community due to its location. To the north is a potential future flyover of White View Parkway over I-95, to the northeast is the City's effluent disposal field, to the east are an approximate 175'-wide average wetland area and then the City's wastewater rapid infiltration basins, to the southeast about 1100' from the project's most southerly building are single-family homes/ homesites along New Leatherwood Drive but wetlands areas encompass most of this 1100' area, to the south is land zoned MFR-2 and to the west is Old Kings Road and then lands zoned COM-3 (along south half of project) and OFC-1 (along north half of project).

4. Internal vehicle and pedestrian connectivity	Pedestrian accessways will allow future residents to walk and bicycle throughout the site using sidewalks or trails and also utilize a future public trail along the east side of Old Kings Road.
5. Public benefit from the project	The project will allow for a wider diversity of housing opportunities to be available in Palm Coast which will provide housing for elderly residents and also for younger residents who often work in jobs that provide essential and key services for Palm Coast residents. Rental homes also allow new persons intending to relocate to Palm Coast to determine if Palm Coast is a good fit for them prior to making a major investment in purchasing a home for long term residency.

#### **ANALYSIS BASED ON UNIFIED LAND DEVELOPMENT CODE CHAPTER 2, SECTION 2.05.05**

Prior to approval of a Development Order for a Site Plan, the proposed project must be evaluated for conformance with the requirements of LDC Chapter 2, Section 2.05.05, which provides criteria that must be met to issue approval. The proposed project has been evaluated against the review criteria as directed by the LDC, which states: *When reviewing a development order application, the approval authority shall determine whether sufficient factual data was presented in order to render a decision. The decision to issue a development order shall be based upon the following, including but not limited to:*

***A. The proposed development must not be in conflict with or contrary to the public interest;***

**Planning Staff Finding:** The proposed development is not in conflict with or contrary to the public interest, as the specified land use is consistent with the City's Land Development Code (LDC) and the Comprehensive Plan.

***B. The proposed development must be consistent with the Comprehensive Plan and the provisions of this LDC;***

**Planning Staff Finding:** The request is consistent with the Comprehensive Plan. The following are applicable goals, policies and objectives that the project supports:

- **Chapter 1 – Land Use Element: Goal 1.1 - *Preserve the character of residential communities, prevent urban sprawl and protect open space and environmental resources, while providing a mix of land uses, housing types, services, and job opportunities in mixed use centers and corridors.*** Allowing multi-family uses on this infill site will combat urban sprawl by utilizing land that is located between Palm Coast Parkway and SR 100 and reasonably close to numerous commercial services. Additionally, these multi-family homes will allow a broader mix of housing types in Palm Coast where a preponderance of available homes are single-family detached homes. Multi-family land uses compared to single-family home sites, also allow a significantly better opportunity for preserving open space and protecting environmentally sensitive areas. The applicant's environmental report indicated that no threatened or endangered species were found on the site.

- **Chapter 1 – Land Use Element: Policy 1.1.4.5** – *Land use patterns will be required to be efficient and not disproportionately increase the cost of providing and maintaining public facilities, as well as providing housing and transportation strategies that will foster energy conservation.* Public services are already available to serve this infill site and should have adequate capacity for doing so. Additionally, multi-family homes with fewer exterior walls than detached single-family homes will be significantly more energy efficient.
- **Chapter 3 - Housing Element: Objective 3.4.1 Diversity in Housing Opportunities; Policy 3.4.1.1** – *Through the FLUM and zoning district regulations of the LDC, the City shall make provisions to supply land that can be developed with various types of residential uses, including single-family homes of various sizes, duplexes, multi-family dwellings, and residential units in mixed use developments.* Approval of this multi-family Master Site Plan will allow the developer to move forward with developing multi-family homes adjacent to a future 4-lane roadway with various approved intensively zoned lands. Single-family homes would not be compatible adjacent to Old Kings Road as the neighboring future commercial uses develop out. The wide wetland area to the east and southeast of this multi-family community will provide more than sufficient buffering and screening between this project and the single-family homes located southeast of the project.

***C. The proposed development must not impose a significant financial liability or hardship for the City;***

**Planning Staff Findings:** The proposed development does not impose a significant financial liability or hardship for the City as the project will meet the Comprehensive Plan, the LDC and the City's concurrency requirements. These concurrency standards will be applied when the applicant applies for a Technical Site Plan.

***D. The proposed development must not create an unreasonable hazard, or nuisance, or constitute a threat to the general health, welfare, or safety of the City's inhabitants;***

**Planning Staff Finding:** The proposed development poses no unreasonable hazard, nuisance, nor does it constitute a threat to the general health, welfare, or safety of the City's inhabitants as the project is compatible with neighboring properties as outlined above. All improvements will be newly constructed and/or developed in compliance with the relevant LDC, Building Codes and other agency requirements.

***E. The proposed development must comply with all other applicable local, state and federal laws, statutes, ordinances, regulations, or codes;***

**Planning Staff Finding:** For the project to proceed, the applicant is required to submit a Technical Site Plan, building plans and permit applications as required to the various agencies having jurisdiction, and shall meet all requirements of other applicable local, state, and federal laws, statutes, ordinances, regulations, and codes.

A neighborhood information meeting was held on April 9, 2022, during the rezoning process of the northern 12.1 +/- acres to MFR-2. A second neighborhood information meeting was held on November 2, 2023, at the Palm Coast Community Center at 5:00 PM specifically for this Master Site Plan process. Staff and the applicant's team attended this second meeting but no one from the public attended.

### **SUMMARY OF FINDINGS**

After review and evaluation of the proposed project for conformance with the requirements of the City of Palm Coast LDC and Comprehensive Plan, staff finds that the proposed conceptual Master Site Plan can meet the requirements for approval. The Master Site Plan process recognizes that up to 25% cumulative design change may be allowed after further engineering.

### **RECOMMENDATION**

Planning staff recommends that the Planning and Land Development Regulation Board find this in compliance with the Comprehensive Plan and recommend approval to City Council for Application #5447, Old Kings Multi-Family a Master Site Plan for 216 homes so the developer may apply for a Technical Site Plan that would need to meet all applicable development requirements.

**RESOLUTION 2023-\_\_\_\_**  
**OLD KINGS MULTI-FAMILY MASTER SITE PLAN**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM COAST, FLORIDA, APPROVING APPLICATION #5447 OLD KINGS MULTI-FAMILY MASTER SITE PLAN; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICTS; PROVIDING FOR IMPLEMENTING ACTIONS AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, on April 19, 2023, Application No. 5447, (hereinafter “the application”) was submitted by Kings Business Center, LLC to the City of Palm Coast Community Development Department for approval of a residential Master Site Plan for 216 multi-family homes on 29.24 +/- acres of land generally located on the east side of Old Kings Road about 2 miles south of Palm Coast Parkway and 2 miles north of Town Center Boulevard; and

**WHEREAS**, the City staff has reviewed the development proposal and has determined that it is in accordance with the codes, ordinances and land development regulations of the City; and

**WHEREAS**, the Planning and Land Development Regulation Board held a public hearing on the application at a meeting on **November 15**, 2023, and determined it is in compliance with the Comprehensive Plan and recommended approval to the City Council by a **\_\_\_\_\_** vote; and

**NOW, THEREFORE, BE IT RESOLVED** by the City of Palm Coast, Flagler County, Florida:

**SECTION 1. APPROVAL APPLICATION/FINDINGS.**

(a). The City Council hereby approves the application for Old Kings Multi-Family Master Site Plan for a 216-unit apartment community generally located on the east side of Old Kings Road about 2 miles south of Palm Coast Parkway and 2 miles north of Town Center Boulevard, and hereby authorizes the Mayor of the City of Palm Coast to execute the Development Order.

(b). The development approval sought under and pursuant to the application is consistent with the City of Palm Coast Comprehensive Plan and development of the property

will be subject to and consistent with and in compliance with applicable land development regulations and all other applicable regulations and ordinances as set forth in the *Code of Ordinances of the City of Palm Coast*.

**SECTION 2. SEVERABILITY.** It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this Resolution are severable, and if any phrase, clause, sentence, paragraph or section of this Resolution shall be declared unconstitutional by the valid judgment or decree of a court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Resolution.

**SECTION 3. CONFLICTS.** All resolutions or parts of resolutions in conflict with this Resolution are hereby repealed.

**SECTION 4. IMPLEMENTING ACTIONS.** The City Manager, or designee, is hereby authorized to take any actions necessary to implement the action taken in this Resolution.

**SECTION 5. EFFECTIVE DATE.** This Resolution shall become effective immediately upon its passage and adoption.

**DULY PASSED AND ADOPTED** by the City Council of the City of Palm Coast, Florida, on **this 19th day of December 2023.**

**CITY OF PALM COAST, FLORIDA**

*ATTEST:*

\_\_\_\_\_  
DAVID ALFIN, MAYOR

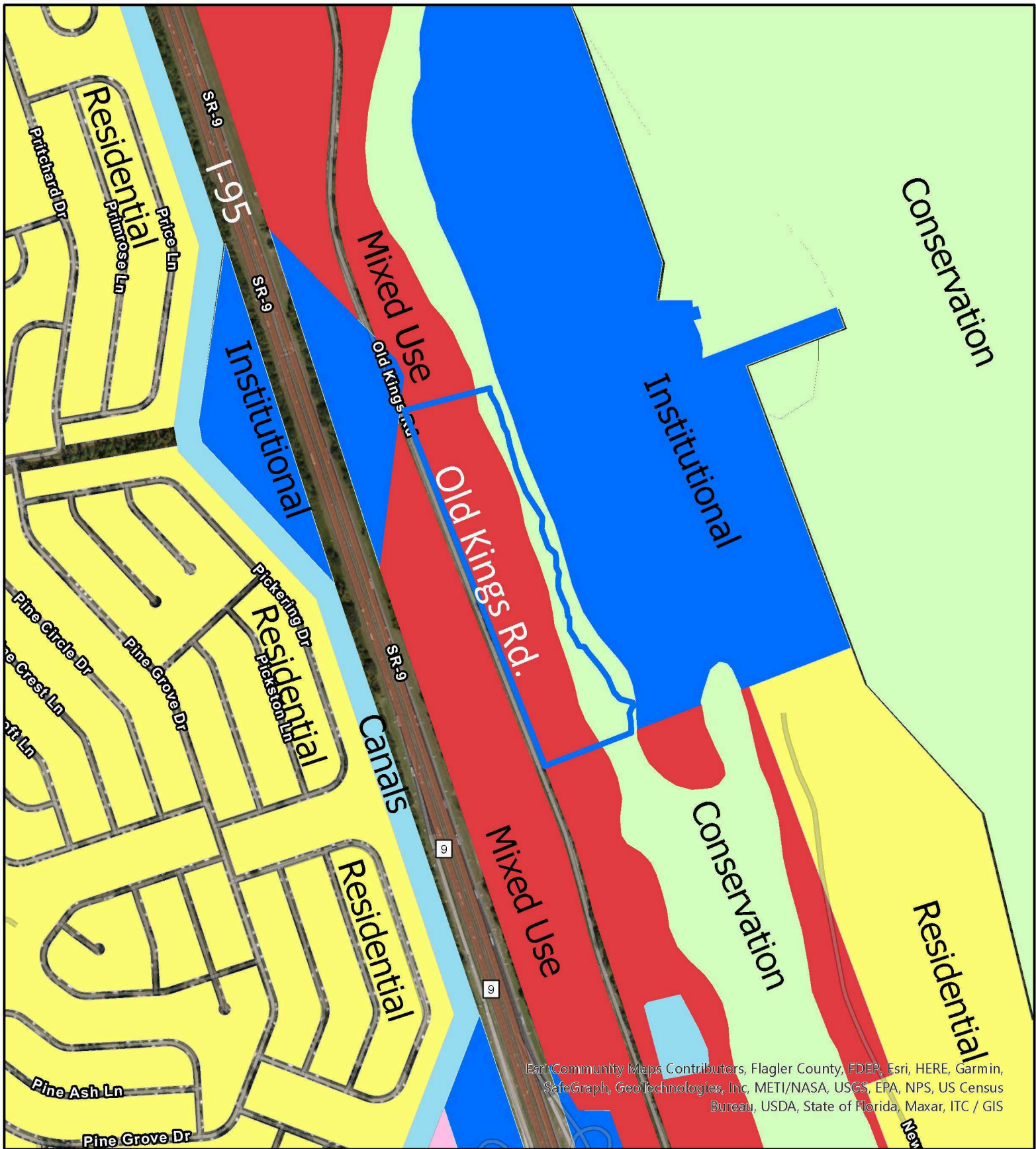
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KALEY COOK, CITY CLERK

Approved as to form and legality

\_\_\_\_\_  
NEYSA J. BORKERT, ESQ  
CITY ATTORNEY

Resolution 2023-\_\_\_\_\_  
Page 2 of 2





## Current Future Land Use Map

- Old Kings Multi-Family
- Canals
- Conservation
- DRI-Urban Core
- Institutional
- Mixed Use
- Residential



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Feet

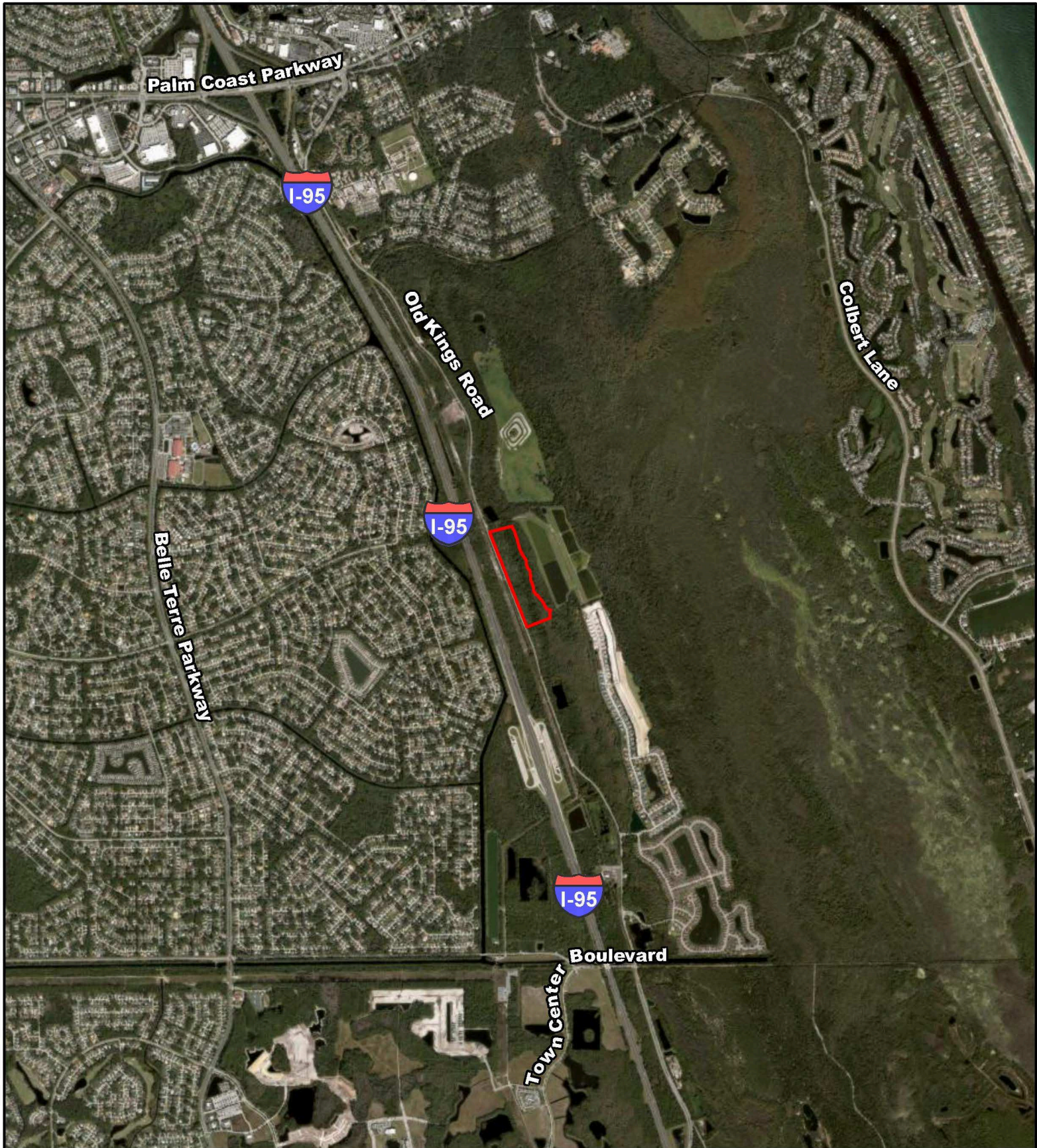


Map Provided by the Planning Division

Date: 10/18/2023

The City of Palm Beach prepares and uses this map/map data for its own purposes. This map/map data displays general boundaries and may not be appropriate for site specific uses. The City uses data believed to be accurate; however, a degree of error is inherent in all maps. This map/map data is distributed AS-IS without warranties of any kind, either expressed or implied including, but not limited to, warranties of suitability to a particular purpose or use. This map/map data is intended for use only at the published scale. Detailed on-the-ground surveys and historical analyses of sites may differ substantially from this map/map data.





## Location Map (Zoomed Out)

### Subject Property

 Old Kings Multi-Family



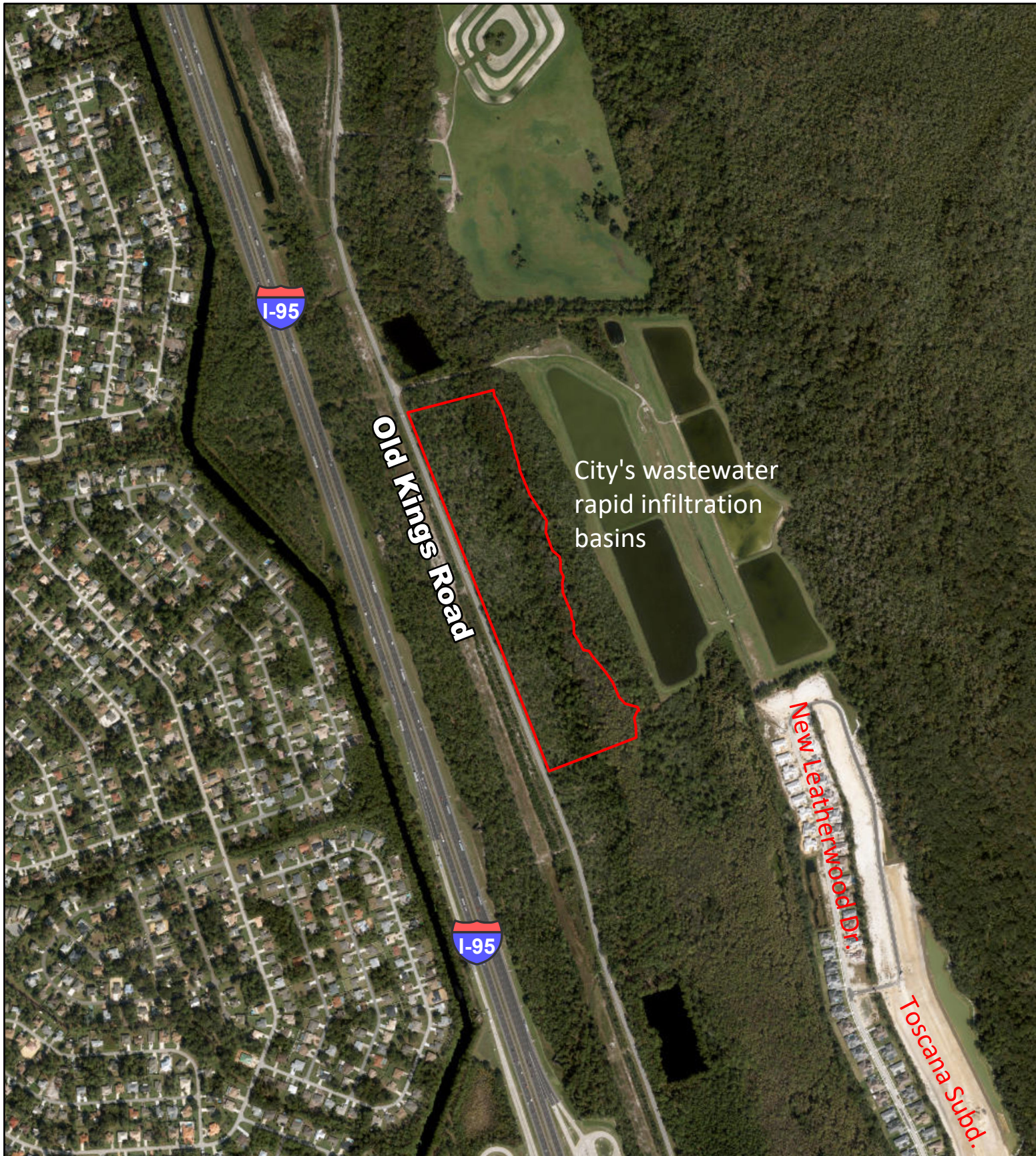
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Map Provided by the Planning Division

Date: 10/18/2023





## Location Map (Zoomed In)

### Subject Property

 Old Kings Multi-Family



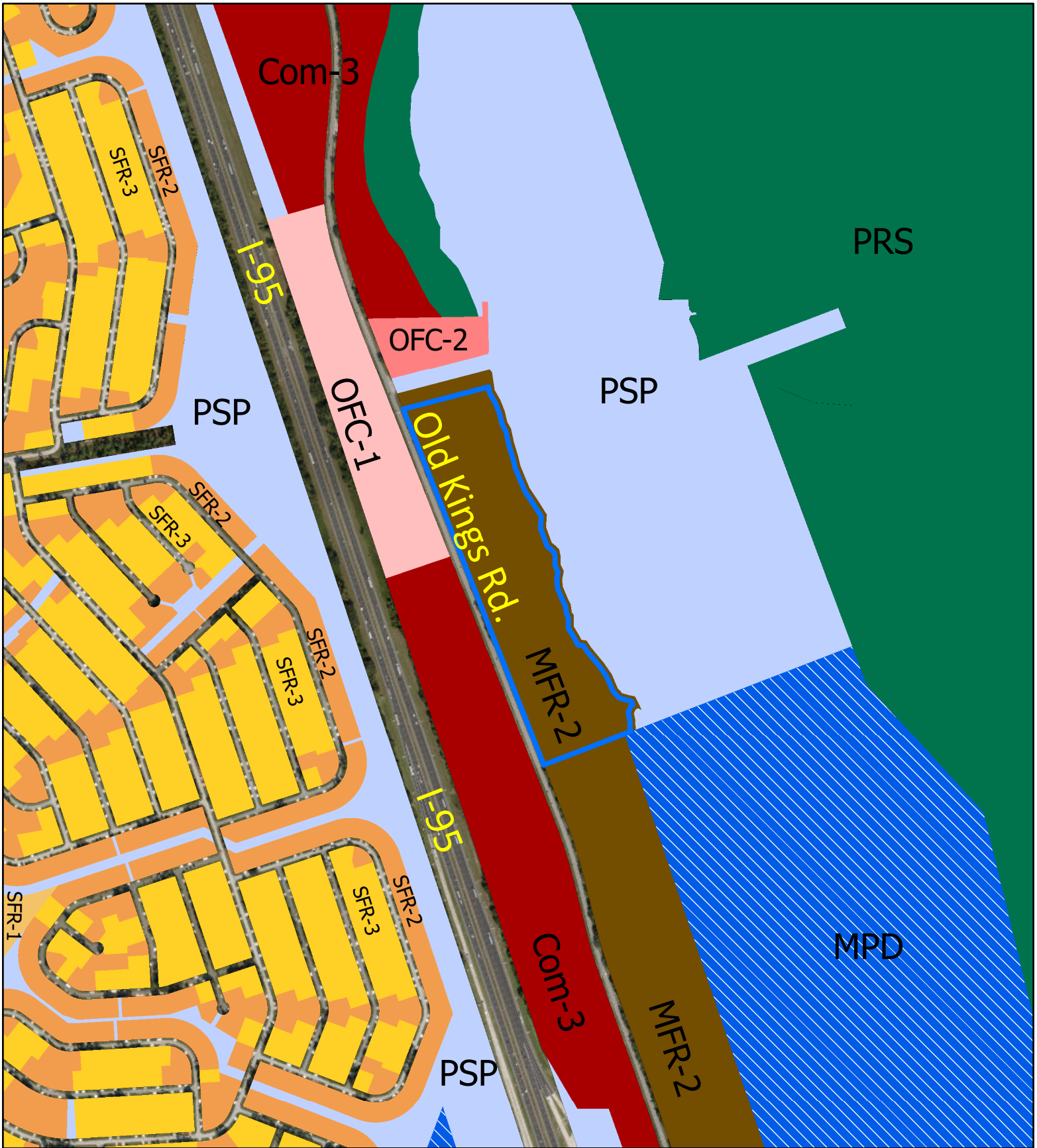
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**Map Provided by the Planning Division**

**Date: 10/18/2023**





## Current Palm Coast Zoning Districts

- Palm Coast Zoning Districts**
- COM-3
  - MFR-2
  - OFC-1
  - OFC-2
  - PRs
  - PSP
  - SFR-1
  - SFR-2
  - SFR-3
  - mpd
  - MPD, MPD pre 11-16-08 designation
  - Annexed County Areas



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Map Provided by the Planning Division

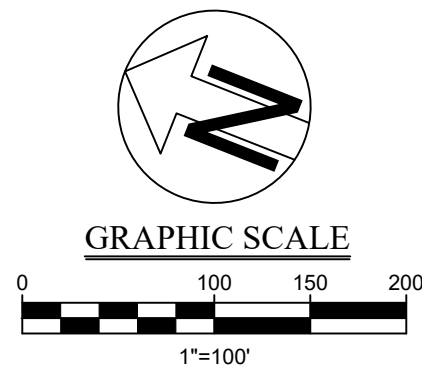
Date: 10/18/2023

SITE DATA		
TOTAL SITE	29.24 AC	1,273,694 SF
DEVELOPMENT AREA	16.16 AC	704,081 SF
WETLANDS AREA	10.63 AC	463,010 SF
CONSERVATION	6.62 AC	288,154 SF
MIXED USE	4.01 AC	174,803 SF
WETLAND BUFFER IMPACT	0.00 AC	12 SF
UPLAND BUFFER REQUIRED	1.45 AC	63,250 SF
UPLAND BUFFER PROVIDED	1.49 AC	64,789 SF
MAX ISR	11.31 AC	70%
PROPOSED ISR	9.76 AC	60.37%
BUILDING AREA	3.73 AC	162,415 SF
VEHICLE USABLE AREA	4.38 AC	190,651 SF
SIDEWALK / ROW	1.65 AC	71,974 SF
PROPOSED PERVIOUS	6.41 AC	279,041 SF
POND	1.83 AC	79,601 SF
POND COVERAGE		11%
MAX LOT COVERAGE		70%
MIN LIVING AREA		650 SF
ZONING		MFR-2
FLUM		MIXED USE CONSERVATION
PARCEL NUMBER(S)	29-11-31-0000-01010-0051 & 29-11-31-0000-01010-0050	
911 ADDRESS	OLD KINGS ROAD	
FEMA PANEL NUMBER	12035C0139E	
FLOOD ZONE	ZONE X	
MAX BUILDING HEIGHT	60'	
PROPOSED HEIGHT	46'	
SETBACKS (FRONT/SIDE/REAR)	25'/10'/20'	

PERMITTED DENSITY TABLE			
UPLANDS	18.56 AC	12 UNITS/AC	223 UNITS
WETLANDS	10.63 AC		
MIXED USE	4.01 AC	3 UNITS/AC	12 UNITS
CONSERVATION	6.62 AC	0 UNITS/AC	0 UNITS
TOTAL			
1 BEDROOM UNITS		1,221 SF	24 UNITS
2 BEDROOM UNITS		1,710 SF	132 UNITS
3 BEDROOM UNITS		1,855 SF	60 UNITS
TOTAL UNITS			
216 UNITS			

HATCH LEGEND	
PAVEMENT	
CONCRETE	
WETLANDS (MIXED USE)	
WETLANDS (CONSERVATION)	
WETLAND BUFFER	
WETLANDS IMPACTS	

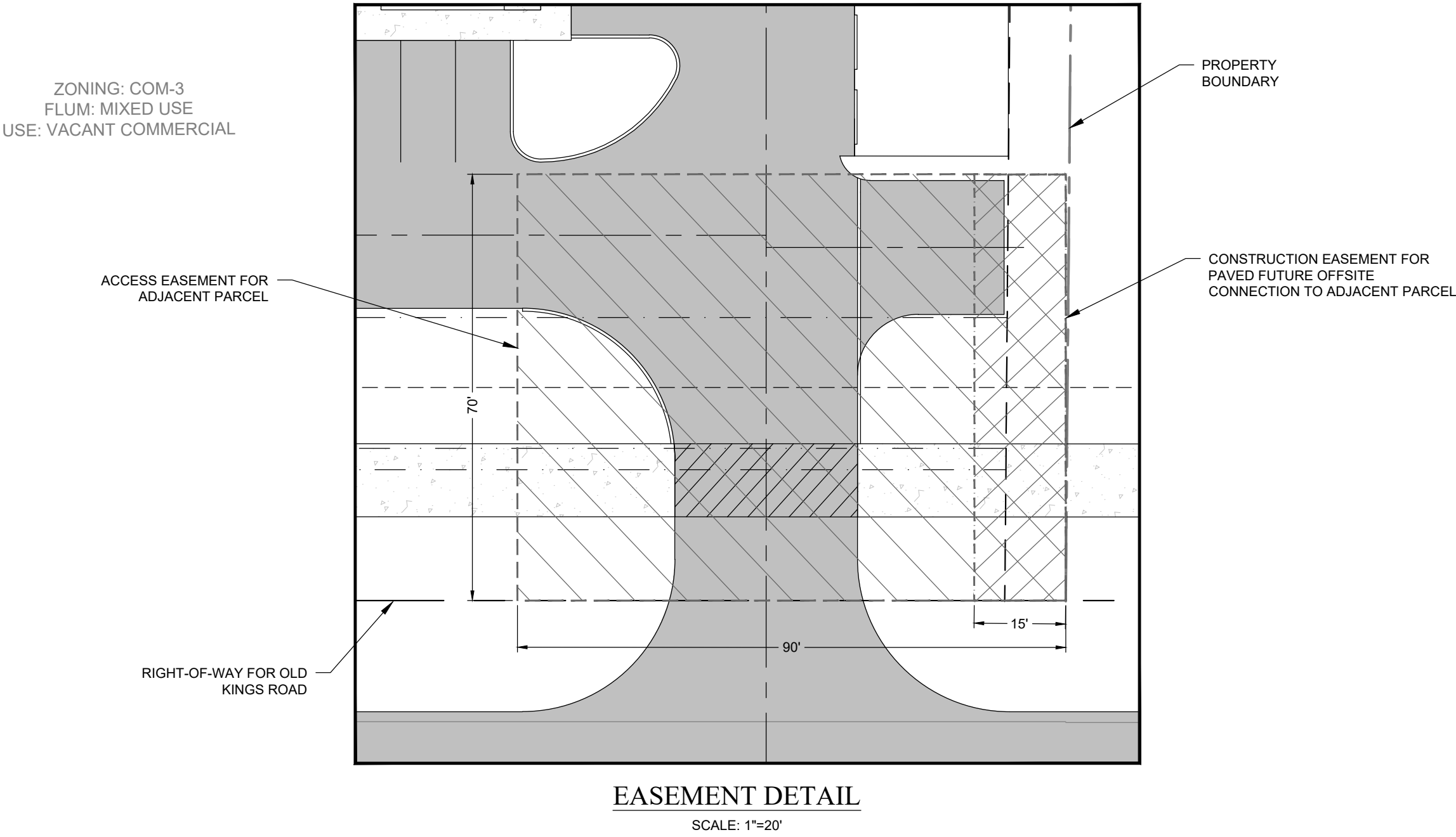
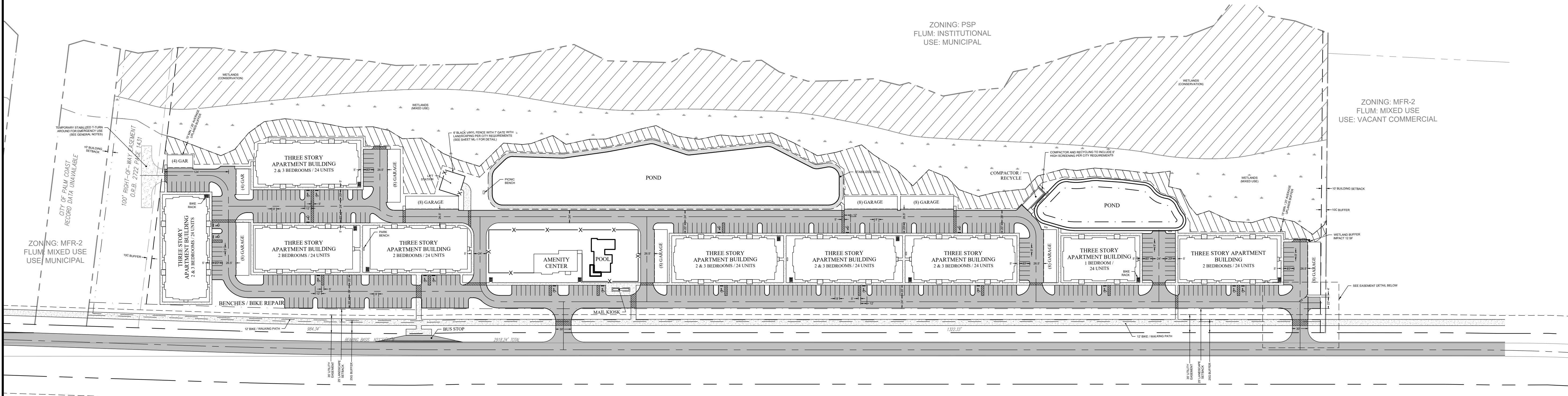
PARKING CALCULATIONS			
USE: MULTIFAMILY (2 & 3 BEDROOMS)	=	2 SPACES / UNIT	192 UNITS 384 SPACES
USE: MULTI-FAMILY (1 BEDROOM)	=	1.5 SPACES / UNIT	24 UNITS 36 SPACES
TOTAL UNITS			
216 UNITS 420 SPACES			
USE: AMENITY CENTER	=	1 SPACE / 250 SF	3,282 SF 13 SPACES
SURFACE PARKING REQUIRED	=		433 SPACES
SURFACE PARKING PROVIDED	=		363 SPACES
GARAGE SPACES REQUIRED	=		72 SPACES
GARAGE SPACES PROVIDED	=		72 SPACES
ADA GARAGE REQUIRED	=		10 SPACES
ADA GARAGE PROVIDED	=		10 SPACES
TOTAL PARKING REQUIRED	=		433 SPACES
TOTAL PARKING PROVIDED	=		435 SPACES
ADA REQUIRED	=		18 SPACES
ADA PROVIDED	=		19 SPACES
BICYCLE PARKING REQUIRED	=		44 SPACES
BICYCLE PARKING PROVIDED	=		45 SPACES



- GENERAL NOTES
1. TURN AROUND TO SUPPORT 80,000 LB. VEHICLE AND WILL REMAIN IN PLACE UNTIL A FUTURE ROAD IS CONSTRUCTED. AT THAT TIME, AN EMERGENCY ONLY DRIVEWAY CONNECTION WILL BE CONSTRUCTED AND CONTROLLED BY A GATE WITH KNOX LOCK FOR EMERGENCY USE.

This item has been digitally signed and sealed by Fred R. Jones, Jr. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



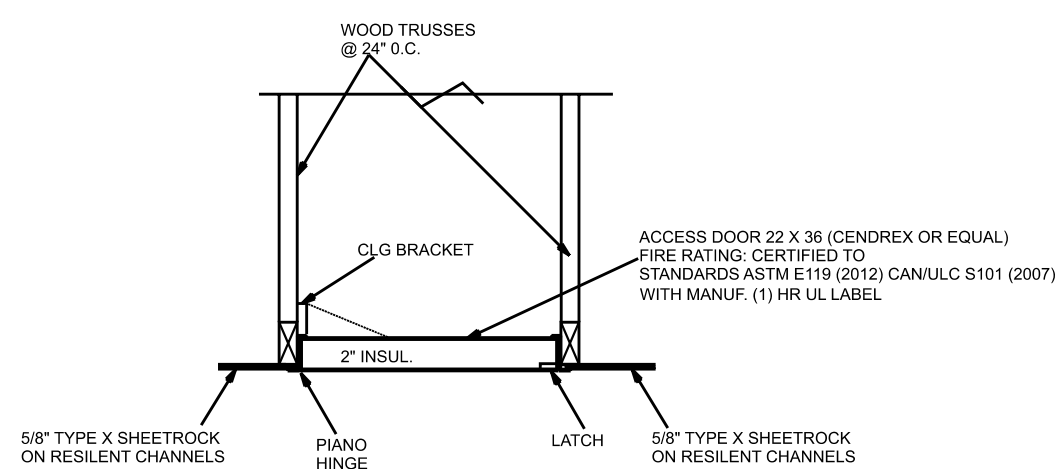
SHEET NO:	3	
	OF 12	
MASTER SITE PLAN		OLD KINGS MULTI-FAMILY CITY OF PALM COAST PREPARED FOR KINGS BUSINESS CENTER, LLC.
P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FL 32084 PHONE: 904.826.1334 • FAX: 904.826.4547 INFO@MDGINC.COM		
MATTHEWS   DCCM		REGISTERED ENGINEER CAROLISS FL #42614
P.E.		
DESIGN BY: SAK		NO. DATE
DRAWN BY: M.M.		
CHK BY: RAM		DATE: 05-17-2023
JOB NO: 22111		



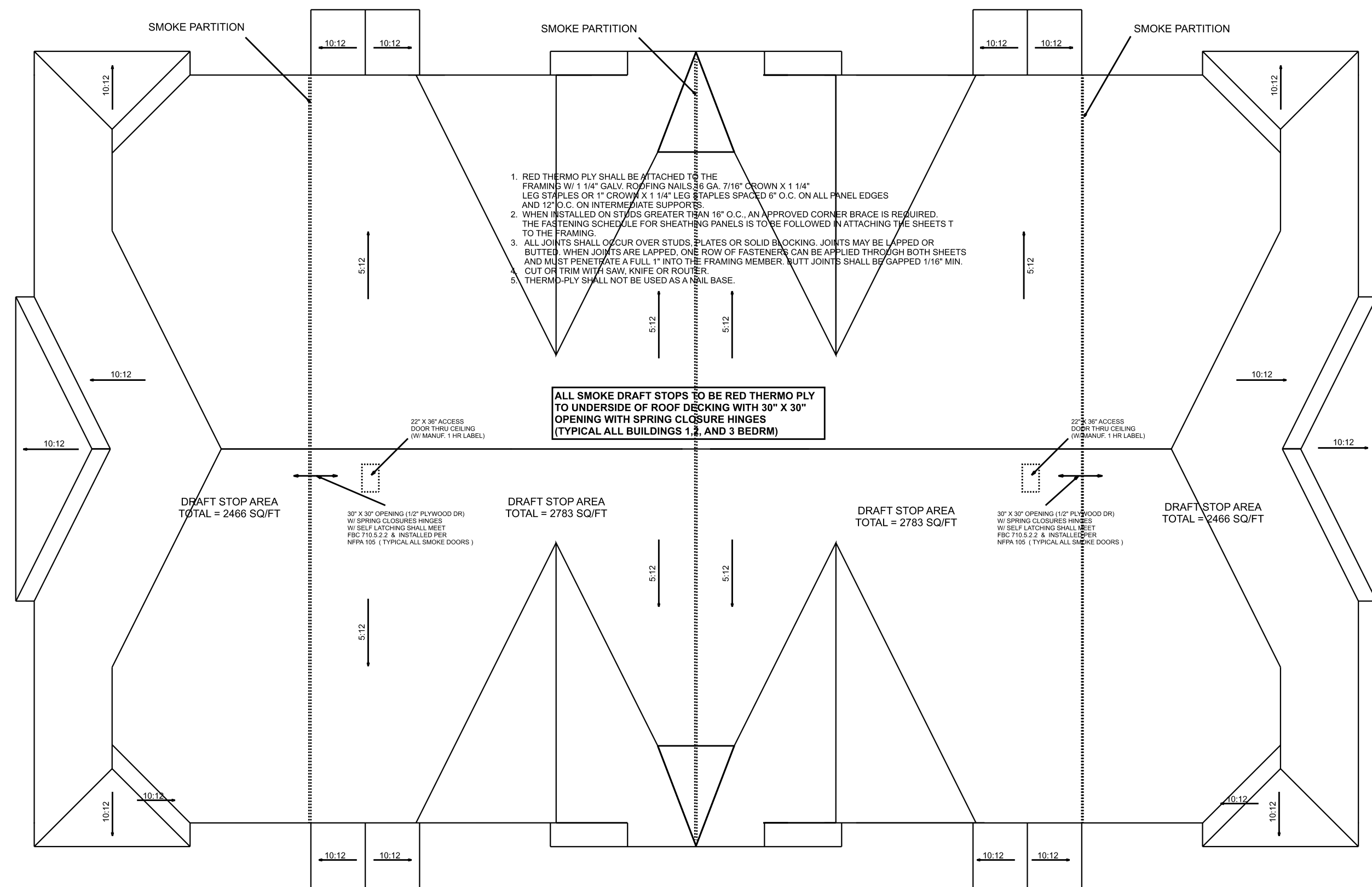


FRONT AND REAR ELEVATION - 1 BR 1 BATH LUXURY THREE STORY (24 UNIT) (BLDG # 9) SC:1/8"=1'0"

PREFINISHED GUTTERS AND DOWNSPOUTS (ALL SIDES) FOR ROOF DRAINAGE CONTROL



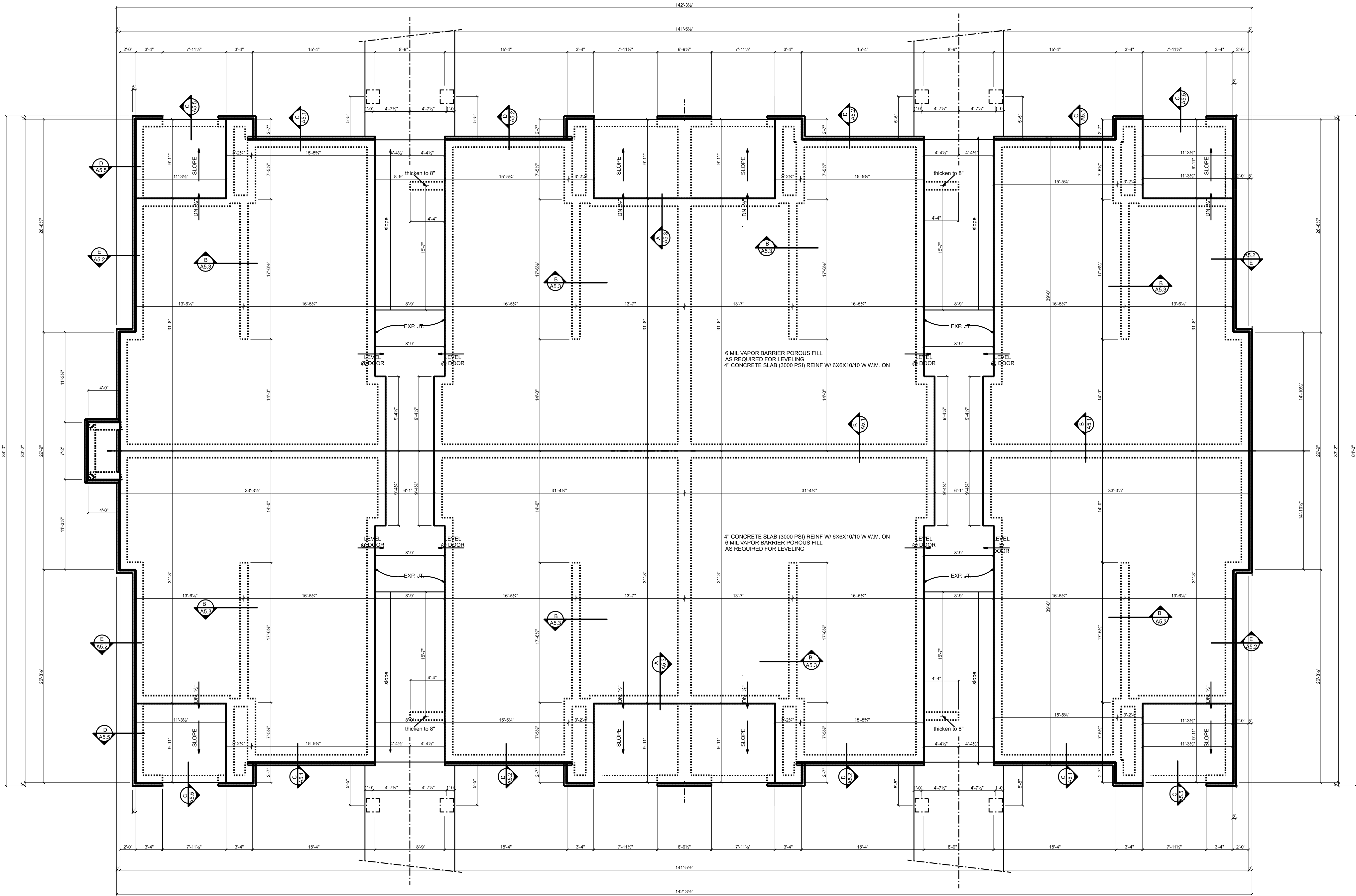
TYP. FIRE RATED INSULATED ACCESS DOOR SC:3/4"=1'-0"



ROOF PLAN FOR 1 BR 1 BATH LUXURY THREE STORY (24 UNIT)(BLDG # 9) (NTS)



LEFT AND RIGHT ELEVATION - 1 BR 1 BATH LUXURY THREE STORY (BLDG # 9) SC:1/8"=1'0"

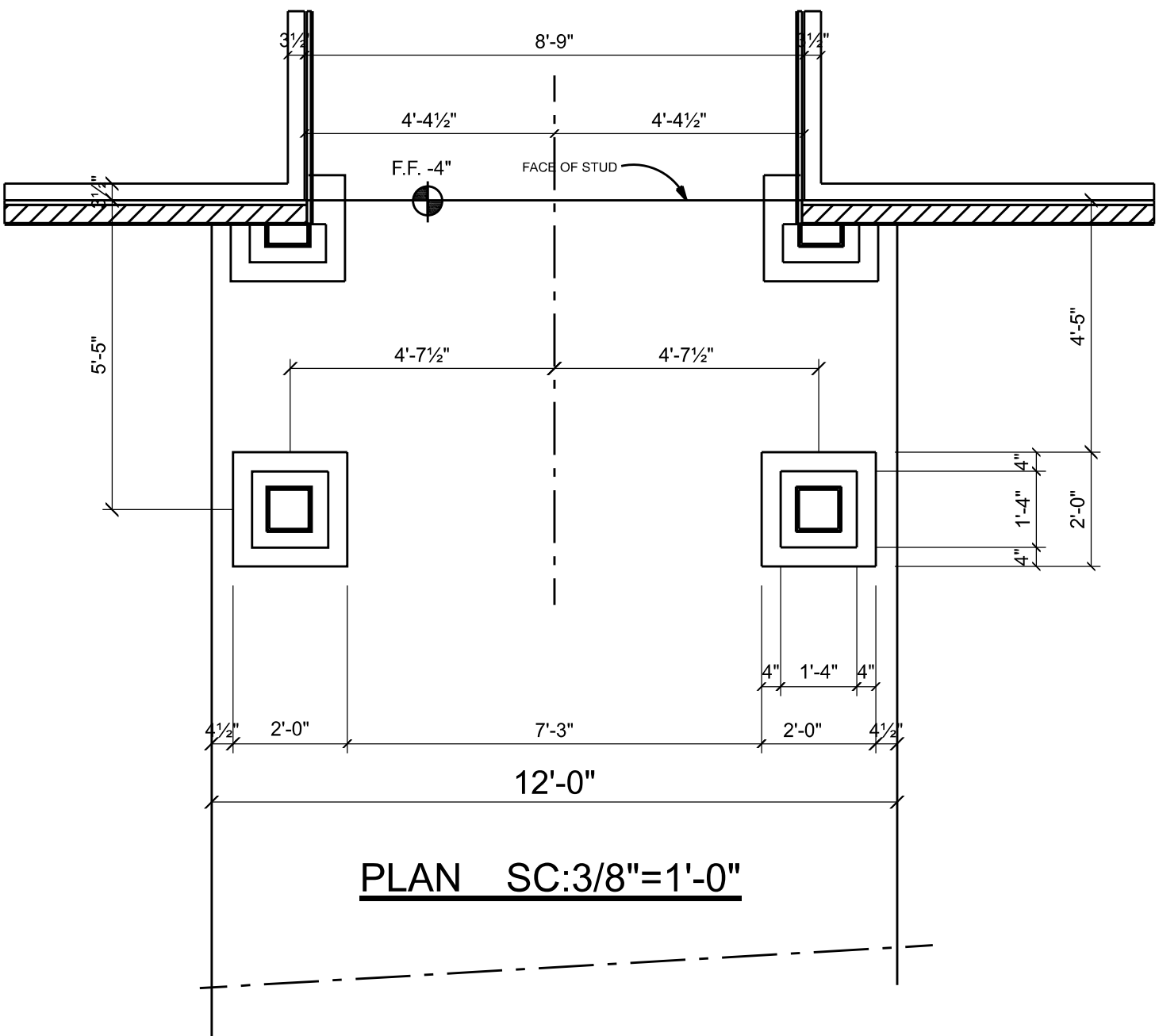


FOUNDATION LAYOUT PLAN ONLY for ; 1 BR / 1 BATH LUXURY THREE STORY (24 UNIT)

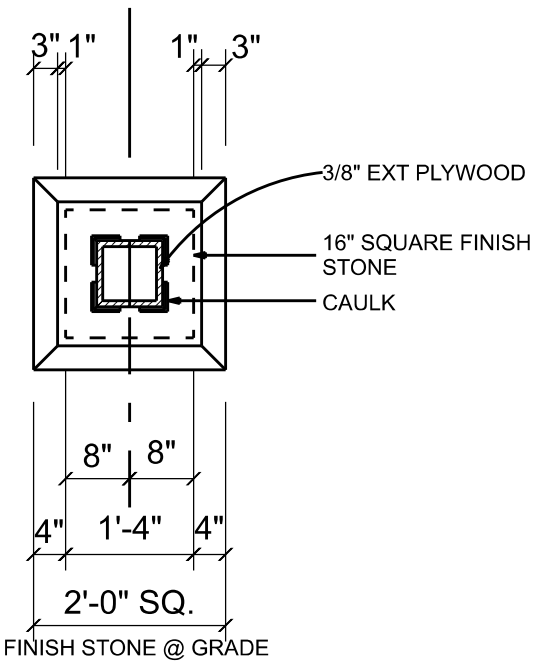
BLDG # 4

SCALE 3/16"=1'-0"

NOTE: FOR FOOTING DESIGN AND STRUCTURAL NOTES SEE STRUCTURAL SHEETS

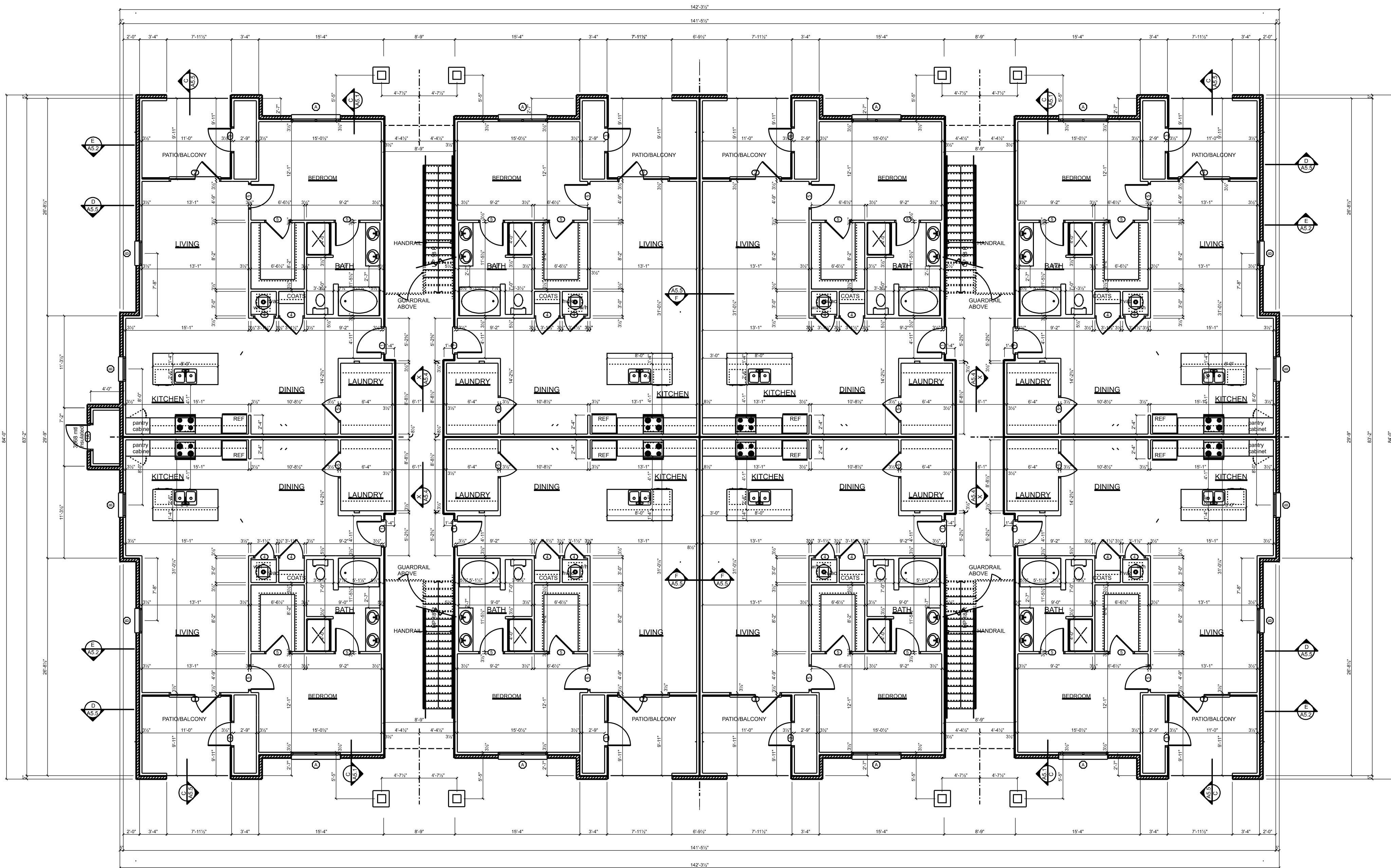


PLAN SC:3/8"=1'-0"



LARGE SCALE SECTION OF COLUMN BASE SCALE 1/2"=1'-0"





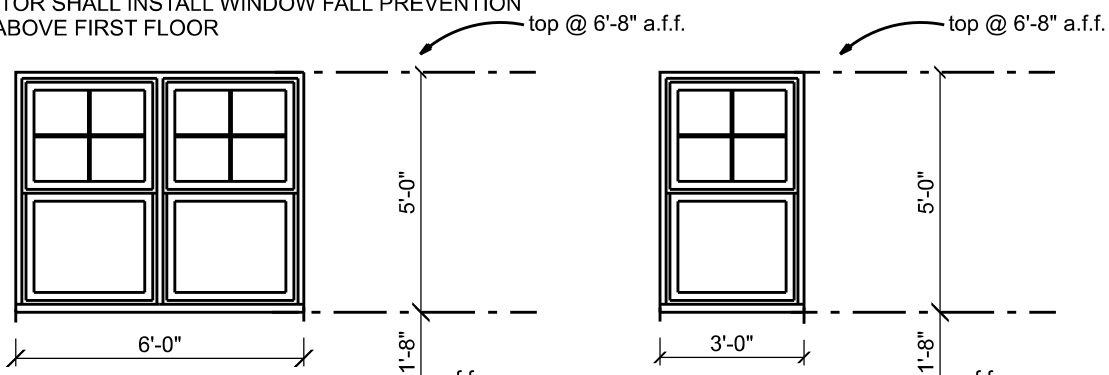
**FLOOR PLAN - 1 BR / 1 BATH LUXURY THREE STORY (24 UNIT) (BLDG #4) SC 1/8"=1'0"**

NOTE: SEE ADA PLAN @ 1 BR / 1 BATH (BLDG #4) (SHEET A.4.0.) FOR 1 ADA UNIT AT THIS BLDG. ON FIRST FLOOR

NOTE: SECOND & THIRD FLOOR PLANS SIMILAR

GENERAL CONTRACTOR SHALL COORDINATE FINAL APPROVAL OF PORTABLE FIRE EXTINGUISHERS PER NFPA 1 SECTION 13.6.3, CLASS, NUMBER, LOCATION AND SPACING WITH FIELD INSPECTOR

NOTE: WINDOWS (A) AND (B) LOCATED ABOVE FIRST FLOOR SHALL COMPLY W/ FBC 61015.8 AND ASTM F2090-17 1.3. CONTRACTOR SHALL INSTALL WINDOW FALL PREVENTION DEVICES ABOVE FIRST FLOOR



TWIN 3" X 5" ALUM. OR VINYL FRAME (OWNER OPTION) SINGLE HUNG AND SASH (COLOR TO BE SELECTED) INSULATED GLAZING WITH FULL SCREEN

3" X 5" ALUM. OR VINYL FRAME (OWNER OPTION) SINGLE HUNG AND SASH (COLOR TO BE SELECTED) INSULATED GLAZING WITH FULL SCREEN

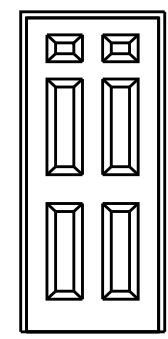
TO MEET 2017 FBC CODE FOR IMPACT LOADS

TO MEET 2017 FBC CODE FOR IMPACT LOADS

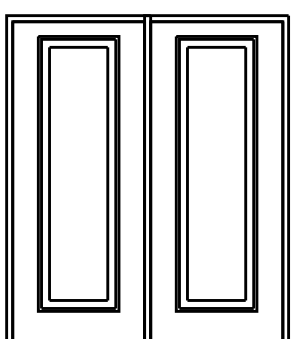
2" X 3" ALUM. OR VINYL FRAME (OWNER OPTION) SINGLE HUNG AND SASH (COLOR TO BE SELECTED) INSULATED GLAZING WITH FULL SCREEN

TO MEET 2017 FBC CODE FOR IMPACT LOADS

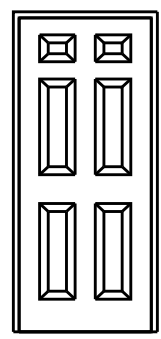
NOTE: UNITS SHALL HAVE ACCESSIBLE THRESHOLD IN COMPLIANCE W/ FAIR HOUSING ACT REQUIREMENT 4



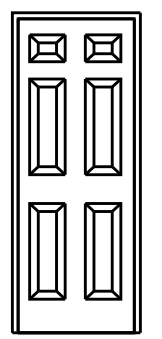
3'-0" X 6'-8" X 13'-4" INSUL. METAL PRE-HUNG DOOR & FRAME RATED 45 min. w/ required hardware (ENTRANCE DOOR)



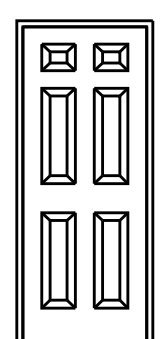
SEE PLAN FOR HAND PAIR 3'-0" X 6'-8" X 13'-4" INSUL. GL. / METAL PRE-HUNG PATIO DOOR



3'-0" X 6'-8" X 13'-4" INSUL. METAL PRE-HUNG



2'-8" X 6'-8" X 1'-3/8" PRE-HUNG H. CORE INT. GRADE (@ MECHANICAL AND COAT RM.)



2'-10" X 6'-8" X 1'-3/8" PRE-HUNG H. CORE INT. GRADE

NOTE: UNITS SHALL HAVE ACCESSIBLE THRESHOLD IN COMPLIANCE W/ FAIR HOUSING ACT REQUIREMENT 4

NOTE: UNITS SHALL HAVE ACCESSIBLE THRESHOLD IN COMPLIANCE W/ FAIR HOUSING ACT REQUIREMENT 4

**GRAPHIC DOOR SCHEDULE**  
SCALE 1/4"=1'-0"

**FIRE PROTECTION NOTES:**

- EACH FIRE PROTECTION SUBCONTRACTOR SHALL SUBMIT PLANS FOR EVALUATION AND APPROVAL PRIOR TO COMMENCEMENT OF NEW WORK, UPON ISSUANCE OF EACH BUILDING PERMIT.
- ALL BUILDINGS - ROOF AND FLOOR ARE CONSTRUCTED OF LIGHT FRAME TRUSS. STRUCTURE SHALL BE POSTED WITH SIGNAGE MEETING THE REQUIREMENTS OF THE FLORIDA ADMINISTRATIVE CODE, 69A-60.081.
- ALL BUILDINGS: THE ELEVATION OF THE FLOOR SURFACE ON BOTH SIDES OF ANY DOOR SHALL NOT VARY BY MORE THAN 1/2". SHALL BE MAINTAINED ON BOTH SIDES OF THE DOOR OPENING FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES IN EXCESS OF 1/4 INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:12. NFPA 101. 7.2.1.3.2 7.2.1.3.3, FLORIDA, 2015 EDITION.
- GENERAL CONTRACTOR SHALL COORDINATE FINAL APPROVAL OF PORTABLE FIRE EXTINGUISHERS PER NFPA 1 SECTION 13.6.3, CLASS, NUMBER, LOCATION AND SPACING WITH FIELD INSPECTOR. FIRE EXTINGUISHERS MINIMUM 2A 10B:C CLASSIFICATION FIRE EXT. MINIMUM ONE FOR EVERY 3000 SQ FT. NFPA 1, 13.6. FLORIDA 2015 EDITION. (TYPICAL ALL BUILDINGS)

SCHEDULE OF ROOM FINISHES											
ROOM	FLOOR		BASE	WALLS		CEILING		REMARKS			
	SHEET VINYL	CARPET	CONCRETE	GYP. CRETE	WOOD	WOOD	MDF	GYP. BOARD	PAINT	CONC. SIDING	
FOYER	●										
COATS	●										
LIVING		●									
DINING		●									
KITCHEN		●									
UTILITY											
HALL		●									
BEDROOMS		●									
CLOSETS		●									
BATHS		●									
MECHANICAL		●									
STORAGE/CLOSET		●									
OUTSIDE STORAGE											
PATIO/BALCONY											
BREEZEWAY											
STUDY/DEN		●									

**GRAPHIC WINDOW SCHEDULE**  
SCALE 1/4"=1'-0"

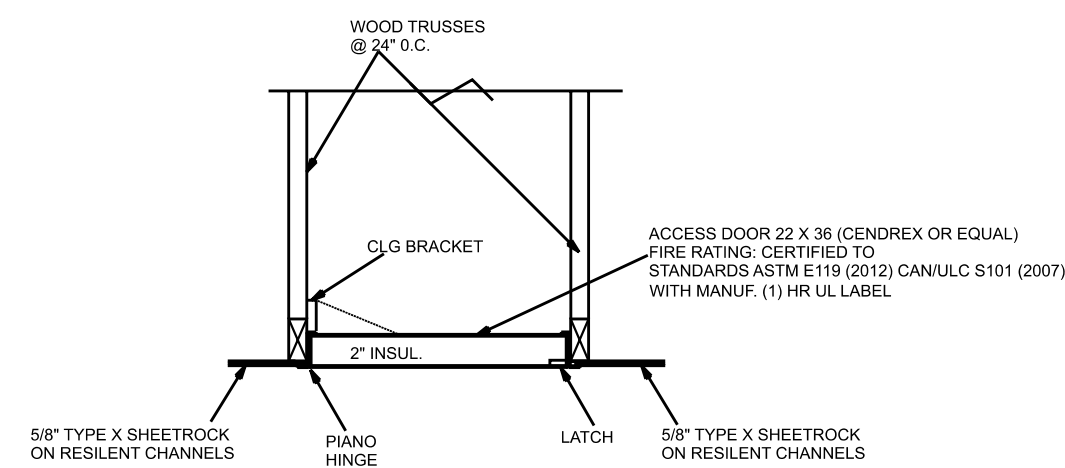
GENERAL CONTRACTOR SHALL PROVIDE  
STATE OF FLORIDA PRODUCT APPROVAL NUMBERS  
FOR ALL EXTERIOR DOORS





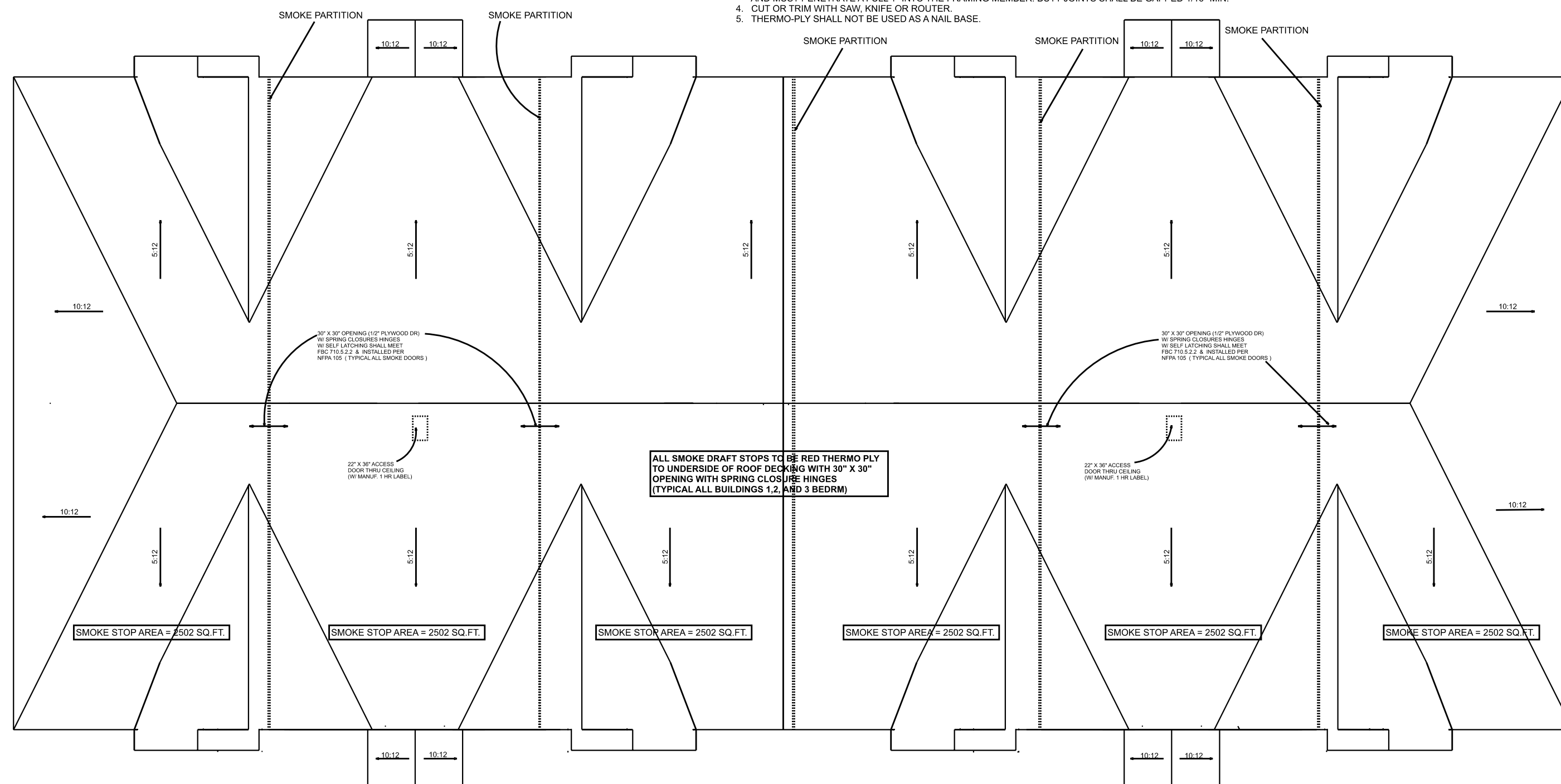
FRONT & REAR ELEVATION - 2 BR LUXURY THREE STORY (24 UNIT) (BLDGS 5,6 & 10) SCALE 1/8"=1'-0"

PREFINISHED GUTTERS AND DOWNSPOUTS (ALL SIDES) FOR ROOF DRAINAGE CONTROL

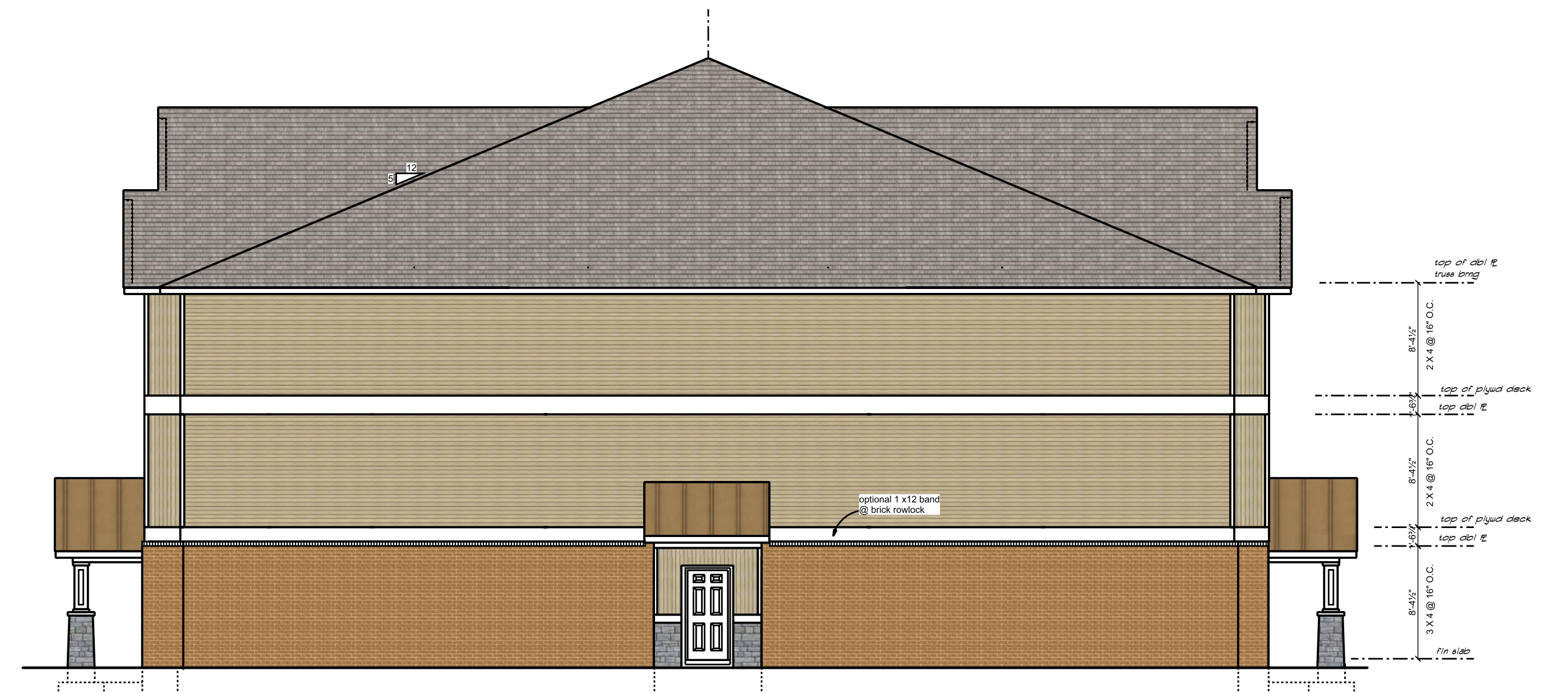


TYP. FIRE RATED INSULATED  
ACCESS DOOR SC:3/4"=1'-0'

1. RED THERMO PLY SHALL BE ATTACHED TO THE FRAMING W/ 1 1/4\"/>
2. WHEN INSTALLED ON STUDS GREATER THAN 16\"/>
3. ALL JOINTS SHALL OCCUR OVER STUDS, PLATES OR SOLID BLOCKING. JOINTS MAY BE LAPPED OR BUTTED. WHEN JOINTS ARE LAPPED, ONE ROW OF FASTENERS CAN BE APPLIED THROUGH BOTH SHEETS AND MUST PENETRATE A FULL 1\"/>
4. CUT OR TRIM WITH SAW, KNIFE OR ROUTER.
5. THERMO PLY SHALL NOT BE USED AS A NAIL BASE.



ROOF PLAN for BLDGS 5,6 & 10 - TWO BR LUXURY THREE STORY (24 UNIT) (NTS)

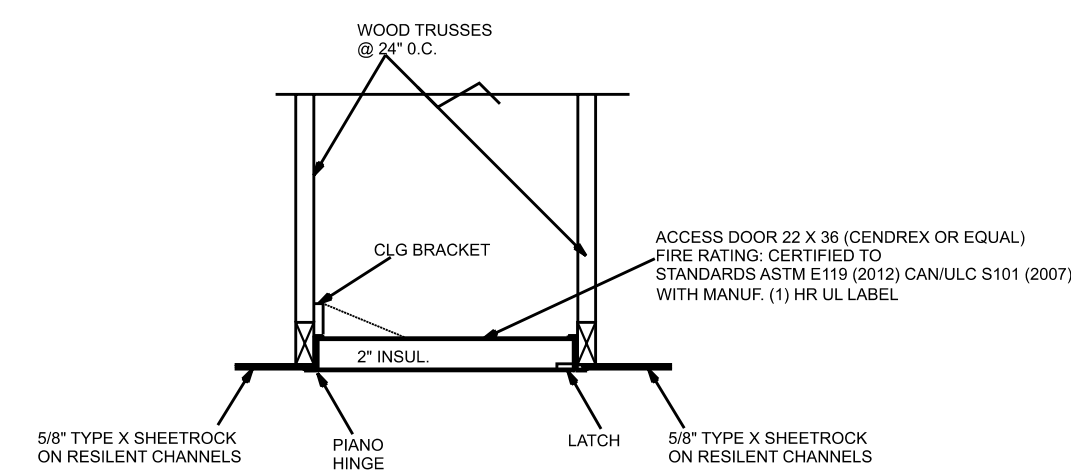


LEFT & RIGHT ELEVATION - 2 BR LUXURY THREE BEDROOM THREE STORY (24 UNIT) (BLDGS 5,6 & 10) SC:1/8"=1'-0"





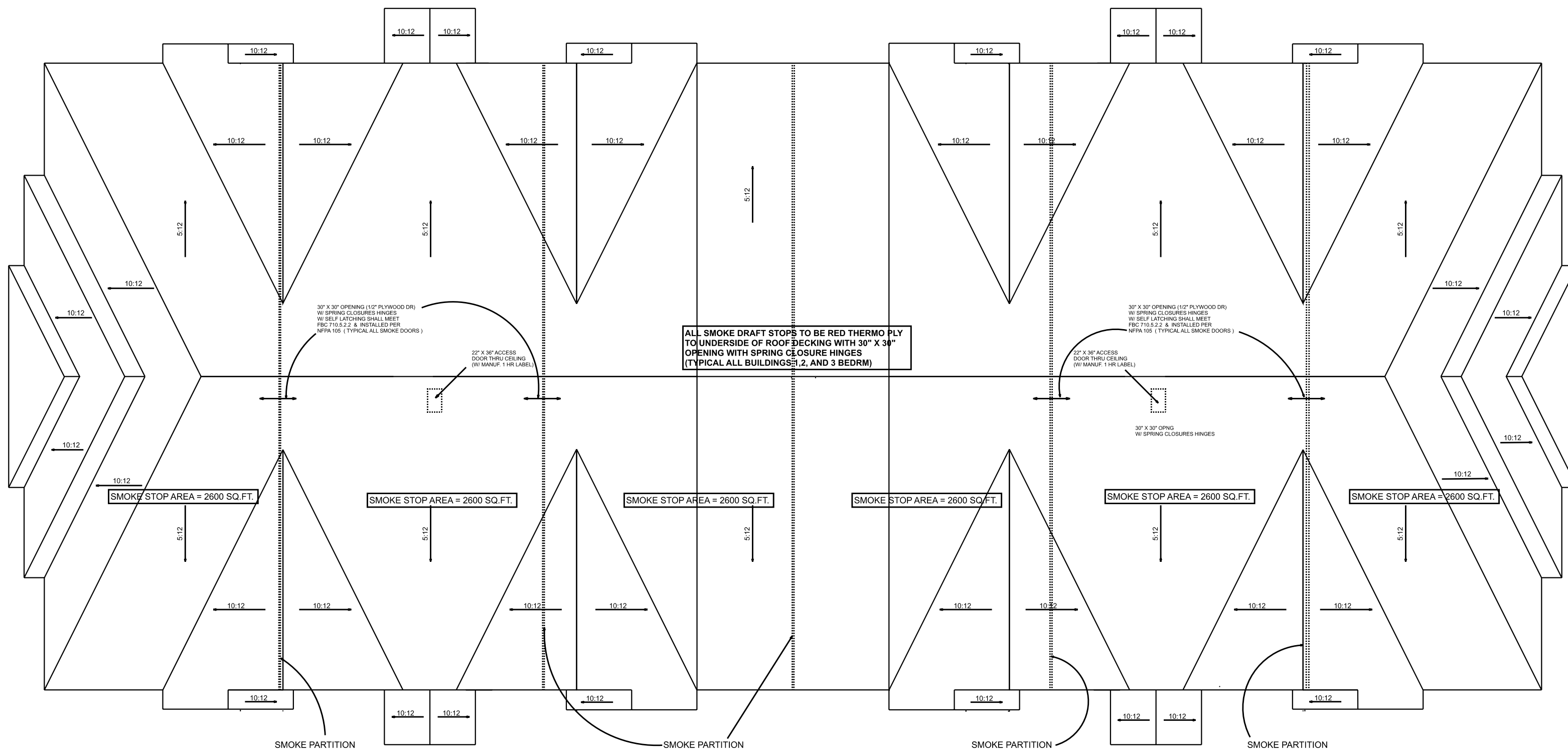
**FRONT & REAR ELEVATION - 2 BR LUXURY / THREE BEDROM LUXURY THREE STORY (24 UNIT) (BLDG 1,2,3,4,7,8 & 11) SC:1/8"=1'0"**  
PREFINISHED GUTTERS AND DOWNSPOUTS (ALL SIDES) FOR ROOF DRAINAGE CONTROL



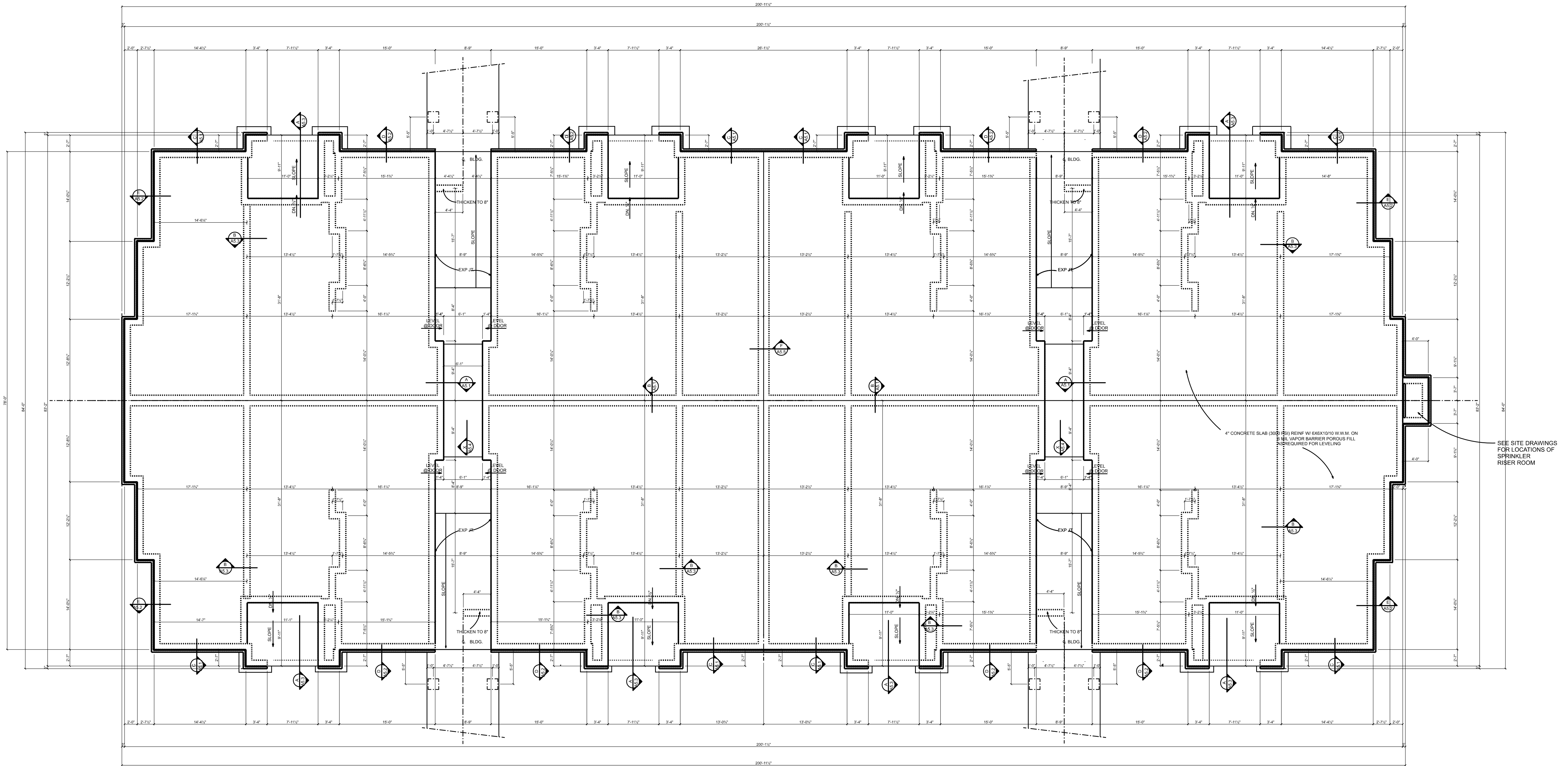
**TYP. FIRE RATED INSULATED ACCESS DOOR SC:3/4"=1'-0"**



**LEFT & RIGHT ELEVATION - 2 BR LUXURY / THREE BEDROOM LUXURY THREE STORY (24 UNIT) (BLDG 1,2,3,4,7,8 & 11) SC:1/8"=1'0"**  
PREFINISHED GUTTERS AND DOWNSPOUTS (ALL SIDES) FOR ROOF DRAINAGE CONTROL



**ROOF PLAN 2 BR LUXURY / THREE BEDROM LUXURY THREE STORY (24 UNIT) ( BLDGS 1,2,3,4,7,8 & 11) ( NTS)**



FOUNDATION LAYOUT PLAN ONLY for ; 2 BR / 2 BATH LUXURY / 3 BEDROOM LUXURY THREE STORY

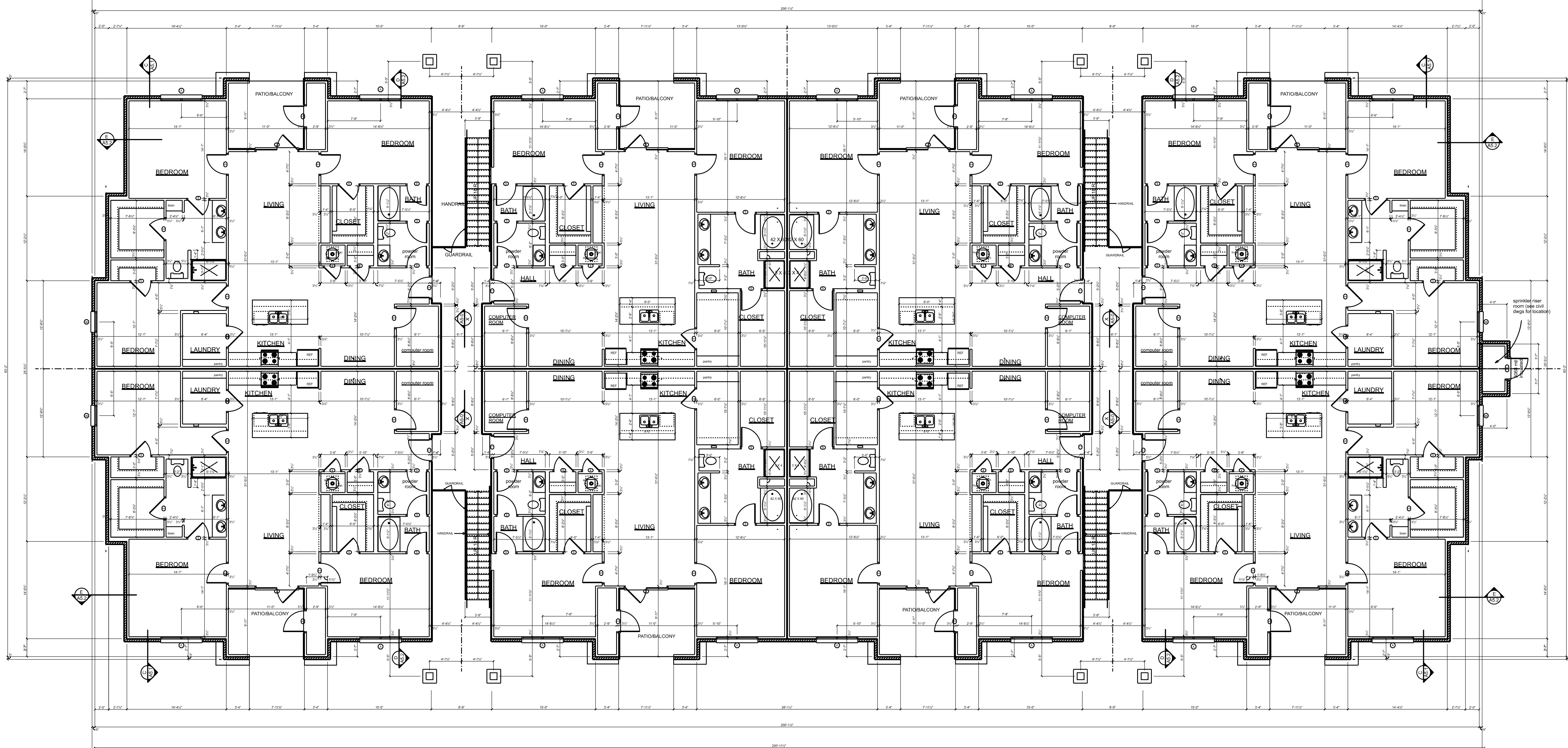
BLDGs # 1,2,3,5,6,8 & 9

SC 1/8"=1'0"

7-20-2021

NOTE: FOR FOOTING DESIGN AND STRUCTURAL NOTES SEE STRUCTURAL SHEETS

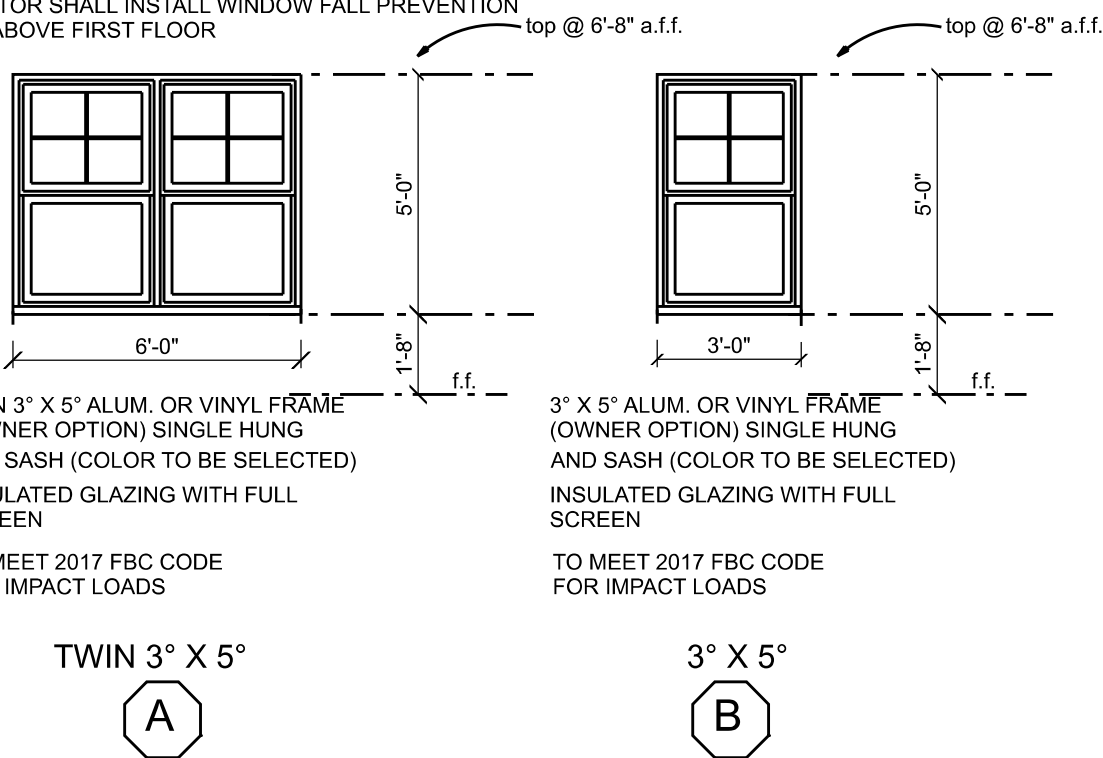




**FLOOR PLAN - 2 BR / 2 BATH LUXURY / 3 BEDROOM LUXURY THREE STORY**  
**BLDGs # 1,2,3,5,6,8 & 9** 7-20-2021 / 9-8-2021 **SC 1/8"=1'-0"**  
\* NOTE: SEE ADA PLAN FOR BLDGS # 1 & 6 (1 EACH) 2 BDRM ADA AND BLDGS # 3 & 9 (1 EACH) 3 BDRM ADA

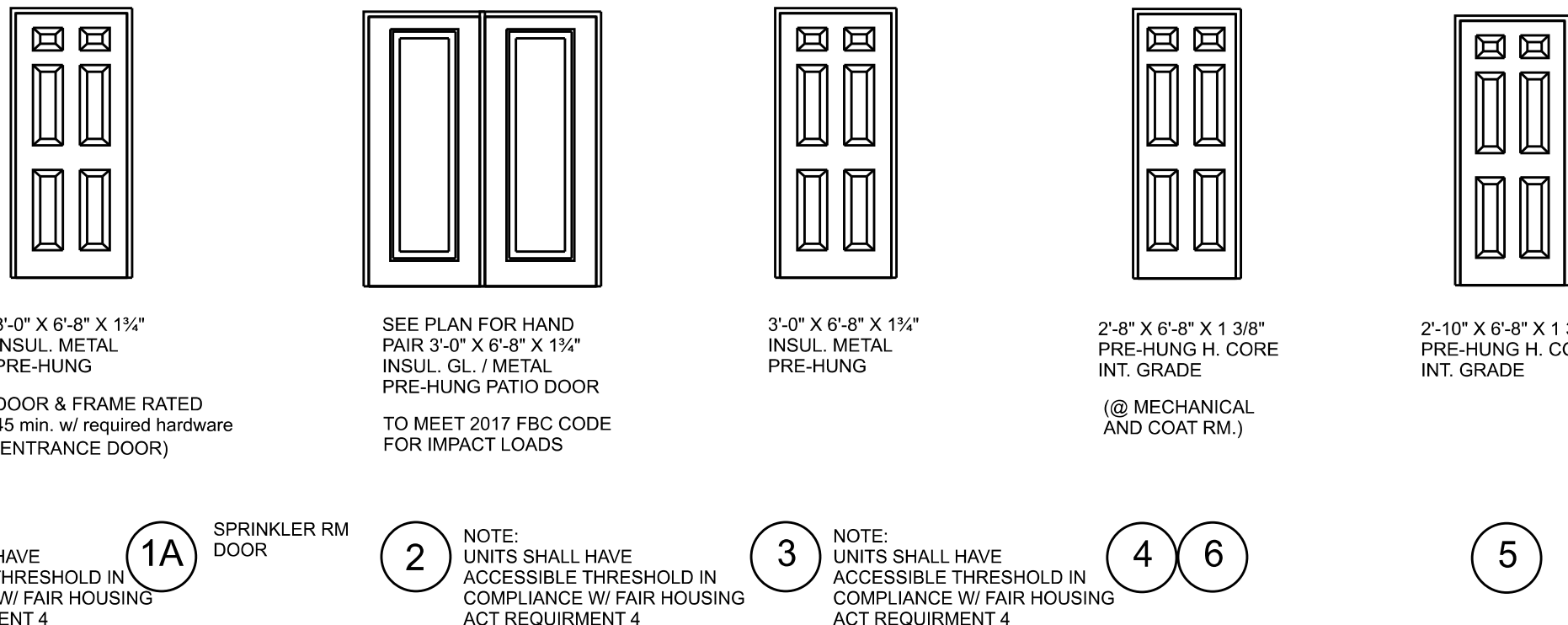
NOTE: SECOND & THIRD FLOOR PLANS SIMILAR

NOTE: WINDOWS (A) AND (B) LOCATED ABOVE FIRST FLOOR SHALL COMPLY W/ FBC-B1015.8 AND ASTM F2090-17 1.3. CONTRACTOR SHALL INSTALL WINDOW FALL PREVENTION DEVICES ABOVE FIRST FLOOR



**GRAPHIC WINDOW SCHEDULE**  
SCALE 1/4"=1'-0"

GENERAL CONTRACTOR SHALL COORDINATE FINAL APPROVAL OF PORTABLE FIRE EXTINGUISHERS PER NFPA 1 SECT 13.6.3, CLASS, NUMBER, LOCATION AND SPACING WITH FIELD INSPECTOR



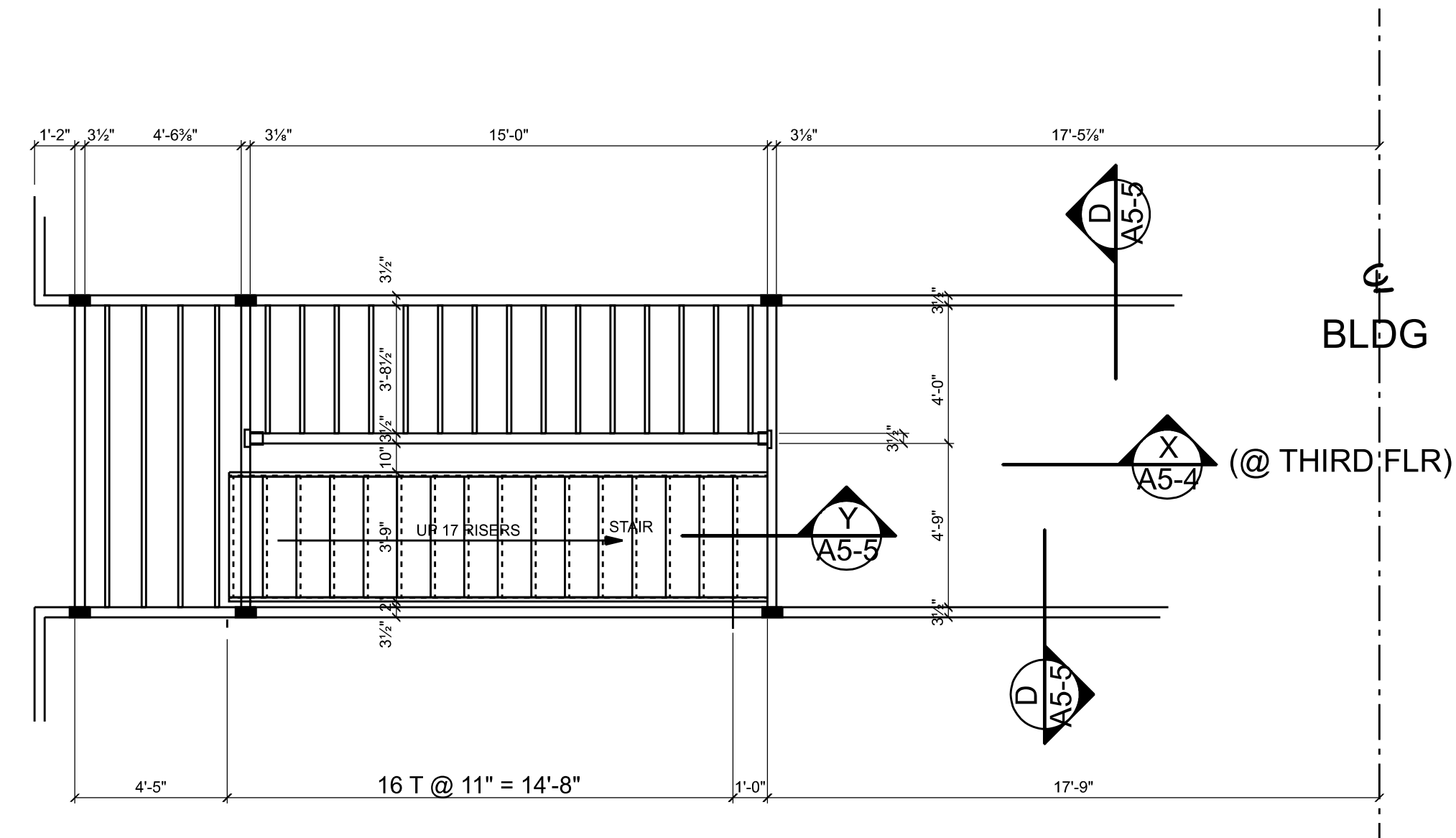
**GRAPHIC DOOR SCHEDULE**  
SCALE 1/4"=1'-0"

**FIRE PROTECTION NOTES:**

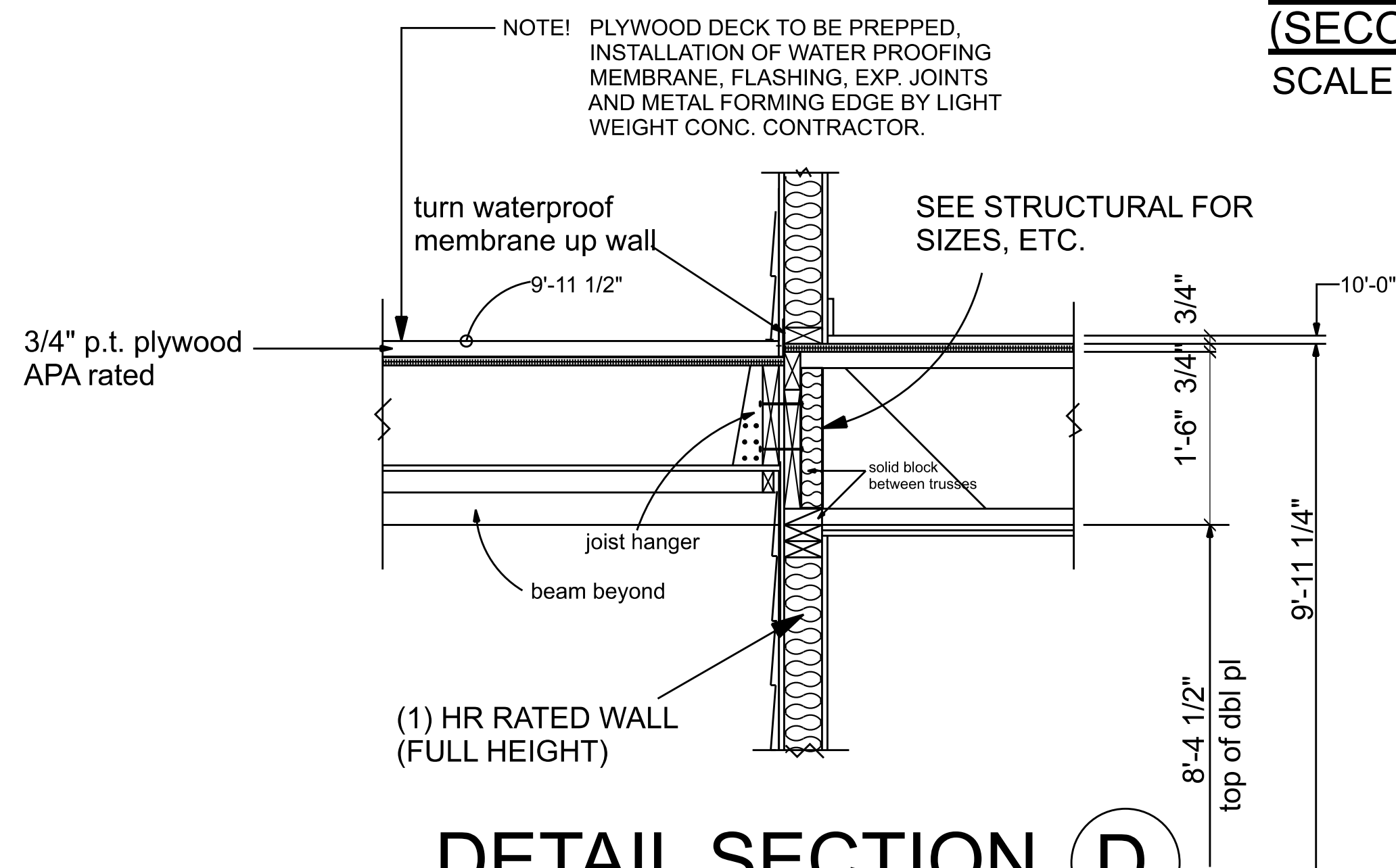
- EACH FIRE PROTECTION SUBCONTRACTOR SHALL SUBMIT PLANS FOR EVALUATION AND APPROVAL PRIOR TO COMMENCEMENT OF NEW WORK, UPON ISSUANCE OF EACH BUILDING PERMIT.
- ALL BUILDINGS - ROOF AND FLOOR ARE CONSTRUCTED OF LIGHT FRAME TRUSS. STRUCTURE SHALL BE POSTED WITH SIGNAGE MEETING THE REQUIREMENTS OF THE FLORIDA ADMINISTRATIVE CODE, 69A-60.081.
- ALL BUILDINGS: THE ELEVATION OF THE FLOOR SURFACE ON BOTH SIDES OF ANY DOOR SHALL NOT VARY BY MORE THAN 1/2". SHALL BE MAINTAINED ON BOTH SIDES OF THE DOOR OPENING FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES IN EXCESS OF 1/4 INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:12. NFPA 101, 7.2.1.3.2 7.2.1.3.3, FLORIDA, 2015 EDITION.
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SCHEDULE OF ROOM FINISHES										
ROOM	FLOOR	BASE	WALLS			CEILING	REMARKS			
	SHEET VINYL CARPET	CONCRETE	GYP-CRETE	WOOD	WOOD	GYP BOARD	SLICK GLG	CONC. PANELS	PAINT	
FOYER	●			●	●	●	●	●		REFER TO WALL SECTIONS FOR SUB FLOOR MATERIAL
COATS	●			●	●	●	●	●		
LIVING	●			●	●	●	●	●		
DINING	●			●	●	●	●	●		
KITCHEN	●			●	●	●	●	●		
UTILITY	●			●	●	●	●	●		
HALL	●			●	●	●	●	●		
BEDROOMS	●			●	●	●	●	●		
CLOSETS	●			●	●	●	●	●		
BATHS	●			●	●	●	●	●		
MECHANICAL	●	●		●	●	●	●	●		
STORAGE/CLOSET	●			●	●	●	●	●		
OUTSIDE STORAGE		●		●	●	●	●	●		
PATIO/BALCONY		●		●	●	●	●	●		
BREEZEWAY		●		●	●	●	●	●		
STUDY/DEN	●			●	●	●	●	●		

GENERAL CONTRACTOR SHALL PROVIDE STATE OF FLORIDA PRODUCT APPROVAL NUMBERS FOR ALL EXTERIOR DOORS

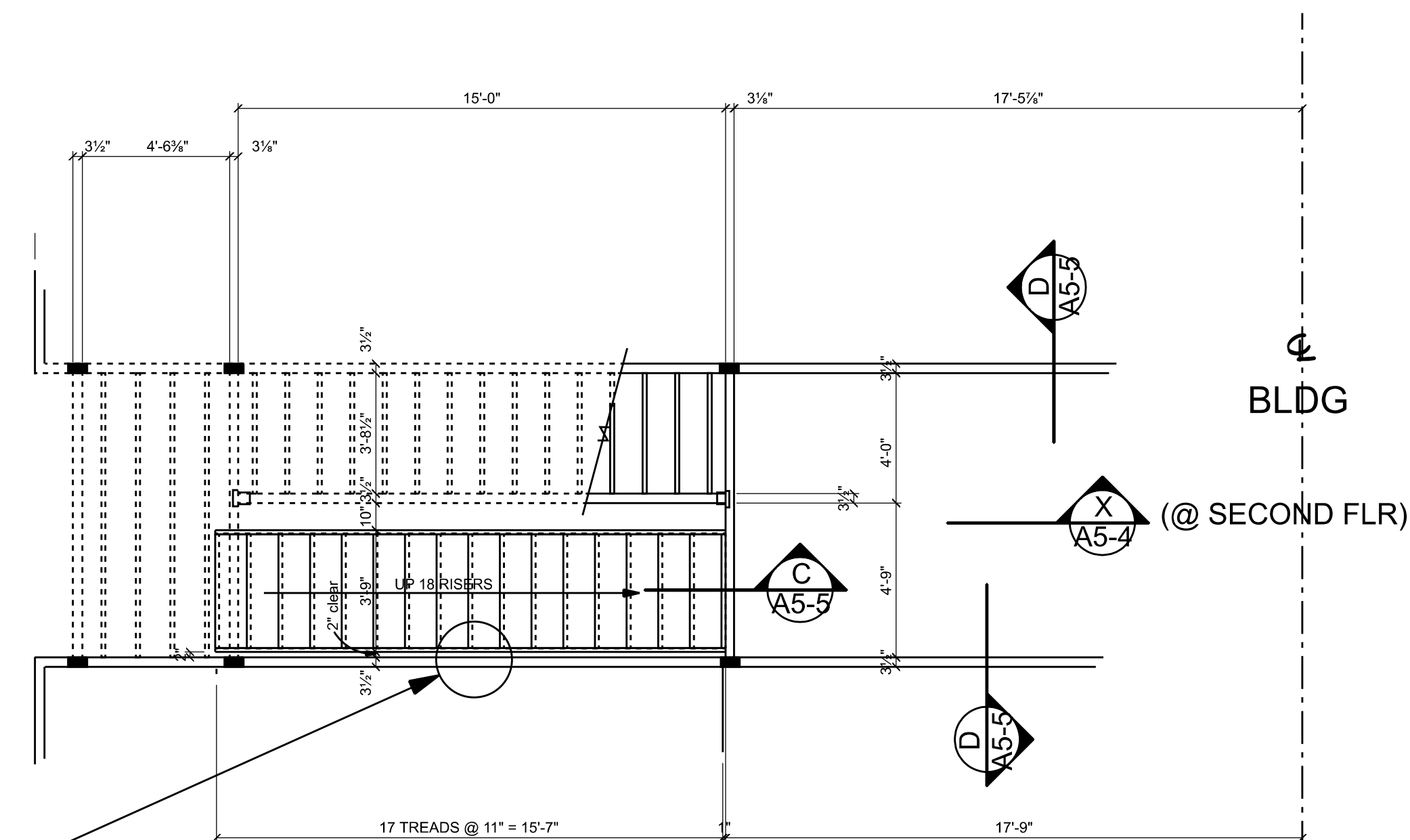


**STAIR FRAMING PLAN @ BREEZEWAY  
(SECOND FLOOR TO THIRD FLOOR)**  
SCALE 1/4"=1'-0"

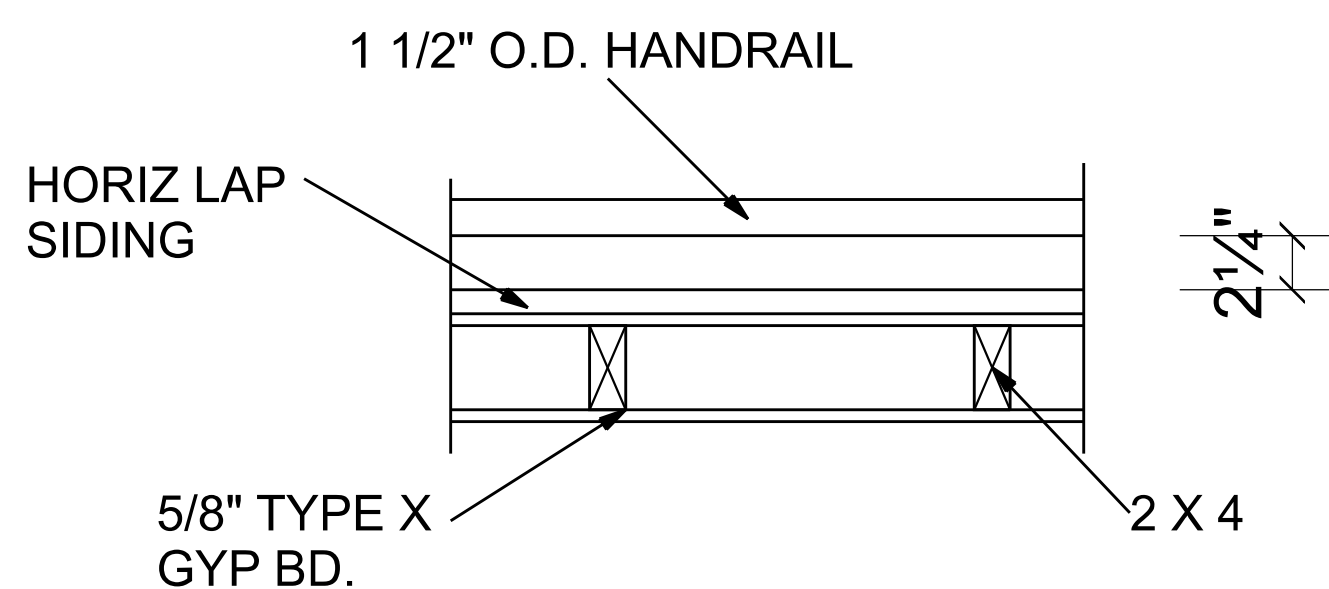


**DETAIL SECTION D**  
SCALE 1"=1'-0"

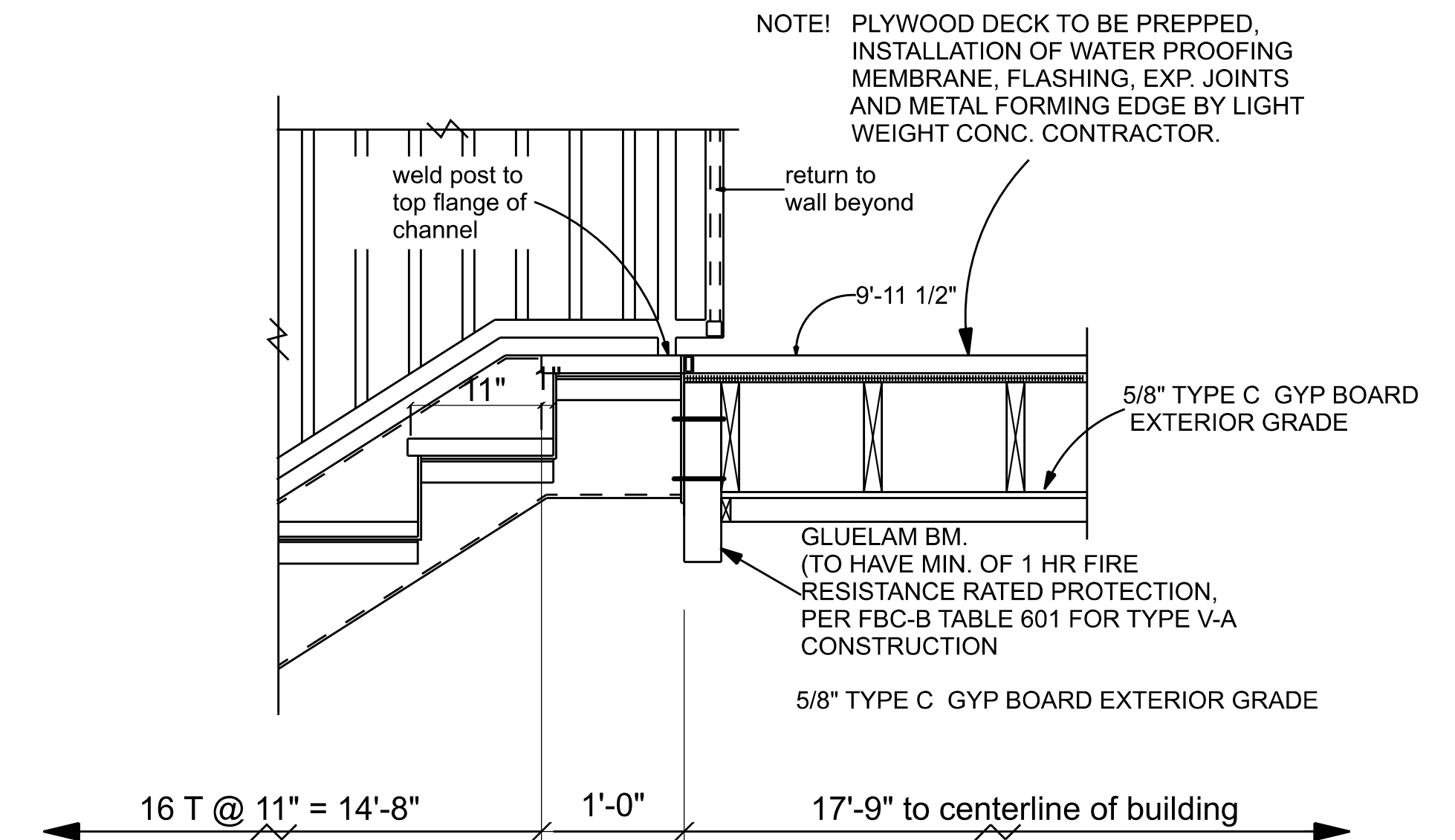
**DIMENSIONS ONLY FOR LAYOUT  
ALL MATERIALS, SIZES AND CONNECTIONS  
SEE STRUCTURAL DRAWINGS**



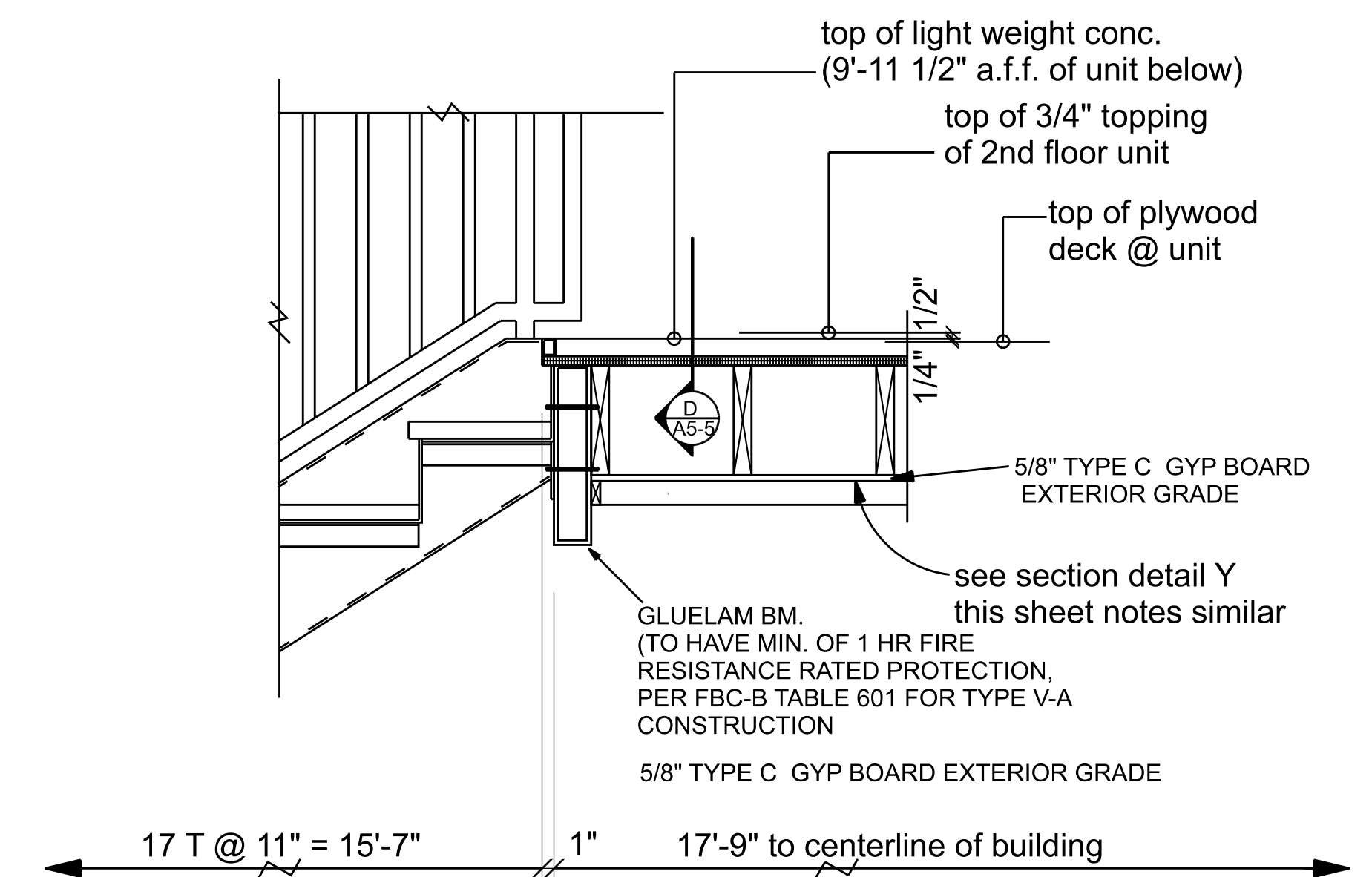
**STAIR FRAMING PLAN @ BREEZEWAY  
(FIRST FLOOR TO SECOND FLOOR)**  
SCALE 1/4"=1'-0"



**PLAN DETAIL @ HANDRAIL**  
SCALE 1"=1'-0"



**DETAIL SECTION Y**  
**(@ THIRD FLOOR LEVEL)**  
SCALE 1"=1'-0"

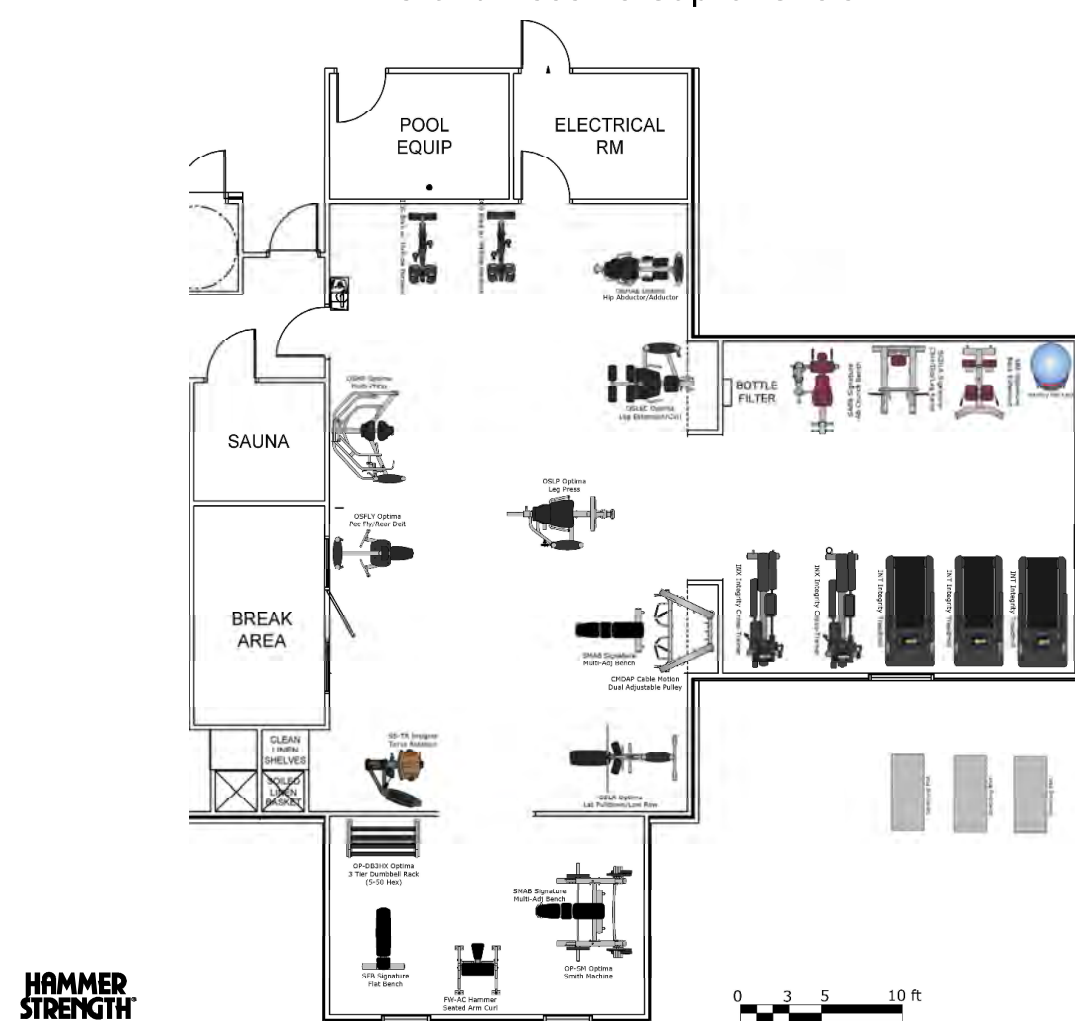


**DETAIL SECTION C**  
**(@ SECOND FLOOR LEVEL)**  
SCALE 1"=1'-0"  
DIMENSION ONLY FOR STRUCTURAL BMS/CONNECTORS  
(SEE S SHEETS)

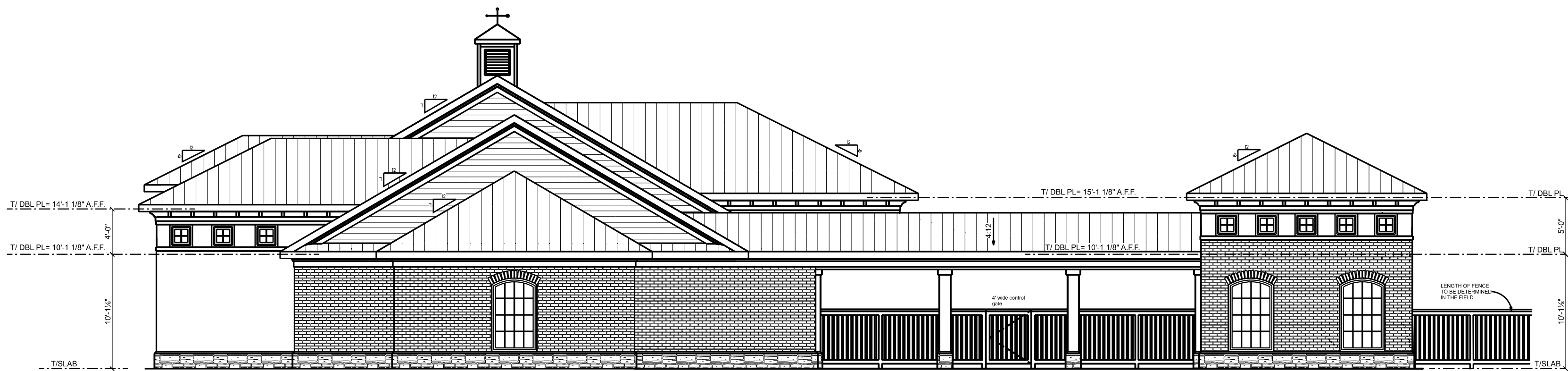




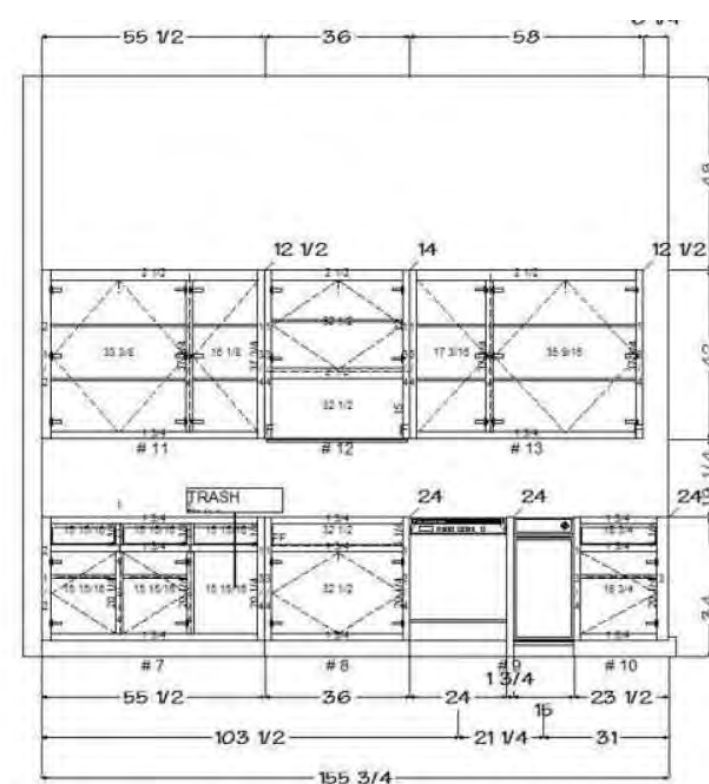
FRONT ELEVATION SC:3/16"=1'0"  
BUILDING # 14



LEFT ELEVATION SC:1/8"=1'0"

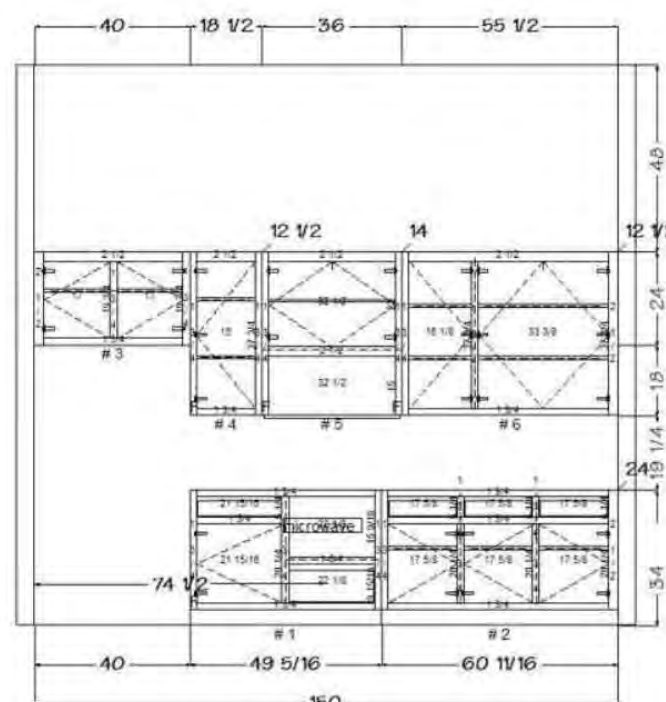


RIGHT ELEVATION SC:1/8"=1'0"



ALL DIMENSIONS SHOWN ARE IN INCHES

KITCHEN CABINET ELEVATION (1)  
(NTS)



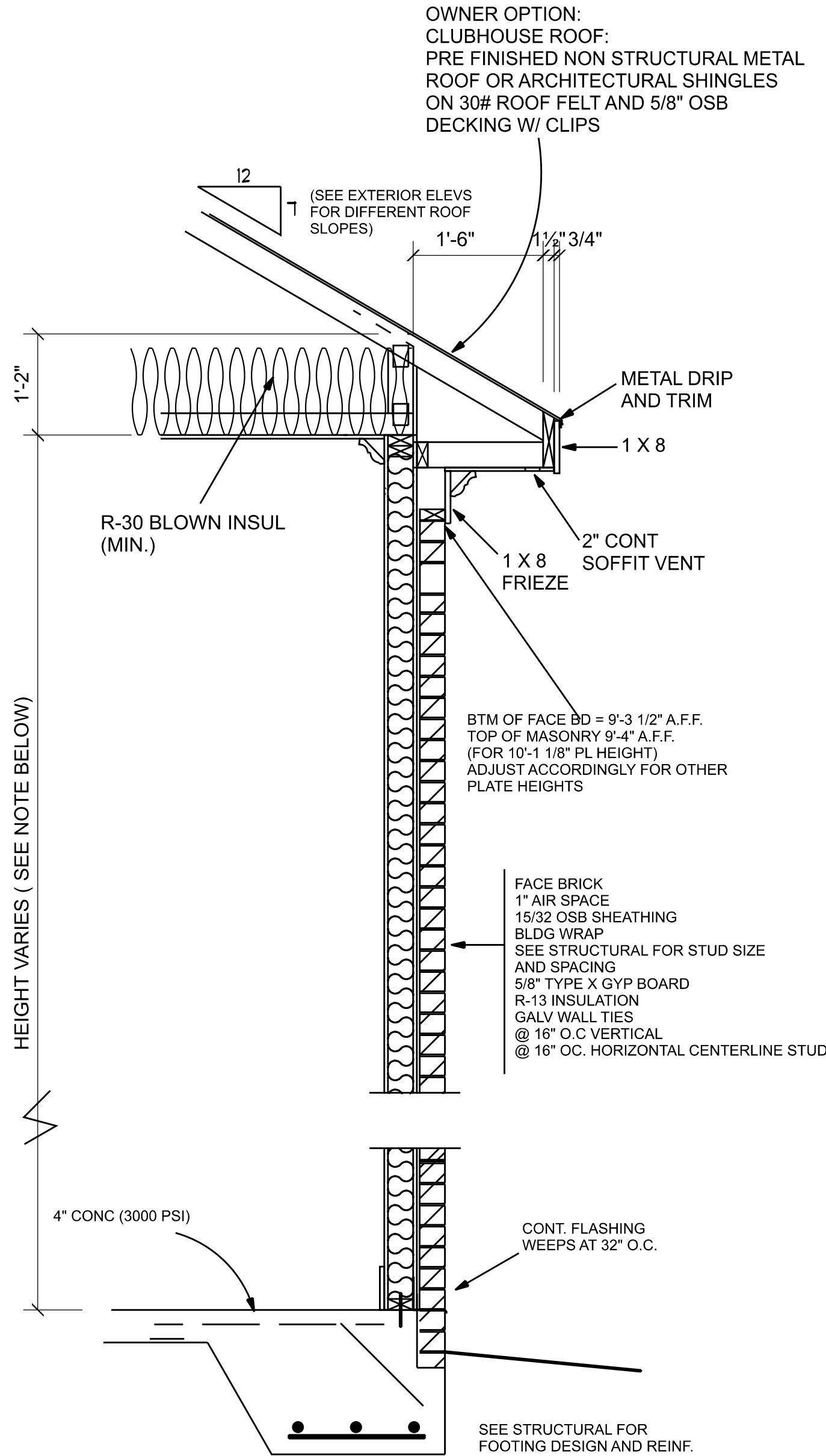
ALL DIMENSIONS SHOWN ARE IN INCHES

KITCHEN CABINET ELEVATION (2)  
(NTS)



REAR ELEVATION SC:1/8"=1'0"





**SECTION E-2** 3/4" = 1'-0"

E-2A TOP DBL PL HEIGHT @ 10'-1 1/8" A.F.F.

E-2B TOP DBL PL HEIGHT @ 12'-1 1/8" A.F.F.

E-2C TOP DBL PL HEIGHT @ 14'-1 1/8" A.F.F.

E-2D TOP DBL PL HEIGHT @ 15'-1 1/8" A.F.F.

SEE STRUCTURAL FOR STUD SIZE AND SPACING

#### ALLOWABLE AREA INCREASE for CLUBHOUSE

506.2.2 MIXED OCCUPANCY/ EQUATION 5-1  $A_a = A_f + (NS \times If)$

506.3.3 EQUATION 5-5  $= 6000 + (6000 \times .034)$

$W = 30$  ft.  $= 6000 + 2040$

$If = [F / P - 0.25] W/30$   $A_a = 8040$  sf

$= [246 / 416 - 0.25] 1$  Actual Area 7880 sf ∴ OK

$= 0.59 - .025$

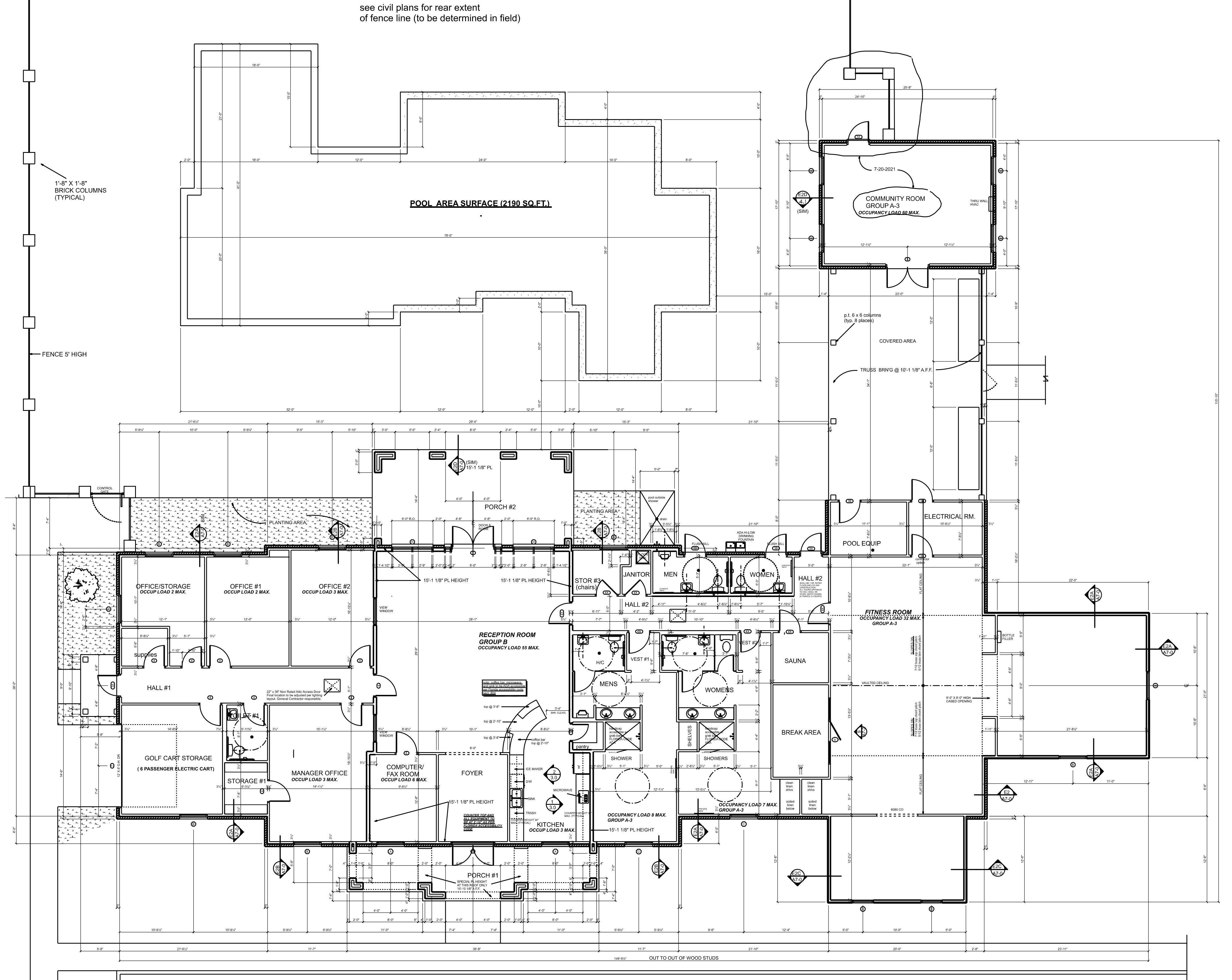
$If = 0.34$

**TYPE VB PROTECTED - NON SPRINKLED**  
**MIXED USE/ NON SEPARATED OCCUPANCIES : 2017 FBC 304.1 GROUP B/ 2017 FBC 303.4 GROUP A-3/ FBC 2017 508.3/ FBC 2017 CHAPTER 9, [F] 903.2.1.3 GROUP A-3 AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED: BLDG LESS THAN 12,000 SF., OCCUPANT LOAD LESS THAN 300 AND FIRE AREA IS LOCATED ON FLOOR WITH LEVEL EXIT DISCHARGE.**

**GROSS SQ FT 7880, MAIN BLDG./ PARTY ROOM HEATED & COOLED 6226 SF AND OPEN AREA 1654 SF.**

#### CLUBHOUSE FLOOR PLAN BLDG # 14

SCALE 1/8" = 1'-0"



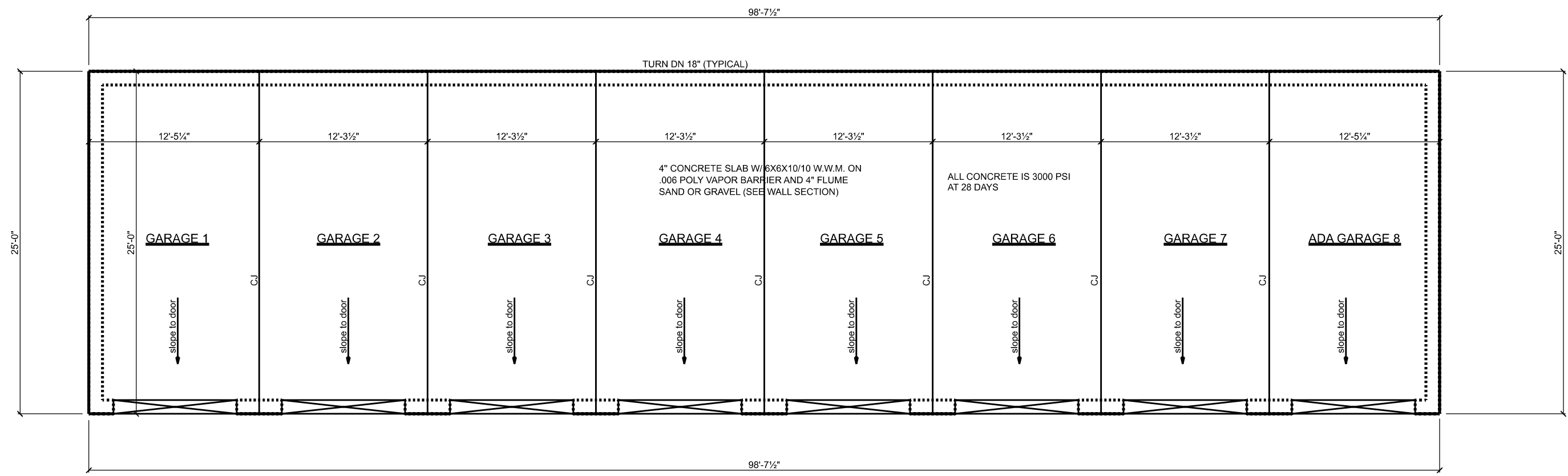
#### GENERAL NOTES

1. "CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR DOCUMENTATION NECESSARY TO VERIFY THAT ALL EXTERIOR ENVELOPE COMPONENTS REQUIRING PRODUCT APPROVAL PER FS 553.842 ARE IN COMPLIANCE WITH PRODUCT APPROVAL INSTALLATION REQUIREMENTS."

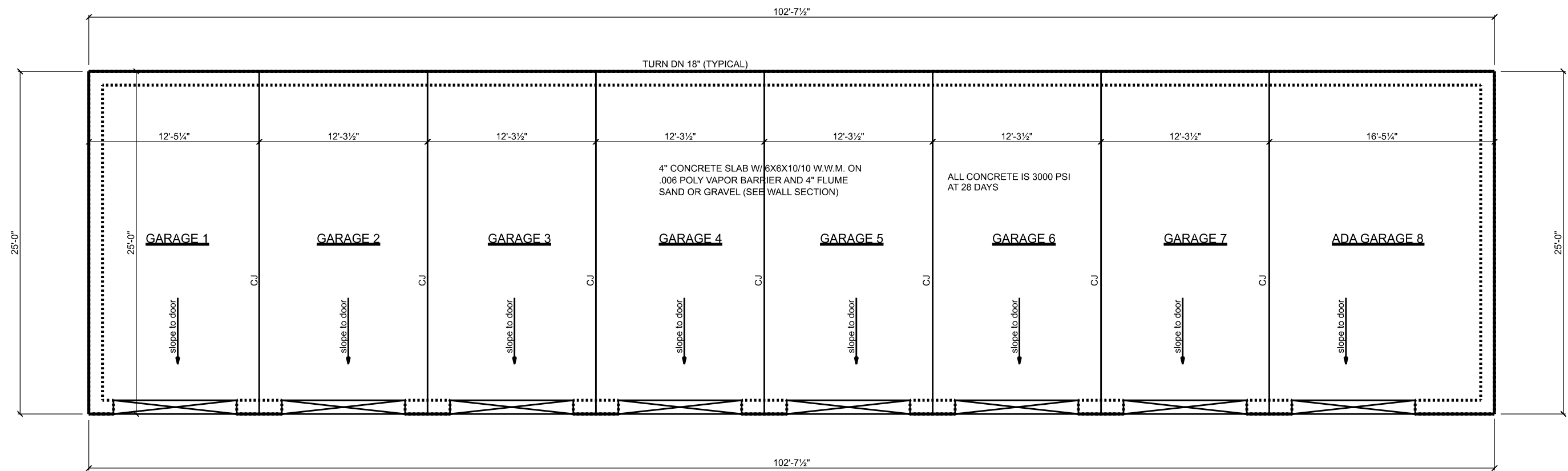
2. ADA COMPLIANCE NOTE  
 NOTE: ALL TOILET ROOMS AND TOILET ROOM COMPARTMENTS INCLUDING GRAB BARS, URINALS AND LAVATORIES AND ROLL IN SHOWERS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE W/ FLORIDA ACCESSIBILITY CODE. 608.3.2

#### FIRE PROTECTION NOTES:

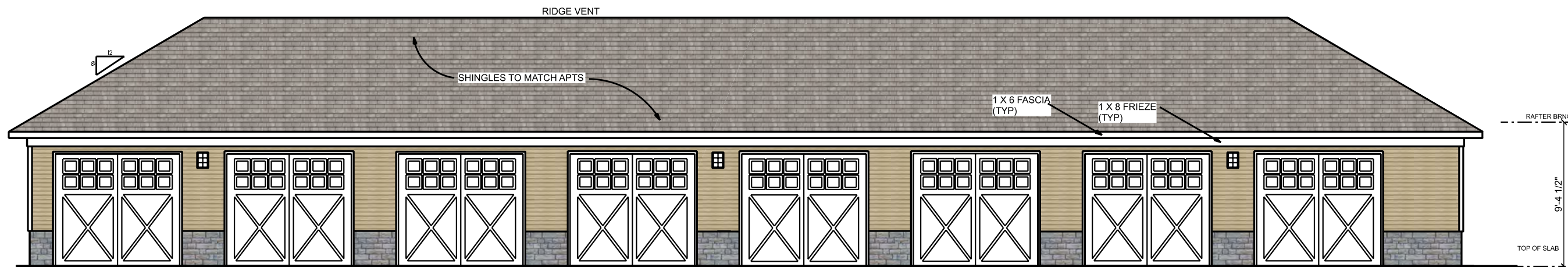
- EACH FIRE PROTECTION SUBCONTRACTOR SHALL SUBMIT PLANS FOR EVALUATION AND APPROVAL PRIOR TO COMMENCEMENT OF WORK, UPON ISSUANCE OF EACH BUILDING PERMIT.
- ROOF CONSTRUCTED OF LIGHT FRAME TRUSS. STRUCTURE SHALL BE POSTED WITH SIGNAGE MEETING THE REQUIREMENTS OF THE FLORIDA ADMINISTRATIVE CODE, 69A-60.081.
- A KNOX BOX SHALL BE INSTALLED ON THE EXTERIOR OF ALL BUILDINGS WITHIN 5 FEET OF THE MAIN ENTRANCE DOOR. MOUNTING HEIGHT TO BE NOT GREATER THAN 5 FEET AFF. KEYS TO THE BUILDING, SHALL BE PROVIDED FOR PLACEMENT IN KNOX BOX.
- ALL BUILDINGS: THE ELEVATION OF THE FLOOR SURFACE ON BOTH SIDES OF ANY DOOR SHALL NOT VARY BY MORE THAN 1/2" SHALL BE MAINTAINED ON BOTH SIDES OF THE DOOR OPENING FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES IN EXCESS OF 1/4 INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:12. NFPA 101. 7.2.1.3.2 7.2.1.3.3, FLORIDA, 2015 EDITION.
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FOUNDATION PLAN LAYOUT for BLDG # 17, 18 & 20 (EIGHT UNIT) SC: 1/8"=1'-0"

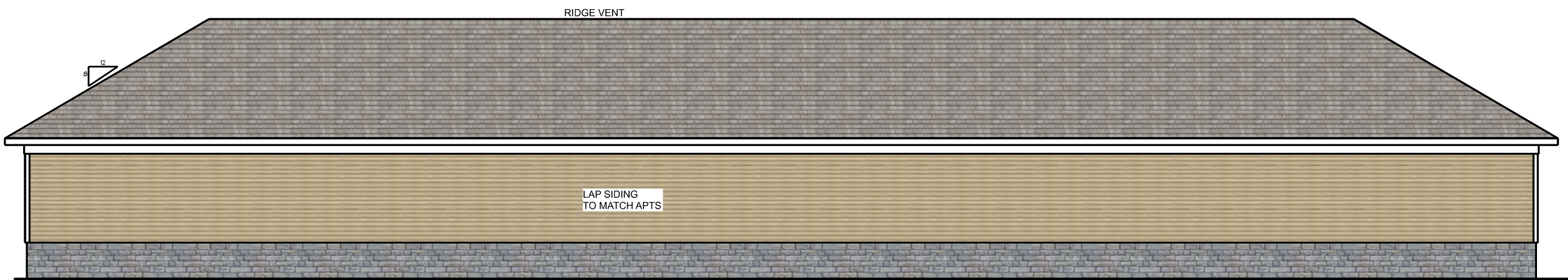


FOUNDATION PLAN LAYOUT for BLDG # 19 ADA (EIGHT UNIT) SC: 1/8"=1'-0"

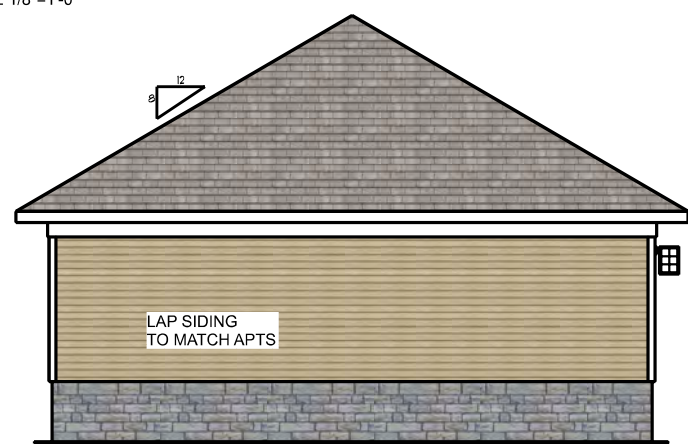


FRONT ELEVATION BLDG # 17, 18, 19 ADA & 20 - EIGHT UNIT SCALE 1/8"=1'-0"

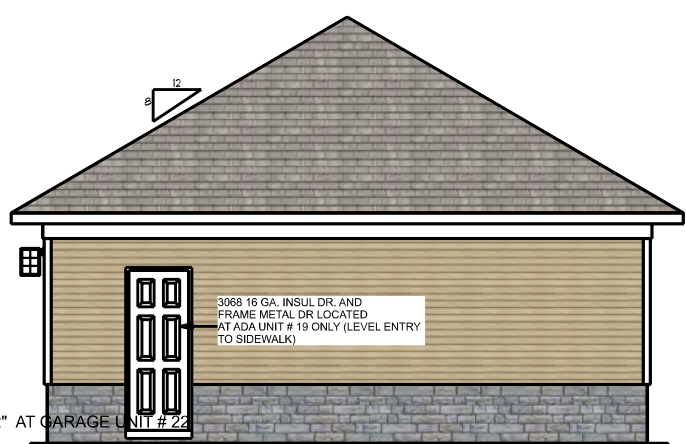
TYPE CONSTRUCTION V6 (NON-SPRINKLED / NON SEPARATED) OCCUPANCY: S2 DIVIDED PARTITIONS TO BE (1) HR RATED U/L L3005 SEE SHEET A5.3.



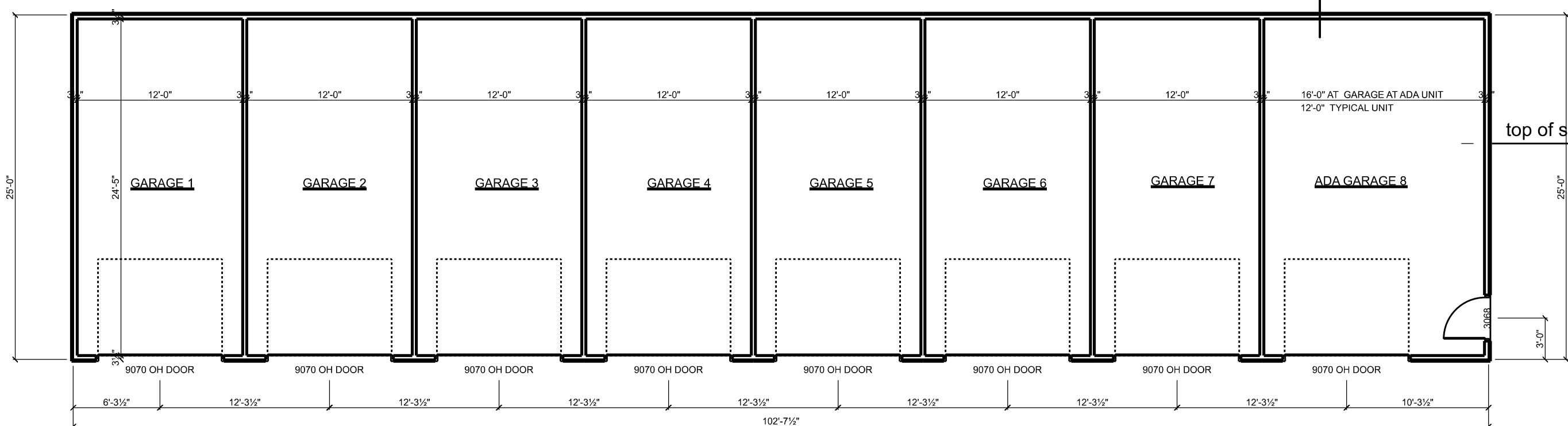
REAR ELEVATION BLDG # 17, 18, 19 ADA & 20 - EIGHT UNIT BUILDING SCALE 1/8"=1'-0"



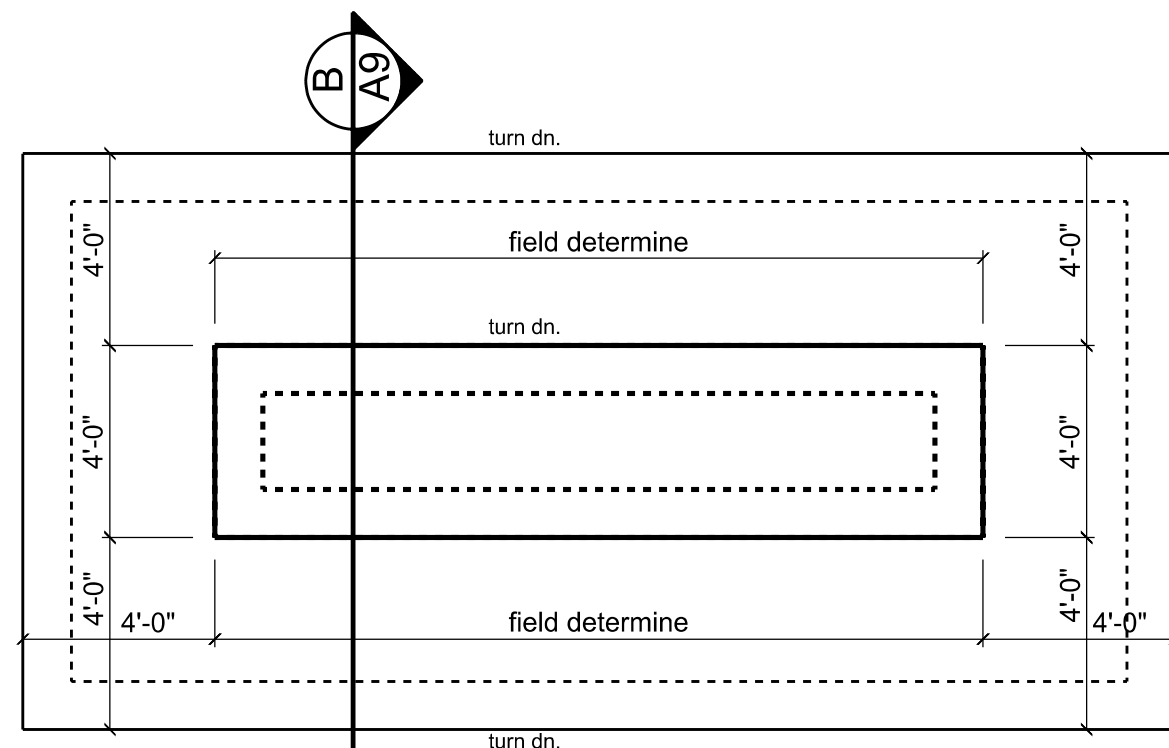
LEFT ELEVATION BLDG # 17, 18, 19 ADA & 20 - EIGHT UNIT BLDG SCALE 1/8"=1'-0"



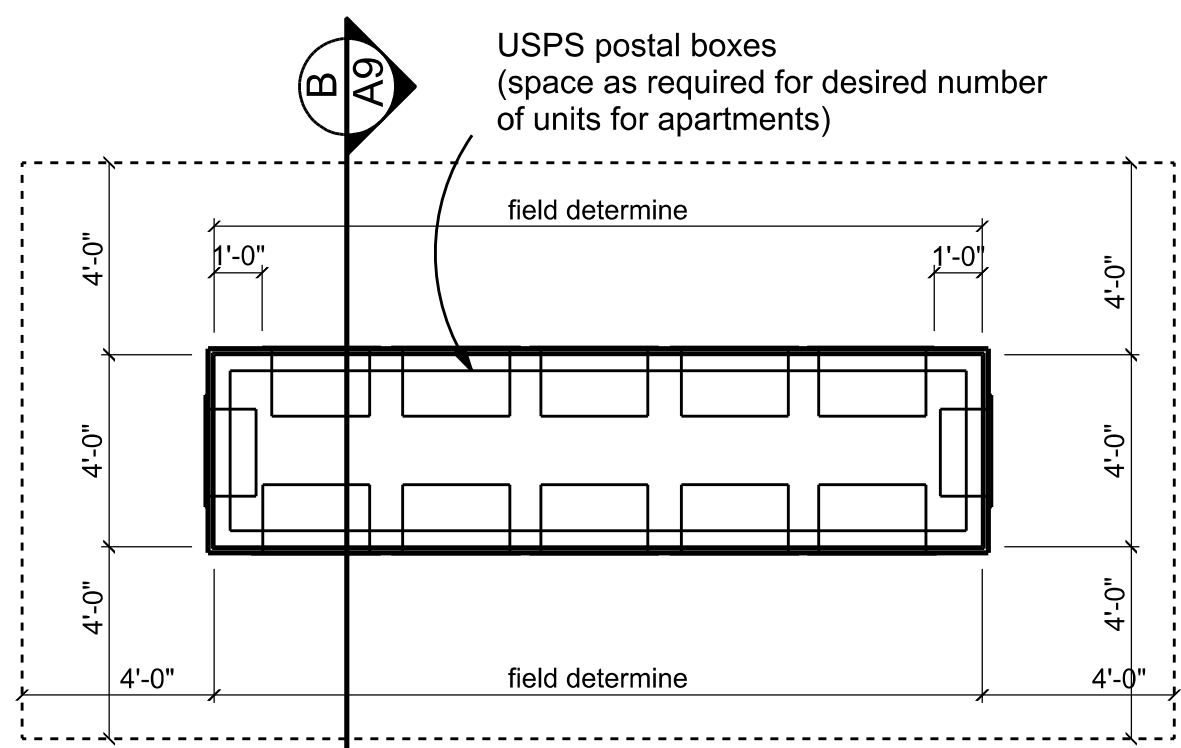
RIGHT ELEVATION BLDG # 17, 18, 19 ADA & 20 - EIGHT UNIT BLDG SCALE 1/8"=1'-0"



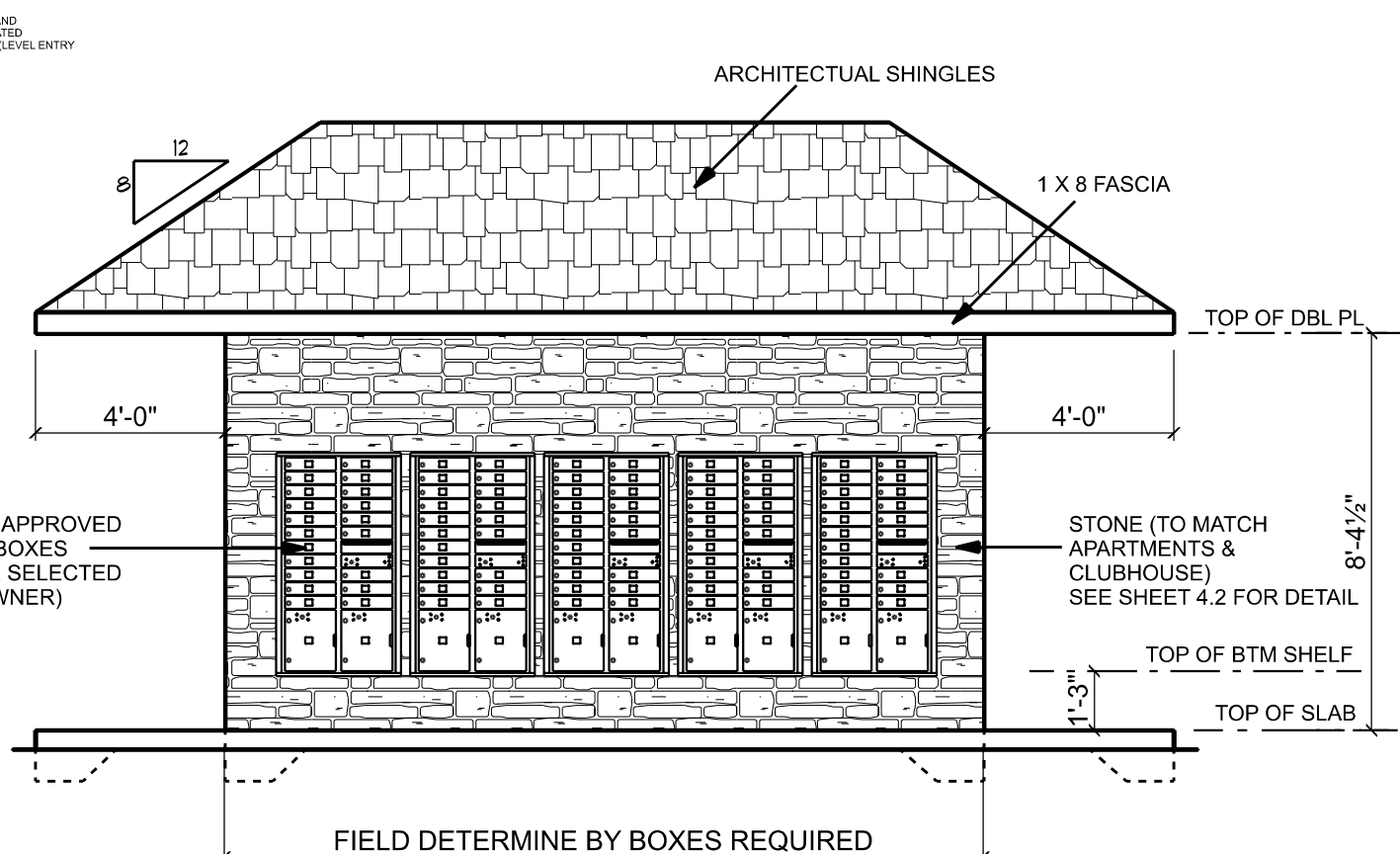
GARAGE PLAN for BLDG # 17, 18, 19 ADA & 20 (EIGHT UNIT) SC: 1/8"=1'-0"



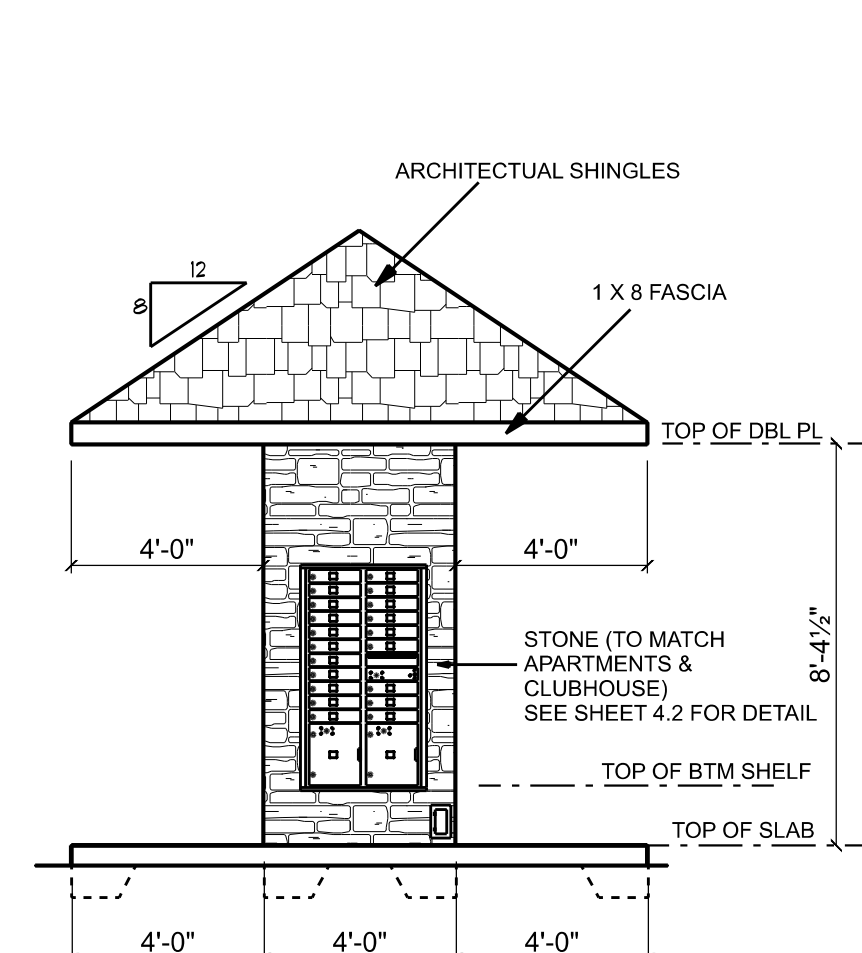
FOUNDATION PLAN (BLDG # 16) SC: 1/4"=1'-0"



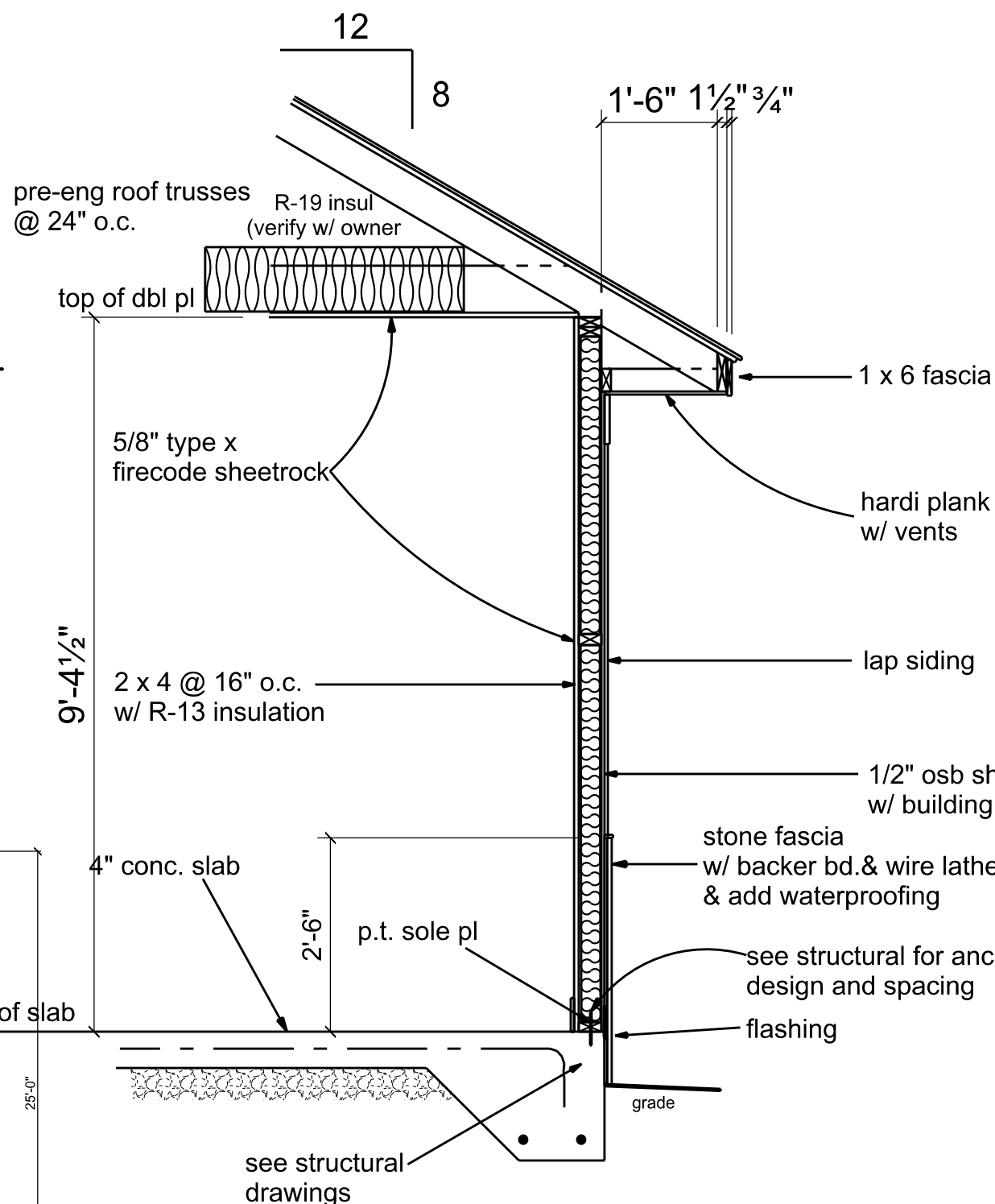
FLOOR PLAN (BLDG # 16) SC: 1/4"=1'-0"



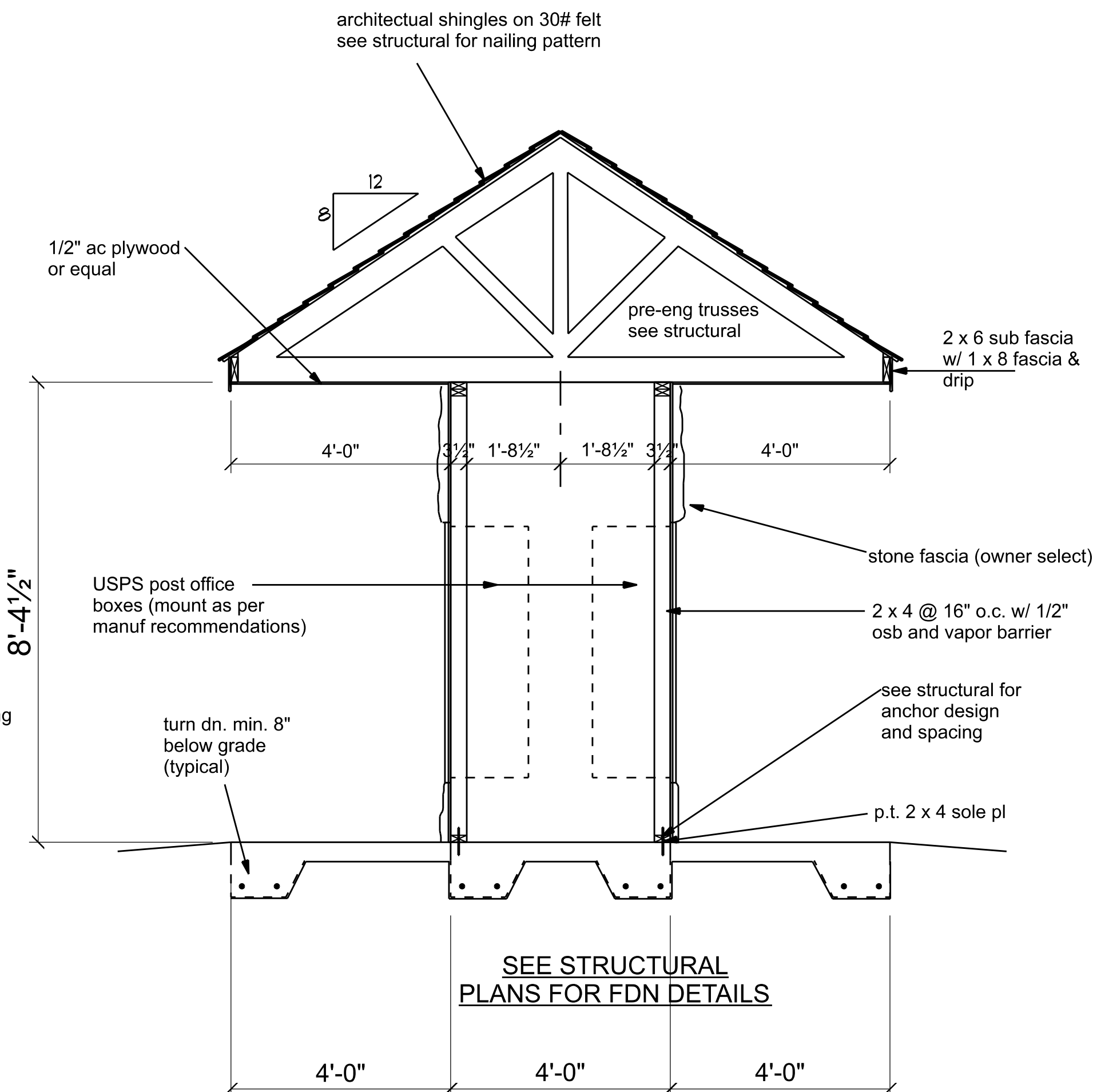
FRONT & REAR ELEVATION (BLDG # 16) SC: 1/4"=1'-0"



RIGHT & LEFT ELEVATION (BLDG # 16) SC: 1/4"=1'-0"



WALL SECTION A SCALE 1/2"=1'-0"



SECTION B BLDG # 16 SC: 1/2"=1'-0"



Accessible to wheelchair-bound individuals  
and is situated on the exterior accessible route  
as per Fair Housing Act Accessibility  
Guidelines (FHAAG) and the ADA Standards  
for Accessible Design (ADASAD), 2010. The

16'-0"

top of brick rowlock= 9'-8" a.f.f.

brick to match  
apts and clubhouse

8" c.m.u. w/ #4 rebar  
at 48" o.c. (fill all cells  
solid w/ 3000 psi conc.)  
w/ 12" truss wire reinf.  
at 16" o.c. full height of wall

9'-4"

brick to match  
apts and clubhouse

8" c.m.u. w/ #4 rebar  
at 48" o.c. (fill all cells  
solid w/ 3000 psi conc.)  
w/ 12" truss wire reinf.  
at 16" o.c. full height of wall

1/2" exp. jt.

grade (see civil dwgs)

7 1/4" conc. slab w 6 x 6 x 8/8 reinforcing  
on .006 poly (3000 psi @ 28 days)

1'-8"

2'-0"

1/2" exp. jt.

grade (see civil dwgs)

**SECTION B**

SC: 3/8"=1'-0"

**FOR ACCESS SEE CIVIL DRAWINGS**

**NOTE: SEE CIVIL DRAWINGS FOR GRADING POINTS AROUND DUMPSTER AND ADA ACCESS**

**NOTE: SEE CIVIL DRAWINGS FOR DRAINAGE REQUIREMENTS**

access to dumpster and dumpster door to be constructed in accordance with Fair Housing Act Accessibility Guidelines (FHAAG) and the ADA Standards for Accessible Design (ADASAD). (SEE ADDITIONAL NOTES THIS SHEET)

45'-11 31/32"

16'-0"

6" curb

carriage style night light on photo eye

push & emergency stop button for compactor

11-0P ACTION BOX BREAKER

200 panel box

TO TRANSFORMER

16'-0"

46'-0" min. (adjust as required at site)

8" trench drain w/ 8" heavy duty iron grates (pre-sloped to center)

2'-0"

6" std. pipe bollard x 12'-0" long (2 req'd) (fill solid w/ conc. remaining 9" above ground)

6" (schedule 80) pipe bollard (2 req'd) filled w/ 3000 psi conc. and painted yellow (verify with site condition requirements)

ROOF IF REQ'D BY LOCAL CODE

100-AMP DISCONNECT FOR MOTOR

MARATHON RJ-250SC SELF CONTAINED COMPACTOR

slope dn. 1/4" to 12"

level

gate bolt locks @ 20m

GATE IF REQ'D BY CODE (TS 3 X 2 X 1/8" MAIN FRAME/ TS 1/2" SQ BRACING) FACE WITH 2 X 6 VERTICLE CEDAR

46'-0"

16'-0"

30'-0" (LEVEL)

12" deep x 30" wide footing w/ 3-#5 rebar cont. (typical)

6" conc. slab w 6 x 6 x 8/8 reinforcing (3000 psi @ 28 days)

slope 2% see civil dwgs

8" wide steel grate for water drainage (if applicable for conditions) (drain water as per local codes) see civil drawings for storm control and filter requirements

2'-0"

12" deep x 30" wide footing w/ 3-#5 rebar cont. (typical) (3000 psi)

46'-0"

TRASH COMPACTOR FOUNDATION PLAN SC:3/16"=1'0"

[illegible]

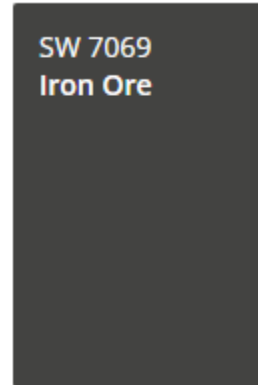
Old Kings Rd, Palm Coast, FL

## A9.0

Siding, Board & Batten



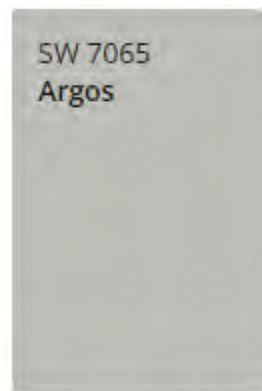
Metal Accents, Door & Railings

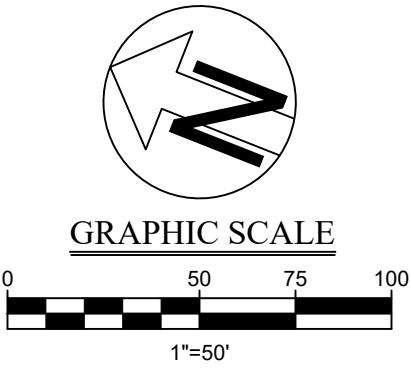
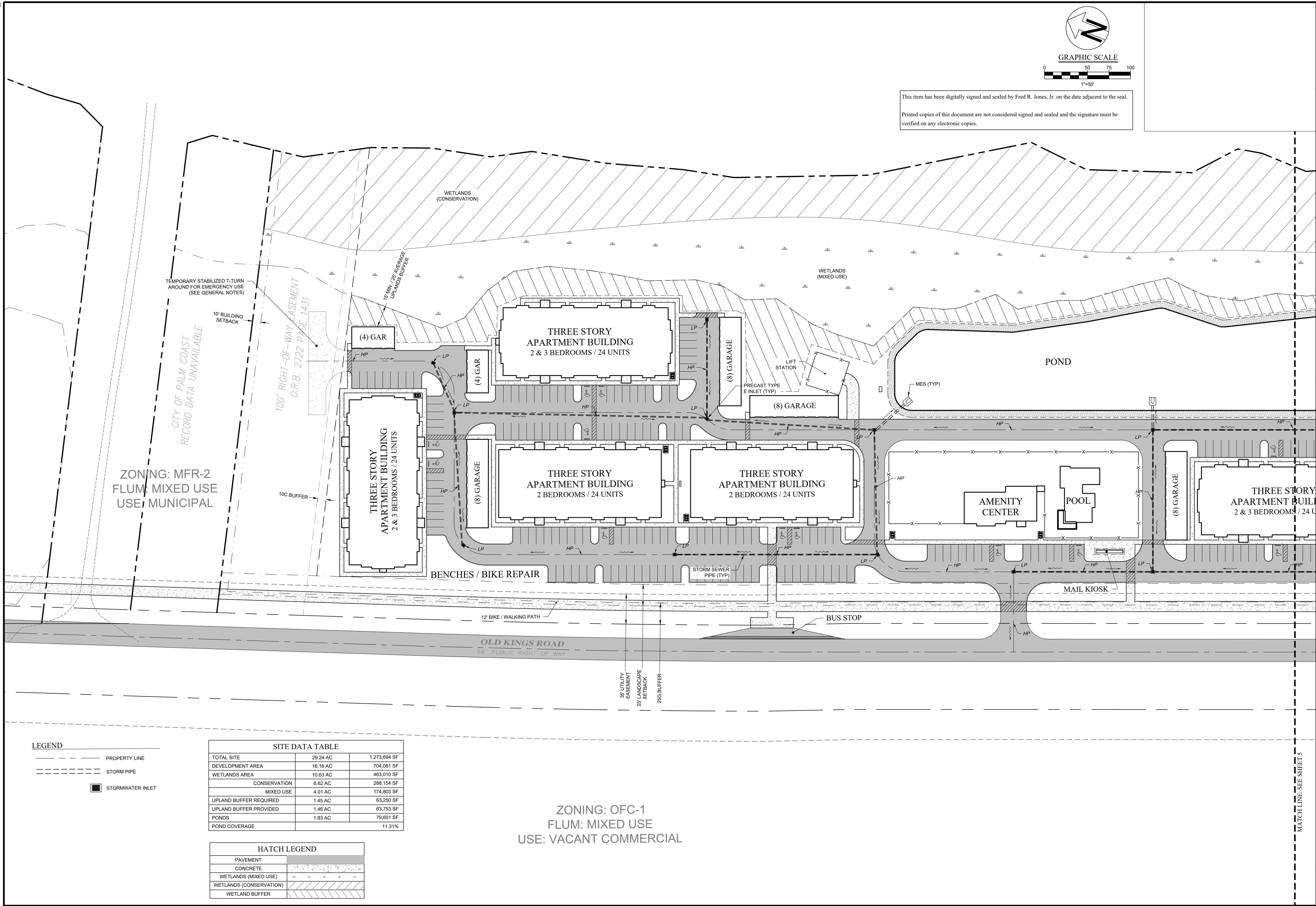


Shake Accents in Gables



Breezeway





This item has been digitally signed and sealed by Fred R. Jones, Jr. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

LEGEND	
	PROPERTY LINE
	STORM PIPE
	STORMWATER INLET

SITE DATA TABLE		
TOTAL SITE	29.24 AC	1,273,694 SF
DEVELOPMENT AREA	16.16 AC	704,081 SF
WETLANDS AREA	10.63 AC	463,010 SF
CONSERVATION	6.62 AC	288,154 SF
MIXED USE	4.01 AC	174,803 SF
UPLAND BUFFER REQUIRED	1.45 AC	63,250 SF
UPLAND BUFFER PROVIDED	1.46 AC	63,753 SF
PONDS	1.83 AC	79,501 SF
POND COVERAGE		11.31%

HATCH LEGEND	
PAVEMENT	
CONCRETE	
WETLANDS (MIXED USE)	
WETLANDS (CONSERVATION)	
WETLAND BUFFER	

ZONING: OFC-1  
FLUM: MIXED USE  
USE: VACANT COMMERCIAL

REGISTERED ENGINEER  
FRED R. JONES, JR.  
CAREER NO. FL 442614

REVISIONS		NO.	DATE	DESCRIPTION

DESIGNED BY: SAK  
DRAWN BY: M.M.  
CHECKED BY: RAM  
DATE: 05-17-2023  
JOB NO.: 22111

MASTER DRAINAGE PLAN  
OLD KINGS MULTI-FAMILY  
CITY OF PALM COAST  
PREPARED FOR  
KINGS BUSINESS CENTER, LLC.

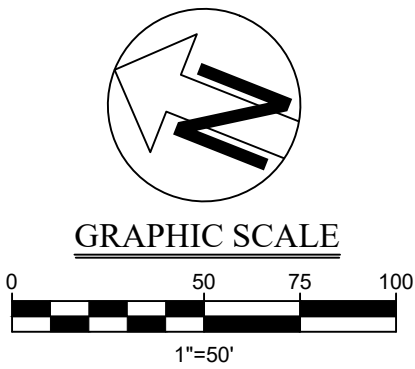
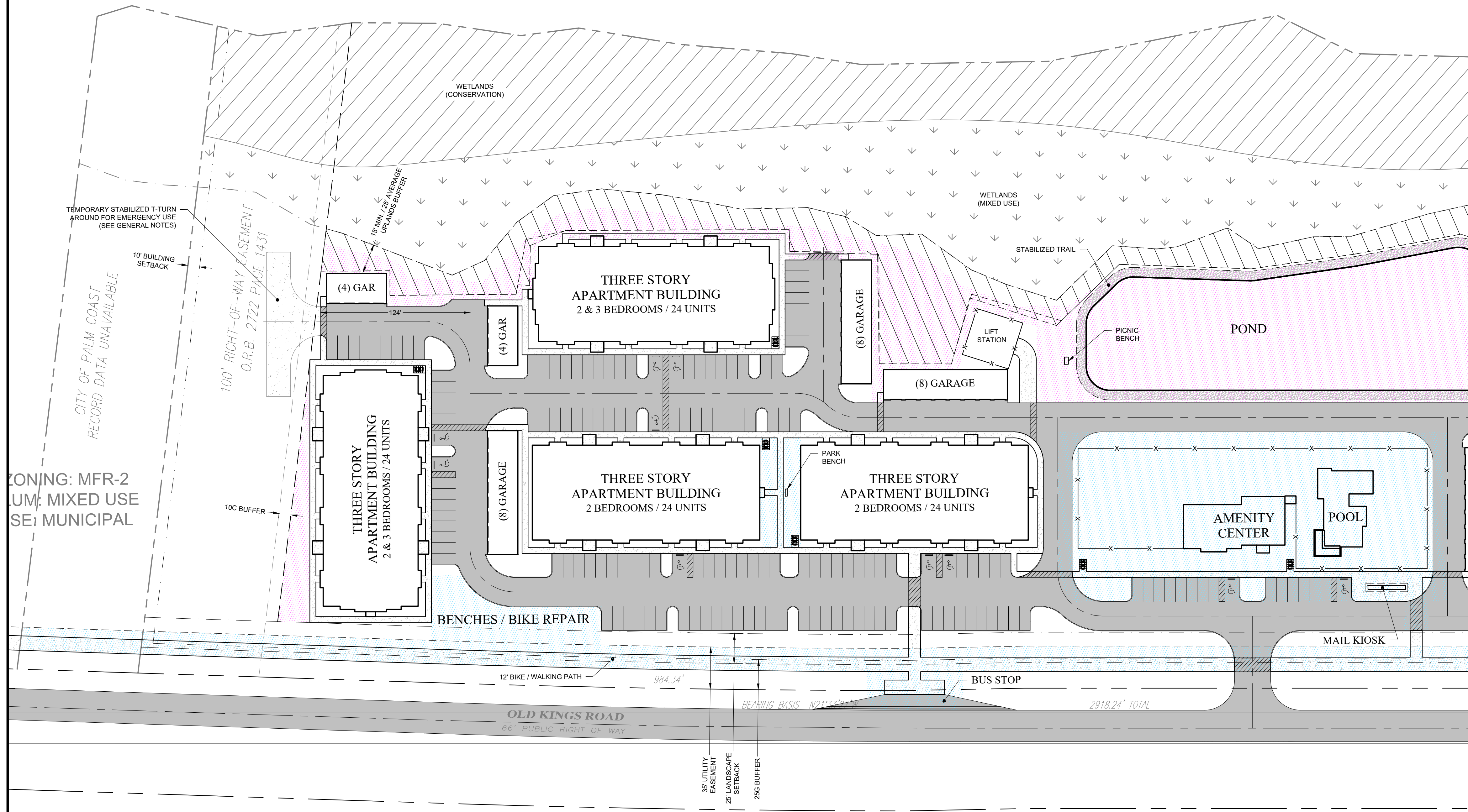
P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MDGINC.COM

SHEET NO.:  
**4**  
OF 12





PDF 2024-07-24 09:24:36



SITE DATA		
TOTAL SITE	29.24 AC	1,273,894 SF
DEVELOPMENT AREA	16.16 AC	704,081 SF
WETLANDS AREA	10.63 AC	463,010 SF
CONSERVATION	6.62 AC	288,154 SF
MIXED USE	4.01 AC	174,803 SF
UPLAND BUFFER REQUIRED	1.45 AC	63,250 SF
UPLAND BUFFER PROVIDED	1.46 AC	63,753 SF
MAX ISR	11.31 AC	70%
PROPOSED ISR	9.76 AC	60.37%
BUILDING AREA	3.73 AC	162,415 SF
VEHICLE USABLE AREA	4.38 AC	190,876 SF
SIDEWALK / ROW	1.65 AC	71,748 SF
PROPOSED PERVIOUS	6.41 AC	279,042 SF
POND	1.83 AC	79,591 SF
POND COVERAGE		11%
MAX LOT COVERAGE		70%
MIN LIVING AREA		650 SF
ZONING		MFR-2
FLUM		MIXED USE CONSERVATION
PARCEL NUMBER(S)	29-11-31-0000-01010-0051 & 29-11-31-0000-01010-0050	
911 ADDRESS	OLD KINGS ROAD	
FEMA PANEL NUMBER	12035C0139E	
FLOOD ZONE	ZONE X	
MAX BUILDING HEIGHT	60'	
PROPOSED HEIGHT	46'	
SETBACKS (FRONT/SIDE/REAR)	25'10'/20'	

PERMITTED DENSITY TABLE			
UPLANDS	18.36 AC	12 UNITS/AC	223 UNITS
WETLANDS	10.63 AC		
MIXED USE	4.01 AC	3 UNITS/AC	12 UNITS
CONSERVATION	6.62 AC	0 UNITS/AC	0 UNITS
		TOTAL	235 UNITS
1 BEDROOM UNITS	1,221 SF		24 UNITS
2 BEDROOM UNITS	1,710 SF		132 UNITS
3 BEDROOM UNITS	1,855 SF		60 UNITS
		TOTAL UNITS	216 UNITS

RECREATION TABLE	
TOTAL RECREATION REQUIRED	= 4.15 ACRES
TOTAL RECREATION PROVIDED	= 5.49 ACRES
RESOURCE BASED REQUIRED	
WETLANDS / PONDS TRAILS (DIRT)	= 2.83 ACRES
TOTAL RESOURCE BASED	= 2.83 ACRES
ACTIVITY BASED REQUIRED	
CLUBHOUSE / POOL	= 1.06 ACRES
BIKE PATH	= 1.36 ACRES
COURTYARDS	= 0.24 ACRES
TOTAL ACTIVITY BASED	= 2.66 ACRES

GENERAL NOTES

1. T-TURN AROUND TO SUPPORT 80,000 LB. VEHICLE AND WILL REMAIN IN PLACE UNTIL A FUTURE ROAD IS CONSTRUCTED. AT THAT TIME, AN EMERGENCY ONLY DRIVEWAY CONNECTION WILL BE CONSTRUCTED AND CONTROLLED BY A GATE WITH KNOX LOCK FOR EMERGENCY USE.

HATCH LEGEND	
PAVEMENT	
CONCRETE	
WETLANDS (MIXED USE)	
WETLANDS (CONSERVATION)	
WETLAND BUFFER	
RECREATION	
ACTIVITY BASED	
RESOURCE BASED	

PARKING CALCULATIONS			
USE: MULTIFAMILY (2 & 3 BEDROOMS)	= 2 SPACES / UNIT	192 UNITS	384 SPACES
USE: MULT-FAMILY (1 BEDROOM)	= 1.5 SPACES / UNIT	24 UNITS	36 SPACES
TOTAL UNITS	=	216 UNITS	420 SPACES
USE: AMENITY CENTER	= 1 SPACE / 250 SF	3,282 SF	13 SPACES
SURFACE PARKING REQUIRED	=		433 SPACES
SURFACE PARKING PROVIDED	=		362 SPACES
GARAGE SPACES REQUIRED	=		72 SPACES
GARAGE SPACES PROVIDED	=		72 SPACES
ADA GARAGE REQUIRED	=		10 SPACES
ADA GARAGE PROVIDED	=		10 SPACES
TOTAL PARKING REQUIRED	=		433 SPACES
TOTAL PARKING PROVIDED	=		434 SPACES
ADA REQUIRED	=		18 SPACES
ADA PROVIDED	=		19 SPACES
BICYCLE PARKING REQUIRED	=		44 SPACES
BICYCLE PARKING PROVIDED	=		45 SPACES

ZONING: OFC-1  
FLUM: MIXED USE  
USE: VACANT COMMERCIAL

REGISTERED ENGINEER  
CAREERS: FL 1442614

REVISIONS

NO. DATE DESCRIPTION

SAK

DESIGNED BY: MAM

CHECKED BY: RAM

DATE: 05-17-2023

JOB NO.: 22111

MATTHEWS

P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MDGINC.COM

RECREATION EXHIBIT

OLD KINGS MULTI-FAMILY

CITY OF PALM COAST

PREPARED FOR  
KINGS BUSINESS CENTER, LLC.

SHEET NO.:

R1

OF 2







**FLAGLER COUNTY PUBLIC SCHOOLS, FACILITIES PLANNING  
SCHOOL PLANNING AND CONCURRENCY APPLICATION / SCHOOL IMPACT ANALYSIS**

**Instructions:**

\*Please submit two copies of a completed application, location map, and the application fee. (made payable to Flagler County Public Schools) to the appropriate Municipality. Fee schedule on page three (3).

\*The Municipality will review application and forward it to the Coordinator of Planning & Intergovernmental Relations of Flagler County School.

City of Palm Coast 160 Lake Avenue Palm Coast, FL 32164	Flagler County 1769 E. Moody Blvd., Bldg. #2 Bunnell, FL 32110	City of Bunnell 201 W. Moody Blvd. Bunnell, FL 32110	City of Flagler Beach 105 S. 2 <sup>nd</sup> . Street Flagler Beach, FL 32136
---	--	--	---

**I. Application Type - Check one only**

Non-Binding Determination (Comprehensive Plan Amendment; Rezoning)	Letter of Concurrency Exemption	Project Amendment / Reevaluation
School Capacity Reservation (Only at Preliminary Plat, Final Plat, Site Plan Amendment)	Time Extension	Proportionate Share Mitigation

**II. Project Information**

**Project Name:** \_\_\_\_\_ **Local Government:** \_\_\_\_\_

**Parcel ID #:** \_\_\_\_\_

**Location / Address of Subject Property:** \_\_\_\_\_

**Closest Major Intersection:** \_\_\_\_\_

(Please attach separate sheet of multiple parcels – attach and location map)

**III. Ownership / Agent Information**

**Owner/Contract Purchaser Name(s):** \_\_\_\_\_

**Agent/Contact Person:** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_

**Telephone #:** \_\_\_\_\_ **E-mail Address:** \_\_\_\_\_



**FLAGLER COUNTY PUBLIC SCHOOLS, FACILITIES PLANNING  
SCHOOL PLANNING AND CONCURRENCY APPLICATION / SCHOOL IMPACT ANALYSIS**

**IV. Development Information**

<b>Project Data</b>			
<b>Current</b>		<b>Proposed</b>	
Future Land Use:		Future Land Use:	
Zoning:		Zoning:	
<b>Residential Units Proposed</b>			
Single Family Detached:	Single Family Attached:	Apartments:	Mobile Homes:
Total Units:	Total Acres:	Phased Project:	Yes                      No

**PLEASE COMPLETE THE FOLLOWING TABLE WITH THE AMOUNT AND TYPE OF UNITS IN THE APPROPRIATE ANTICIPATED YEAR OF CONSTRUCTION**

<b>Unit Type</b>	<b>2021</b>	<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>	<b>2026</b>	<b>2027</b>	<b>2028</b>	<b>2029</b>	<b>2030</b>
<b>Single Family</b>										
<b>Multi Family</b>										
<b>Mobile Family</b>										

Applicant shall provide the information above so the Flagler County School District can calculate student generation, evaluate school capacity and address any potential mitigation. The applicant is responsible for obtaining any additional information required to complete the review process. For further information regarding the application process, please contact the local government of jurisdiction.

***I hereby certify the statement and/or information contained in this application with any attachments submitted herewith are true and correct to the best of my knowledge.***

***Disclaimers:*** By my signature hereto, I do hereby certify that the information contained in the application is true and correct to the best of my knowledge and understand that deliberate misrepresentation of such information may be grounds for denial or reversal of this application and/or revocation of any approval based upon this application.

***I further acknowledge*** that the School Board of Flagler County may not defend any challenge to my proposed application and that it may be my sole obligation to defend any and all action and approvals of this application. Submission of this application initiates a process and does not imply approval by the School Board of Flagler County and any of its staff.

***I further acknowledge*** that I have read the information contained in the application and have had sufficient opportunity to inquire with regard to matters set forth therein and accordingly, fully understand all applicable procedures and matters relating to this application. I hereby represent that I have the lawful right and authority to file this application.

**Owner / Agent:**

**Name:** \_\_\_\_\_  
(Print)

**Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Reviewed by Municipality:**

**Municipality:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Name:** \_\_\_\_\_  
(Print)

**Signature:** \_\_\_\_\_





**FLAGLER COUNTY PUBLIC SCHOOLS, FACILITIES PLANNING  
SCHOOL PLANNING AND CONCURRENCY APPLICATION / SCHOOL IMPACT ANALYSIS**

**FLAGLER COUNTY PUBLIC SCHOOL CONCURRENCY PLANNING SERVICE FEE SCHEDULE**

**Please make checks payable to Flagler County Public Schools**

**School Capacity Availability Reports / Letters**

***School Capacity Determinations***

Nonbinding Review – (FLU/Rezone) -----	\$200.00
Letter of Concurrency Exemption -----	\$100.00
Time Extension -----	\$150.00
Concurrency Determination Re-evaluation -----	\$150.00

***School Capacity Reservation – Certificate of School Concurrency***

3 – 10 Units -----	\$150.00
11 – 49 Units -----	\$300.00
50 + Units -----	\$500.00

***Proportionate Share Mitigation***

3 – 10 Units -----	\$500.00
11 – 49 Units -----	\$1,000.00
50 + Units -----	\$2,500.00
Appeals -----	\$1,000.00





42 Masters Drive St. Augustine, FL 32084  
Tel: 904.540.1786  
www.carterenv.com

August 28, 2023

Kings Business Center, LLC  
Attn: Shawn Madden  
P.O. Box 670  
Torrington, WY 82240

**SUBJECT:** Vacant Property, Old Kings Road  
Protected Species Assessment  
Flagler County PIN: 29-11-31-0000-01010-0050

Dear Mr. Madden,

On March 1 and 2, 2022, Carter Environmental Services (CES) conducted extensive field surveys of the proposed project area (+/- 29.15 acres) to assess the presence of or potential utilization by any threatened/endangered species or species of special concern (SSC) as listed by the U.S. Fish and Wildlife Service (FWS) or the Florida Fish and Wildlife Conservation Commission (FWC). Prior to the site visits, CES compiled a list of potentially occurring species. The resources used to compile this list included a literature review of the soil units mapped on-site (Figure 2) and 2021 aerial photographs of the property. The results of this survey are listed below.

### **PROTECTED ANIMAL SPECIES**

- **Gopher Tortoise** (*Gopherus polyphemus*)  
Though being widespread throughout Florida, the gopher tortoise is listed as threatened in the state because much of its native habitat has been lost to agriculture, forestry, mining, and urban/residential development. The soils mapped onsite prior to the site visits indicated that the subject property offered potential gopher tortoise habitat, and field surveys by CES biologists (FWC-authorized gopher tortoise agents) verified suitable gopher tortoise habitat exists on the site. While a substantial amount of well drained soils exists on the site, much of this area has become immensely overgrown due to a lack of disturbance. These areas do not provide the necessary forage for gopher tortoises to exist without close proximity to low growing groundcover. Areas containing suitable soils and vegetation were thoroughly examined across the site with no gopher tortoises or their burrows being identified.
- **Eastern Indigo Snake** (*Drymarchon couperi*)  
According to the FNAI Biodiversity Matrix (2022), there is a potential for the eastern indigo snake to occur on the site. In north Florida, this species is typically associated with gopher tortoises due to the need for temperature refuge. As no gopher tortoises or their burrows were identified during the site review, it is unlikely for this species to occur onsite.



- **Bald Eagle** (*Haliaeetus leucocephalus*)

Using the FWC Eagle Nest Locator Database (2022), CES found three bald eagle nests on record within a 5-mile radius of the property, but the nearest nest was approximately 1.5 miles north of the property boundary (Figure 3). Further, no nests were located by CES biologists, and the likelihood of any bald eagles utilizing this site is low. While the bald eagle is not listed as threatened, endangered or as an SSC, it is protected by the Bald and Golden Eagle Protection Act and the Migratory Bird Treaty Act. Based on these acts, certain activities are regulated by FWS when they occur near an active nest during nesting season (1 October to 15 May).

- **Wading Birds**

A review of the current FWC database of wading bird rookeries (FWC Wading Bird Locator, 2022) revealed no known rookery within a one-mile radius of the property.

### **PROTECTED PLANT SPECIES**

In addition to protected animal species, CES biologists reviewed the site for protected plant species and none were observed. Coordination will not be required with any regulatory agency if protected plant species were observed in the future. Currently, no regulations exist for protected plant species occurring on privately owned land, unless the landowner is harvesting and engaging in the commercial sale of the protected plant species.

In conclusion, no protected plant or animal species were observed by CES biologists during two site reviews. I trust that this information is helpful. Please contact me with any questions or requests for additional information.

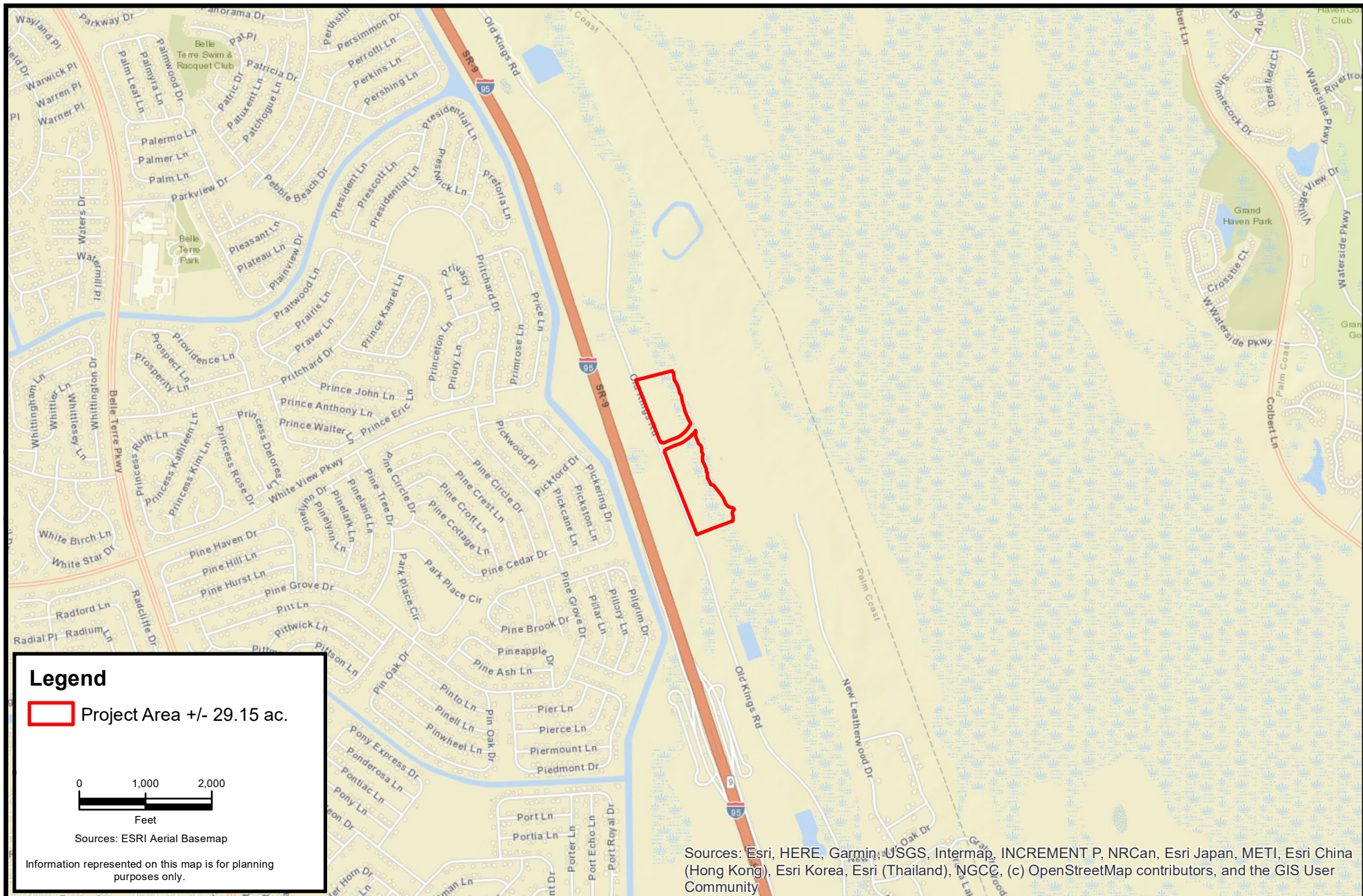
Sincerely,

A handwritten signature in blue ink, appearing to read "MG", is placed above the name Mike Glover.

Mike Glover  
Senior Project Manager

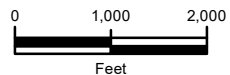
**Enclosures:** Location Map – Figure 1  
Soils Map – Figure 2  
FWC Bald Eagle Nest Location Map – Figure 3  
FNAI Biodiversity Matrix





# Legend

Project Area +/- 29.15 ac.



Sources: ESRI Aerial Basemap

Information represented on this map is for planning purposes only.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

**CARTER ENVIRONMENTAL SERVICES, INC.**



42 Masters Drive  
St. Augustine, FL 32084  
904-540-1786

[www.carterenv.com](http://www.carterenv.com)

Location Map

**Old Kings Road**

Project: 5.22112

Flagler County, Florida

Date: Mar 09 2022

Figure:

1



85





**CARTER ENVIRONMENTAL  
SERVICES, INC.**



42 Masters Drive  
St. Augustine, FL 32084  
904-540-1786

[www.carterenv.com](http://www.carterenv.com)

## Soils Map Old Kings Road

Project: 5.22112

Flagler County, Florida

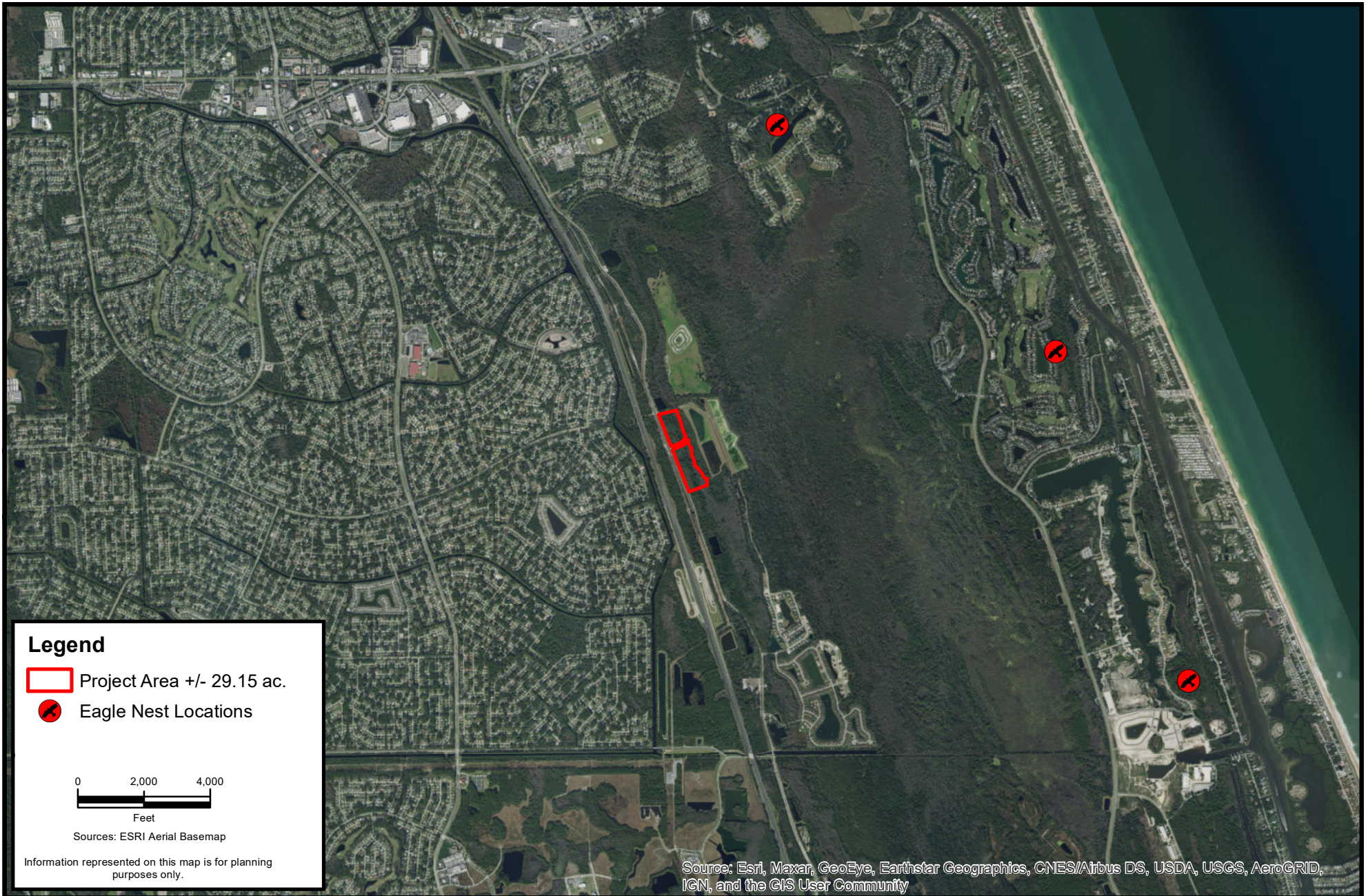
Date: Mar 09 2022

Figure:

2







**CARTER ENVIRONMENTAL SERVICES, INC.**

**CES** 42 Masters Drive  
St. Augustine, FL 32084  
904-540-1786  
[www.carterenv.com](http://www.carterenv.com)

Bald Eagle Nest Location Map		
Old Kings Road		
Project:	5.22112	Flagler County, Florida
		Date: Mar 09 2022




Figure: 87 3





1018 Thomasville Road  
Suite 200-C  
Tallahassee, FL 32303  
850-224-8207  
850-681-9364 fax  
www.fnai.org

FLORIDA  
**Natural Areas**  
INVENTORY

## Florida Natural Areas Inventory

### Biodiversity Matrix Query Results

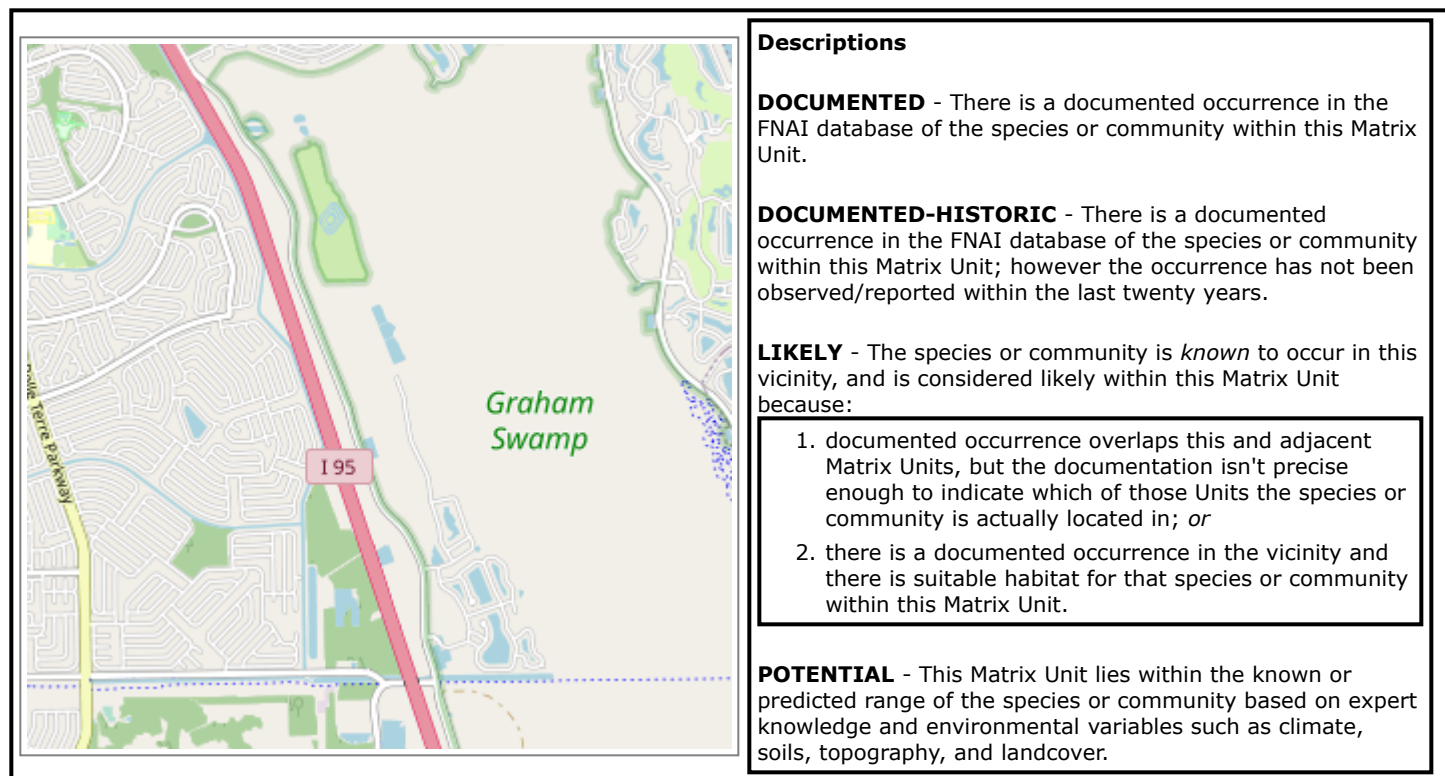
#### UNOFFICIAL REPORT

Created 2/28/2022

(Contact the FNAI Data Services Coordinator at 850.224.8207 or  
kbrinegar@fnai.fsu.edu for information on an official Standard Data Report)

NOTE: The Biodiversity Matrix includes only rare species and natural communities tracked by FNAI.

#### Report for 1 Matrix Unit: 50531



#### Matrix Unit ID: 50531

0 **Documented** Elements Found

0 **Documented-Historic** Elements Found

1 **Likely** Element Found

Scientific and Common Names	Global Rank	State Rank	Federal Status	State Listing
<a href="#">Mycteria americana</a> Wood Stork	G4	S2	LT	FT

#### Matrix Unit ID: 50531

17 **Potential** Elements for Matrix Unit 50531

Scientific and Common Names	Global Rank	State Rank	Federal Status	State Listing
<a href="#">Calopogon multiflorus</a>	G2G3	S2S3	N	T 88



Many-flowered Grass-pink				
<a href="#">Centrosema arenicola</a>	G2Q	S2	N	E
Sand Butterfly Pea				
<i>Conradina grandiflora</i>	G3	S3	N	T
Large-flowered Rosemary				
<a href="#">Corynorhinus rafinesquii</a>	G3G4	S2	N	N
Rafinesque's Big-eared Bat				
<a href="#">Drymarchon couperi</a>	G3	S3	LT	FT
Eastern Indigo Snake				
<i>Floodplain swamp</i>	G4	S4	N	N
<a href="#">Gopherus polyphemus</a>	G3	S3	C	ST
Gopher Tortoise				
<i>Gymnopogon chapmanianus</i>	G3	S3	N	N
Chapman's Skeletongrass				
<a href="#">Heterodon simus</a>	G2	S2	N	N
Southern Hognose Snake				
<i>Lechea cernua</i>	G3	S3	N	T
Nodding Pinweed				
<a href="#">Litsea aestivalis</a>	G3?	S2	N	E
Pondspice				
<i>Matelea floridana</i>	G2	S2	N	E
Florida Spiny-pod				
<a href="#">Nemastylis floridana</a>	G2	S2	N	E
Celestial Lily				
<a href="#">Neofiber alleni</a>	G3	S3	N	N
Round-tailed Muskrat				
<i>Nolina atopocarpa</i>	G3	S3	N	T
Florida Beargrass				
<a href="#">Pteroglossaspis ecristata</a>	G2G3	S2	N	T
Giant Orchid				
<a href="#">Ursus americanus floridanus</a>	G5T2	S2	N	N
Florida Black Bear				

#### Disclaimer

The data maintained by the Florida Natural Areas Inventory represent the single most comprehensive source of information available on the locations of rare species and other significant ecological resources statewide. However, the data are not always based on comprehensive or site-specific field surveys. Therefore, this information should not be regarded as a final statement on the biological resources of the site being considered, nor should it be substituted for on-site surveys. FNAI shall not be held liable for the accuracy and completeness of these data, or opinions or conclusions drawn from these data. FNAI is not inviting reliance on these data. Inventory data are designed for the purposes of conservation planning and scientific research and are not intended for use as the primary criteria for regulatory decisions.

#### Unofficial Report

These results are considered unofficial. FNAI offers a [Standard Data Request](#) option for those needing certifiable data.



42 Masters Drive  
St. Augustine, FL 32084  
Tel: 904.540.1786  
www.carterenv.com

May 18, 2023

Rudd Jones  
Matthews Design Group  
7 Waldo Street  
St Augustine, Florida 32084

Subject: Old Kings Multi-Family – City of Palm Coast Buffer  
Palm Coast, Florida

Dear Mr. Jones:

The purpose of this letter is for Carter Environmental Services, Inc. (CES) to provide our professional opinion on whether or not the above-referenced property would be subjected to an average 50 foot/minimum 25-foot buffer or an average 25 foot /minimum 15 foot buffer as described in the City of Palm Coast Technical Manual Section VII (Environmental).

The City of Palm Coast utilizes the Wetland Quality Assessment Methodology (WQAM) which directly reflects the Uniform Mitigation Assessment Methodology employed by the St Johns River Water Management District (SJRWMD) and Florida Department of Environmental Protection (DEP) Section 62-345, Florida Administrative Code. When applying either WQAM or UMAM, assessment areas are scored utilizing three (3) categories: Location and Landscape Support, Water Environment and Community Structure.

**Location and Landscape Support** - *The value of functions provided by an assessment area to fish and wildlife are influenced by the landscape position of the assessment area and its relationship with surrounding areas. Many species that nest, feed, or find cover in a specific habitat or habitat type are also dependent in varying degrees upon other habitats, including upland, wetland and other surface waters, that are present in the regional landscape. For example, many amphibian species require small isolated wetlands for breeding pools and for juvenile life stages, but may spend the remainder of their adult lives in uplands or other wetland habitats. If these habitats are unavailable or poorly connected in the landscape or are degraded, then the value of functions provided by the assessment area to the fish and wildlife identified in Part 1 is reduced. The location of the assessment area shall be considered to the extent that fish and wildlife utilizing the area have the opportunity to access other habitats necessary to fulfill their life history requirements. The availability, connectivity, and quality of offsite habitats, and offsite land uses that might adversely impact fish and wildlife utilizing these habitats, are factors to be considered in assessing the location of the assessment area. The location of the assessment area shall be considered relative to offsite and upstream hydrologic contributing areas and to downstream and other connected waters to the extent that the diversity and abundance of fish and wildlife and their habitats is affected in these areas. The opportunity for the assessment area to provide off*



site water quantity and quality benefits to fish and wildlife and their habitats downstream and in connected waters is assessed based on the degree of hydrologic connectivity between these habitats and the extent to which offsite habitats are affected by discharges from the assessment area. It is recognized that isolated wetlands lack surface water connections to downstream waters and as a result, do not perform certain functions (e.g., detrital transport) to benefit downstream fish and wildlife; for such wetlands, this consideration does not apply.

**Water Environment** - The quantity of water in an assessment area, including the timing, frequency, depth and duration of inundation or saturation, flow characteristics, and the quality of that water, may facilitate or preclude its ability to perform certain functions and may benefit or adversely impact its capacity to support certain wildlife. Hydrologic requirements and tolerance to hydrologic alterations and water quality variations vary by ecosystem type and the wildlife utilizing the ecosystem. Hydrologic conditions within an assessment area, including water quantity and quality, must be evaluated to determine the effect of these conditions on the functions performed by area and the extent to which these conditions benefit or adversely affect wildlife. Water quality within wetlands and other surface waters is affected by inputs from surrounding and upstream areas and the ability of the wetland or surface water system to assimilate those inputs. Water quality within the assessment area can be directly observed or can be inferred based on available water quality data, on-site indicators, adjacent land uses, and estimated pollutant removal efficiencies of contributing surface water management systems. Hydrologic conditions in the assessment area are a result of external hydrologic inputs and the water storage and discharge characteristics of the assessment area. Landscape features outside the assessment area, such as impervious surfaces, borrow pits, levees, berms, swales, ditches, canals, culverts, or control structures, may affect hydrologic conditions in the assessment area. Surrounding land uses may also affect hydrologic conditions in the assessment area if these land uses increase discharges to the assessment area, such as agricultural discharges of irrigation water, or decrease discharges, such as wellfields or mined areas.

**Community Structure** - Each assessment area is evaluated with regard to its characteristic community structure. In general, a wetland or other surface water is characterized either by plant cover or by open water with a submerged benthic community. Wetlands and surface waters characterized by plant cover will be scored according to subparagraph C.1 below, while benthic communities will be assessed in accordance with subparagraph C.2 below. If the assessment area is a mosaic of relatively equal parts of submerged plant cover and a submerged benthic community, then both of these indicators will be scored and those scores averaged to obtain a single community structure score.

*Vegetation and structure habitat* – The presence, abundance, health, condition, appropriateness, and distribution of plant communities in surface waters, wetlands, and uplands can be used as indicators to determine the degree to which the functions of the community type identified are provided. Vegetation is the base of the food web in any community and provides many additional structural habitat benefits to fish and wildlife. In forested systems, for example, the vertical structure of trees, tree cavities, standing dead snag and fallen logs provide forage, nesting, and cover habitat for wildlife. Topographic features, such as flats, deeper depressions, hummocks, or tidal creeks also provide important structure for fish and wildlife habitat. Overall condition of a plant community can often be evaluated by observing indicators such as dead or dying vegetation, regeneration and recruitment, sizes

*and age distribution of trees and shrubs, fruit production, chlorotic or spindly plant growth, structure of the vegetation strata, and the presence, coverage and distribution of inappropriate plant species. Human activities such as mowing, grazing, off-road vehicle activity, boat traffic, and fire suppression constitute more direct and easily observable impacts affecting the condition of plant communities. Although short-term environmental factors such as excessive rainfall, drought, and fire can have temporary impacts, human activities such as flooding, drainage via groundwater withdrawal and conveyance canals, or construction of permanent structures such as seawalls in an aquatic system can permanently damage these systems. The plant community should be evaluated to consider whether natural successional patterns for the community type are permanently altered. In appropriate plants, including invasive exotic species, other invasive species, or other species atypical of the community type being evaluated, do not support the functions attributable to that community type and can out-compete and replace native species. Native upland and wetland vegetation, such as wax myrtle, pines, and willow, which are not typically considered as invasive, can occur in numbers and coverage not appropriate for the community type and can serve as indicators of disturbance. The relative degree of coverage by appropriate species, inappropriate vegetation strata, condition of vegetation, and both biotic and abiotic structure all provide an indication of the degree to which the functions anticipated for the community type identified are being provided.*

The above categories are scored on a 0-10 scale and divided by 30 and then categorized into one of three categories: Optimal (1-0.71), Moderate (0.70-0.41) or Minimal (0.40-0). CES evaluated the onsite wetlands and wetlands on projects within the immediate vicinity. CES is confident that the onsite wetlands would fall into the “Moderate” wetland category and be subjected to an average 25 foot/minimum 15 foot upland buffer. This is the same upland buffer requirement of SJRWMD. For SJRWMD, where buffers consistent with this requirement can not be provided, an applicant must propose secondary wetland impacts and provide compensatory wetland mitigation. CES believes the onsite wetlands would receive a score of 5 for Location and Landscape, 7 for Water Environment and 7 for Community Structure. When divided by 30 this places the onsite wetlands into the 0.63 “Moderate” category.

Please see the table below from the City of Palm Coast Technical Manual Section VII (Environmental) which outlines the requirements for the different categories of wetlands.

<b>Requirement in Application Package</b>	<b>Optimal Wetland including named wetland systems associated with surface water bodies and WQAM score between 0.71 and 1.0</b>	<b>Moderate Wetland WQAM score between 0.41 and 0.70 [Wetland Impacts regulated by SJRWMD or FDEP]</b>	<b>Minimal Wetland WQAM score between 0.00 and 0.40 [Wetland Impacts regulated by SJRWMD or FDEP]</b>
Wetland Impact Analysis	YES	YES	YES
Alternatives analysis for avoidance and minimization	YES	YES	NO
Assurance of ‘no net loss of wetland functions’ for the wetland system(s) located on the project site	YES	NO	NO



Compensatory mitigation within the City is preferred. However, mitigation shall occur within the same hydrologic basin per SJRWMD, or as consistent with Section 62-345, FAC, as amended or succeeded (1)	YES	YES	YES
A natural upland buffer with an average width of 50 feet, but not less than 25 feet	YES	NO	NO
A natural upland buffer with an average width of 25 feet, but not less than 15 feet	NO	YES	YES
Provide copy of all requisite Federal and/or State wetland permits	YES	YES	YES

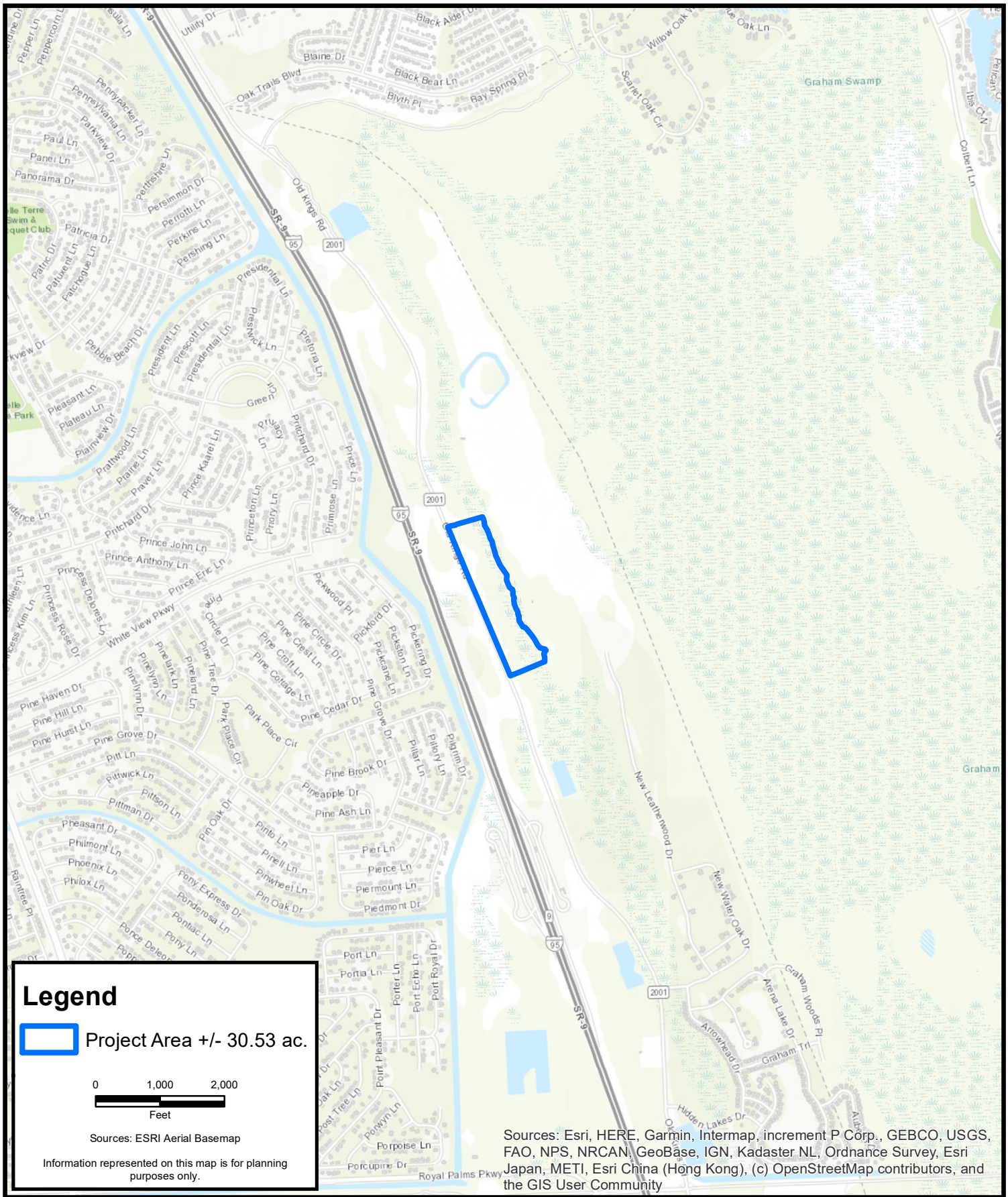
Recently, SJRWMD scored wetlands on a project directly to the west of the subject property. The wetland scores were 0.53 and 0.63 (i.e. both wetlands were deemed “Moderate”. CES believes the subject property wetlands are roughly equivalent to the higher in quality wetlands on the adjacent site and still within the “Moderate” category. The wetlands are still in close proximity to Interstate 95, Old Kings Road and the City of Palm Coast spray fields. These features will reduce the overall Location and Landscape score. Additionally, there is no stormwater treatment for Old Kings Road nor the City of Palm Coast spray fields. Thus, the water quantity and quality will be negatively affected and will reduce the overall Water Environment score. Lastly, due to lack of land management and fire regimes in the surrounding uplands, the Community Structure score will be reduced as there are invasive exotics present within the assessment area including but not limited to: Chinese tallow (*Triadica sebifera*) and tropical soda apple (*Solanum viarum*). In summary, CES is confident the onsite wetlands will score in the Moderate category and per the above table, be subjected to a 25 foot average/15 foot minimum upland buffer. This is the same upland buffer distance as required by SJRWMD per section 10.2.7, Applicant’s Handbook Volume I.

We trust this information is helpful with your site planning. If you have any questions or concerns, please do not hesitate to contact us.

Sincerely,



Dave Jeff  
Senior Project Manager



<p><b>CARTER ENVIRONMENTAL SERVICES, INC.</b></p> <p><b>CES</b> 42 Masters Drive St. Augustine, FL 32084 904-540-1786</p> <p><a href="http://www.carterenv.com">www.carterenv.com</a></p>	<p style="text-align: center;">Location Map</p> <p style="text-align: center;"><b>Old Kings Multi-Family</b></p> <table border="1" style="width: 100%;"> <tr> <td>Project: 5.18116</td><td>Palm Coast, FL</td><td>Date: May 18 2023</td></tr> </table>	Project: 5.18116	Palm Coast, FL	Date: May 18 2023	<p style="text-align: center;">             Figure: 1         </p>
Project: 5.18116	Palm Coast, FL	Date: May 18 2023			





**CARTER ENVIRONMENTAL  
SERVICES, INC.**



42 Masters Drive  
St. Augustine, FL 32084  
904-540-1786

[www.carterenv.com](http://www.carterenv.com)

Current Color Aerial  
**Old Kings Multi-Family**

Project: 5.18116

Palm Coast, FL

Date: May 18 2023



Figure: 2  
85



**GENERAL APPLICATION:**

- |  |  |
|--|--|
| <input type="checkbox"/> Rezoning  | <input type="checkbox"/> Special Exception                           |
| <input type="checkbox"/> Nonstatutory Land Division/Parcel Reconfiguration | <input type="checkbox"/> Vacating Plat                               |
| <input type="checkbox"/> Subdivision Master Plan                           | <input type="checkbox"/> Preliminary Plat                            |
| <input checked="" type="checkbox"/> Master Site Plan                       | <input type="checkbox"/> Final Plat                                  |
| <input type="checkbox"/> Technical Site Plan                               | <input type="checkbox"/> Nonresidential Controlling Master Site Plan |
| <input type="checkbox"/> Variance  | <input type="checkbox"/> Site Plan Addition                          |
| <input type="checkbox"/> Wireless Communication Facility (new structure)   | <input type="checkbox"/> Development Order Modification              |
| <input type="checkbox"/> Parking Flexibility                               |  |

CD Plus Application #: \_\_\_\_\_ Application Submittal Date: \_\_\_\_\_  
Fee Paid: \$ \_\_\_\_\_ Date of Acceptance: \_\_\_\_\_  
Employee Name Accepting Application (print name): \_\_\_\_\_  
Rejected on \_\_\_\_\_ Rejected by: \_\_\_\_\_  
Reason for Rejection: \_\_\_\_\_

- A. PROJECT NAME:** Old Kings Multi-Family
- B. LOCATION OF SUBJECT PROPERTY (PHYSICAL ADDRESS):** East side of Old Kings Road about 2 miles north of  
its intersection with Town Center Blvd.
- C. PROPERTY APPRAISER'S PARCEL NUMBER(s):** 29-11-31-0000-01010-0050, 29-11-31-0000-01010-0051
- D. LEGAL DESCRIPTION:** \_\_\_\_\_ Subdivision Name; \_\_\_\_\_ Section; \_\_\_\_\_ Block; \_\_\_\_\_ Lot  
A portion of parcel 523.02; along Old Kings Road and West of spray effluent site. A parcel of land lying East of Interstate 95  
within Government Section 29, Township 11 South, Range 31 East, Flagler County, Florida
- E. SUBJECT PROPERTY ACRES / SQUARE FOOTAGE:** 29.244
- F. FUTURE LAND USE MAP DESIGNATION:** Mixed Use, Cons **EXISTING ZONING DISTRICT:** MFR-2  
**OVERLAY DISTRICT:** N/A
- G. FLOOD ZONE:** X **COMMUNITY PANEL NUMBER:** ~~12109C0465J~~ **DATE:** 6/6/2018  
12035C0139E
- H. PRESENT USE OF PROPERTY:** Undeveloped
- I. DESCRIPTION OF REQUEST / PROPOSED DEVELOPMENT (MAY ATTACH ADDITIONAL SHEETS):** \_\_\_\_\_  
Development of 216 garden-style apartments iwth private community amenities, recreation adn associated infrastructure
- J. PROPOSED NUMBER OF LOTS:** \_\_\_\_\_
- K. CHECK APPROPRIATE BOX FOR SITE PLAN:**  
☐ Tier 1 (up to 40,000 sq. ft. / 40 units)  
☐ Tier 2 (up to 100,000 sq. ft. / 100 units)  
☒ Tier 3 (exceeding 100,000 sq. ft. / 100 units)
- L. LIST BELOW ANY APPLICATIONS CURRENTLY UNDER REVIEW OR RECENTLY APPROVED ASSOCIATED WITH THIS APPLICATION:**  
ORD. 2022-13, rezoning application No. 5059
- M. WATER/SEWER PROVIDER:** City
- N. IS THERE AN EXISTING MORTGAGE?** ☐ Yes ☐ No



# CITY OF PALM COAST TECHNICAL MANUAL

## OWNER:

Name: Kings Business Center LLC
Mailing Address: PO Box 670 Torrington, WY 82240
Phone Number:
E-mail Address:

## APPLICANT / AGENT:

Name: Matthews   DCCM
Mailing Address: 6621 Southpoint Drive N, Suite 300 Jacksonville, FL 32216
Phone Number: 904-374-4667
E-mail Address: cevans@mdginc.com

## MORTGAGE HOLDER:

Name:
Mailing Address:
Phone Number:
E-mail Address:

## ENGINEER OR PROFESSIONAL:

Name: Rudd Jones, Matthews   DCCM
Mailing Address: 7 Waldo St, St. Augustine, FL
Phone Number:
E-mail Address: fjoness@mdginc.com

## PLANNER:

Name: Christina Evans, Matthews   DCCM
Mailing Address: 6621 Southpoint Drive N, Suite 300 Jacksonville, FL 32216
Phone Number: 904-374-4667
E-mail Address: cevans@mdginc.com

## TRAFFIC ENGINEER:

Name:
Mailing Address:
Phone Number:
E-mail Address:

## SURVEYOR:

Name: Kenneth J Kuhar, Kuhar Surveying & Mapping
Mailing Address: 1501 Ridgewood Ave, Suite 205 Holly Hill, FL 32117
Phone Number: 386-672-0002
E-mail Address:

## LANDSCAPE ARCHITECT:

Name: Eric Lanehart, Matthews   DCCM
Mailing Address: 6621 Southpoint Drive N, Suite 300 Jacksonville, FL 32216
Phone Number: 904-374-4667
E-mail Address: elanehart@mdginc.com

## ATTORNEY:

Name:
Mailing Address:
Phone Number:
E-mail Address:

## DEVELOPER OR DOCKMASTER:

Name: Trimcor
Mailing Address: PO Box 518 Phenix City, AL
Phone Number:
E-mail Address:

I HEREBY CERTIFY THAT ALL INFORMATION ON THIS APPLICATION IS CORRECT:

Signature of owner OR person authorized to represent this application

Signature(s)

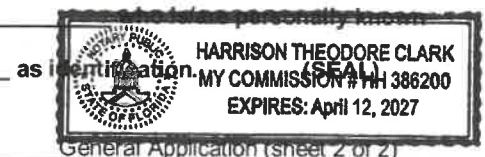
Printed or typed name(s): Christina Evans

NOTARY: This instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, on this

19 day of May, 2023 by Christina Evans

to me, or who has/have produced

Harrison T. Clark  
Signature of Notary Public, State of Florida



General Application (sheet 2 of 2)





**Reply to:**  
**Michael D. Chiumento - Partner**  
[Mike@LegalTeamForLife.com](mailto:Mike@LegalTeamForLife.com)  
145 City Place, Suite 301  
Palm Coast, FL 32164  
Phone: (386) 445-8900  
Fax: (386) 445-6702

June 6, 2018

Via Email & Regular Mail

G. Shawn Madden  
P.O. Box 670  
Torrington, WV 82240

RE: Florida Landmark Communities LLC s/t Madden  
Old Kings Road/Whiteview Crossing Parcels

Dear Mr. Madden:

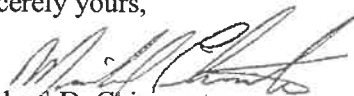
The above referenced Contract, with an *effective date of May 4, 2018*, has been delivered to this office for *closing scheduled for July 9, 2018*. This is also to acknowledge receipt of your deposit in the amount of \$25,000.00 which is being held in our real estate trust account.

Enclosed is a copy of the *title insurance commitment together with a CD* which includes the copies of the title documents.

If you plan to take title in another name or entity, please advise at least 15 days prior to the closing date.

Should you have any questions regarding this matter, please contact either myself or my paralegal, Kelly DeVore.

Sincerely yours,



Michael D. Chiumento

MDC/kd

Enclosures

cc: William Livingston  
Jeff Douglas  
Bob Million

# OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

## AMERICAN LAND TITLE ASSOCIATION COMMITMENT

### Schedule A

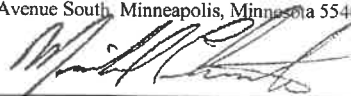
#### Transaction Identification Data for reference only:

<b>Commitment Number:</b> 584841	<b>Revision Number:</b> None	<b>Issuing Office File Number:</b> 1461.180328	<b>Issuing Office:</b> 500301
<b>Property Address:</b>  Palm Coast, FL 32137	<b>Loan ID Number:</b>	<b>ALTA Universal ID:</b>  None	<b>Issuing Agent:</b> Chimento Dwyer Hertel Grant & Kistemaker, P.L.

1. Commitment Date: **May 2, 2018 at 11:00 PM**
2. Policy to be Issued:  
**OWNER'S: ALTA Owner's Policy (06/17/06). (With Florida Modifications)**  
Proposed Insured: **G. Shawn Madden**  
**MORTGAGEE:**  
Proposed Insured:  
**MORTGAGEE:**  
Proposed Insured:  
**Proposed Policy Amount:**  
**\$1,006,250.00**
3. The estate or interest in the Land described or referred to in this Commitment is **FEE SIMPLE** (Identify estate covered, i.e., fee, leasehold, etc.)
4. Title to the estate or interest in the Land is at the Commitment Date vested in:  
**Florida Landmark Communities, LLC, a Florida limited liability company, formerly Florida Landmark Communities, Inc., a Florida corporation fka Palm Coast Holdings, Inc., a Florida corporation**
5. The Land is described as follows:  
**See Exhibit A**

Old Republic National Title Insurance Company

400 Second Avenue South, Minneapolis, Minnesota 55401, (612) 371-1111



AUTHORIZED SIGNATORY

Chimento Dwyer Hertel Grant & Kistemaker, P.L.  
500301

This page is only a part of a 2016 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I -- Requirements; and Schedule B, Part II -- Exceptions.

# ***OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY***

## ***AMERICAN LAND TITLE ASSOCIATION COMMITMENT***

### **Schedule B-I**

Issuing Office File Number: 1461.180328

### **Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
  - A. Warranty Deed from Florida Landmark Communities, LLC, a Florida limited liability company, formerly Florida Landmark Communities, Inc., a Florida corporation fka Palm Coast Holdings, Inc., a Florida corporation to the proposed insured purchaser(s).
5. A search commencing with the effective date of this commitment must be performed at or shortly prior to the closing of this transaction. If this search reveals a title defect or other objectionable matters, an endorsement will be issued requiring that this defect or objection be cleared on or before closing.
6. Satisfactory evidence must be furnished establishing that Florida Landmark Communities, LLC, a Florida limited liability company, formerly Florida Landmark Communities, Inc., a Florida corporation fka Palm Coast Holdings, Inc., a Florida corporation is duly organized, validly existing, and in good standing under the laws of Florida (at date of acquisition of the interest or lien on the insured property and at the present time, or at date of purchase and at date of sale).
7. Confirm the authority of the person designated to bind the LLC by at least one of the following means of authority: (1) A duly appointed manager of a manager managed LLC; (2) A member of a member managed LLC, who has been confirmed not to be a debtor in bankruptcy, dissociated, nor wrongfully caused dissolution of the company; (3) A Statement of Authority; or (4) Power of Attorney, Resolution, or other delegation of authority, with confirmation that the authority has been legally delegated. If there is knowledge that the authority as confirmed conflicts with the Operating Agreement or the information published by the Florida Department of State on sunbiz.org, then all of the members of the LLC, or a majority of the members-in-interest if the number of the members is substantial, must execute an affidavit consenting to the transaction.
8. Determine that the LLC is not a debtor in bankruptcy, and where an LLC is one of a family of entities, determine that none are debtors in bankruptcy and if any are, Fund Underwriting Counsel must approve the transaction before title is insured. For a sole member LLC, a determination must be made that there are no creditors who have acquired or attempted to acquire control of the LLC by execution of the Member's interest or otherwise.

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# ***OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY***

## ***AMERICAN LAND TITLE ASSOCIATION COMMITMENT***

### **Schedule B-I**

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# OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

## AMERICAN LAND TITLE ASSOCIATION COMMITMENT

### Schedule B-II

Issuing Office File Number: 1461.180328

#### Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the Commitment Date hereof but prior to the date the Proposed Insured acquires for value of record the estate or interest or Mortgage thereon covered by this Commitment.
2.
  - a. General or special taxes and assessments required to be paid in the year **2018** and subsequent years.
  - b. Rights or claims of parties in possession not recorded in the Public Records.
  - c. Any encroachment, encumbrance, violation, variation or adverse circumstance that would be disclosed by an inspection or an accurate and complete land survey of the Land and inspection of the Land.
  - d. Easements or claims of easements not recorded in the Public Records.
  - e. Any lien, or right to a lien, for services, labor or material furnished, imposed by law and not recorded in the Public Records.
3. Any Owner's Policy issued pursuant hereto will contain under Schedule B the following exception: *Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the Land insured hereunder, including submerged, filled and artificially exposed lands, and lands accreted to such lands.*
4. Any lien provided by County Ordinance or by Chapter 159, F.S., in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality.
5. All matters contained on the Plat of Bernard Meadows Section 81 Palm Harbor at Palm Coast, as recorded in Plat Book 23, Page 23, Public Records of Flagler County, Florida. (Parcel 1)
6. Covenants, conditions and restrictions recorded in O.R. Book 77, Page 326; Amended in O.R. Book 102, Page 159; O.R. Book 123, Page 297; O.R. Book 218, Page 566; O.R. Book 226, Page 957; O.R. Book 266, Page 587; O.R. Book 321, Page 185; O.R. Book 524, Page 1565; O.R. Book 641, Page 348; and Assignment of Assumption of Declarant Rights recorded in O.R. Book 641, Page 344, of the Public Records of Flagler County, Florida. (Parcel 1)
7. Resolutions recorded in O.R. Book 81, Page 11, and O.R. Book 122, Page 107, of the Public Records of Flagler County, Florida. (Parcel 1)

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# ***OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY***

## ***AMERICAN LAND TITLE ASSOCIATION COMMITMENT***

### **Schedule B-II**

Issuing Office File Number: 1461.180328

8. Covenant recorded in O.R. Book 130, Page 19, of the Public Records of Flagler County, Florida. (Parcel 1)
9. Easement in favor of Palm Coast Associates, Inc. recorded in O.R. Book 96, Page 27, Public Records of Flagler County, Florida. (Parcel 1)
10. Right of Ingress and Egress granted to State of Florida, DOT recorded in O.R. Book 133, Page 382, Public Records of Flagler County, Florida. (Parcel 1)
11. Easement to Florida Power and Light Company recorded in Deed Book 39, Page 38, O.R. Book 146, Page 4, O.R. Book 146, Page 6, O.R. Book 146, Page 9 and O.R. Book 146, Page 12, Public Records of Flagler County, Florida. (Parcels 1 and 2)
12. Utility Easement in favor of Palm Coast Utility Corporation recorded in O.R. Book 366, Page 20, Public Records of Flagler County, Florida. (Parcel 1)
13. Easement in favor of Palm Coast Utility Corporation recorded in O.R. Book 203, Page 689, Public Records of Flagler County, Florida. (Parcel 1)
14. Easement for Road Right of Way recorded in O.R. Book 16, Page 667, Public Records of Flagler County, Florida. (Parcel 2)
15. Easements to Florida Power and Light Company/ Right of Way Agreements recorded in O.R. Book 145, Page 699 and O.R. Book 146, Page 1, and Right of Way Consent Agreement recorded in O.R. Book 1558, Page 331, Public Records of Flagler County, Florida (Parcel 2)
16. Billboard Advertising Leases to Flagler County Board of County Commissioners recorded in O.R. Book 446, Page 304 and O.R. Book 528, Page 1999, Public Records of Flagler County, Florida. (Parcel 2)
17. Drainage Easement to the Palm Coast Utility Corporation recorded in O.R. Book 549, Page 991, as assigned in O.R. Book 602, Page 53, Public Records of Flagler County, Florida. (Parcels 2 and 3)
18. Easement to Florida Power and Light Company recorded in O.R. Book 44, Page 512, Public Records of Flagler County, Florida. (Parcel 2)
19. Easements in favor of Palm Coast Utility Corporation recorded in O.R. Book 271, Page 35 and O.R. Book 366, Page 20, Public Records of Flagler County, Florida. (Parcel 3)
20. Easement to Florida Power and Light Company recorded in O.R. Book 546, Page 1155, Public Records of Flagler County, Florida. (Parcel 2)
21. Utility Easement in favor of Palm Coast Utility Corporation recorded in O.R. Book 552, Page 1332, Public Records of Flagler County, Florida. (Parcel 2)

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# ***OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY***

## ***AMERICAN LAND TITLE ASSOCIATION COMMITMENT***

### **Schedule B-II**

Issuing Office File Number: 1461.180328

22. Billboard Sign and Access Easements in favor of Palm Coast Outdoor, Inc. recorded in O.R. Book 582, Page 37, O.R. Book 582, Page 75, O.R. Book 582, Page 93, O.R. Book 582, Page 102 and O.R. Book 582, Page 111, Public Records of Flagler County, Florida. (Parcel 2)
23. Easement in favor of Palm Coast Utility Corporation recorded in O.R. Book 583, Page 1592, Public Records of Flagler County, Florida. (Parcel 2)
24. Right of Way Easement in favor of City of Palm Coast recorded in O.R. Book 1469, Page 860, Public Records of Flagler County, Florida. (Parcel 3)
25. Drainage Easement in favor of Palm Coast Utility Corporation recorded in O.R. Book 454, Page 705, Public Records of Flagler County, Florida. (Parcel 3)
26. Utility Easements in favor of City of Palm Coast recorded in O.R. Book 1551, Page 856, O.R. Book 1551, Page 882, O.R. Book 1551, Page 887 and O.R. Book 1551, Page 892, Public Records of Flagler County, Florida. (Parcel 2)
27. Utility Easement in favor of City of Palm Coast recorded in O.R. Book 1551, Page 897, Public Records of Flagler County, Florida. (Parcel 1)
28. Development Order recorded in O.R. Book 2171, Page 1126, Public Records of Flagler County, Florida. (Parcel 2)
29. Taxes or Special Assessment for the year of the effective date of this commitment and subsequent years levied by the Old Kings Road Special Assessment District pursuant to City of Palm Coast Ordinance No. 2005-10 and recorded in O.R. Book 1213, Page 193, Public Records of Flagler County, Florida. (All parcels).
30. Ordinance No. 2005-10 recorded in OR Book 1213, Page 193; Notice of Filing recorded in OR Book 1648, Page 1245; Notice of Assessment for Roadway Improvements in the Old Kings Road Special Assessment District recorded in O.R. Book 1703, Page 384, of the Public Records of Flagler County, Florida. (All parcels).
31. Funding Agreement related to Old Kings Road recorded in O.R. Book 1967, Page 63, Public Records of Flagler County, Florida. (All parcels).

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**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**  
**COMMITMENT**  
**Exhibit A**

**Commitment Number:**

584841

**Issuing Office File Number:**

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PARCEL 1 (Oak Trails):

A PARCEL OF LAND BEING A PORTION OF PARCEL 160, RECORDED IN OFFICIAL RECORDS BOOK 553, PAGES 1539 THROUGH 1840, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A POINT OF REFERENCE BEING THE SOUTHWEST CORNER OF PARCEL 1, OF THE PLAT OF UTILITY DRIVE, RECORDED IN MAP BOOK 27, PAGES 25 AND 26, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, THENCE ALONG THE SOUTH LINE OF SAID PARCEL 1, NORTH 70°54'15" EAST 88.92 FEET TO THE NORTHWEST CORNER OF PARCEL 6; THENCE DEPARTING PARCEL 1 SOUTH 19°05'45" EAST ALONG THE WEST LINE OF PARCEL 6 AND THE EXTENSION THEREOF 410.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 70°54'15" EAST 600.00 FEET; THENCE NORTH 19°05'45" WEST 335.00 FEET; THENCE NORTH 70°54'15" EAST 125.31 FEET; THENCE SOUTH 19°05'45" EAST 50.00 FEET; THENCE NORTH 70°54'15" EAST 299.69 FEET; THENCE SOUTH 19°05'45" EAST 68.01 FEET; THENCE SOUTH 85°38'10" WEST 215.15 FEET; THENCE SOUTH 00°39'20" EAST 710.06 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF OAK TRAILS BOULEVARD;(80'R/W); BEING A POINT ON A CURVE CONCAVE SOUTHEASTERLY, THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 155.79 FEET, SAID CURVE HAVING A RADIUS OF 1780.00 FEET AND A CENTRAL ANGLE OF 05°00'53", A CHORD BEARING OF SOUTH 66°30'26" WEST AND A CHORD DISTANCE OF 155.74 FEET TO THE POINT OF TANGENCY; THENCE CONTINUE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE SOUTH 64°00'00" WEST 858.57 FEET TO POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF OLD KINGS ROAD; THENCE NORTH 29°43'07" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE 140.30 FEET; THENCE NORTH 64°00'00" EAST 320.00 FEET; THENCE NORTH 00°49'54" EAST 362.38 FEET TO THE POINT OF BEGINNING.

AND

A PARCEL OF LAND BEING A PORTION OF PARCEL 160, RECORDED IN OFFICIAL RECORDS BOOK 553, PAGES 1539 THROUGH 1840, OF THE PUBLIC RECORDS OF

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**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**  
**COMMITMENT**  
**Exhibit A**

**Commitment Number:**

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FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL 1, OF THE PLAT OF UTILITY DRIVE, RECORDED IN MAP BOOK 27, PAGES 25 AND 26, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA; THENCE NORTH 70°54'15" EAST ALONG THE SOUTH LINE OF PARCEL 1 A DISTANCE OF 88.92 FEET THENCE DEPARTING PARCEL 1 SOUTH 19°05'45" EAST 410.00 FEET; THENCE SOUTH 00°49'54" WEST A DISTANCE OF 362.38 FEET; THENCE SOUTH 64°00'00" WEST A DISTANCE OF 320.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF OLD KINGS ROAD (100'R/W); THENCE NORTH 29°43'07" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 555.01 FEET; THENCE NORTH 60°16'53" EAST A DISTANCE OF 491.71 FEET; THENCE NORTH 29°43'07" WEST ALONG DISTANCE OF 155.68 FEET THE POINT OF BEGINNING.

PARCEL 2 (WHITEVIEW PROFESSIONAL CENTER CROSSINGS AKA OLD KINGS WEST):

PART OF GOVERNMENT SECTIONS 20, 29 AND 32, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, LYING EAST OF INTERSTATE 95 AND WEST OF OLD KINGS ROAD (66 FOOT WIDE RIGHT OF WAY) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT OF REFERENCE COMMENCE AT THE SOUTHWESTERLY CORNER OF LOT 8, PLAT OF INTERSTATE TRADE CENTER PER MAP BOOK 34, PAGES 61-64 INCLUSIVE, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, SAID POINT BE LOCATED ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID INTERSTATE 95, FOR THE POINT OF REFERENCE OF THIS DESCRIPTION; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE S18°20'58"E FOR A DISTANCE OF 224.42 FEET TO THE NORTHERLY LINE OF A FLORIDA DEPARTMENT OF TRANSPORTATION PARCEL PER OFFICIAL RECORDS BOOK 939, PAGES 1746-1750; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE ALONG SAID NORTHERLY PARCEL LINE N71°39'02"E FOR A DISTANCE OF 102.18 FEET TO THE EASTERLY LINE OF SAID PARCEL; THENCE ALONG SAID EASTERLY PARCEL LINE S19°42'59"E FOR A DISTANCE OF 484.52 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

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**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**  
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THENCE DEPARTING SAID PARCEL LINE N70°17'01"E FOR A DISTANCE OF 647.02 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF OLD KINGS ROAD A 66 FOOT RIGHT-OF-WAY, SAID POINT BEING ON A NON-TANGENT CURVE; THENCE RUN SOUTHERLY ALONG SAID WESTERLY RIGHT OF WAY OF OLD KINGS ROAD FOR THE FOLLOWING FOURTEEN (14) COURSES: (1) THENCE ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1399.39 FEET, A CENTRAL ANGLE OF 15°39'08", AN ARC LENGTH OF 382.29 FEET, A CHORD BEARING OF S03°13'54"E, AND A CHORD DISTANCE OF 381.11 FEET TO A POINT OF TANGENCY (2) THENCE S04°35'40"W 544.15 FEET TO A POINT OF CURVATURE; (3) THENCE SOUTHERLY ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 23°24'10", A RADIUS OF 1460.18 FEET, AN ARC LENGTH OF 596.42 FEET AND A CHORD BEARING S07°06'25"E 592.28 FEET TO A POINT OF TANGENCY; (4) THENCE S18°48'30"E 230.73 FEET TO A POINT OF CURVATURE; (5) THENCE SOUTHERLY ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 02°44'57", A RADIUS OF 5935.37 FEET, AN ARC LENGTH OF 284.79 FEET AND A CHORD BEARING S20°10'58"E 284.76 FEET TO A POINT OF TANGENCY; (6) THENCE S21°33'27"E 3279.89 FEET TO A POINT OF CURVATURE; (7) THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 07°33'32", A RADIUS OF 2831.56 FEET, AN ARC LENGTH OF 373.56 FEET AND A CHORD BEARING S17°46'41"E 373.29 FEET TO A POINT OF TANGENCY; (8) THENCE S13°59'55"E 346.05 FEET TO A POINT OF CURVATURE; (9) THENCE SOUTHERLY ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 05°53'04", A RADIUS OF 2897.91 FEET, AN ARC LENGTH OF 297.63 FEET AND A CHORD BEARING S16°56'27"E 297.50 FEET TO A POINT OF TANGENCY; (10) THENCE S19°52'59"E 521.87 FEET TO A POINT OF CURVATURE; (11) THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 01°09'30", A RADIUS OF 11428.18 FEET, AN ARC LENGTH OF 231.06 FEET AND A CHORD BEARING S19°18'14"E 231.06 FEET TO A POINT OF TANGENCY; (12) THENCE S18°43'29"E 912.23 FEET TO A POINT OF CURVATURE; (13) THENCE SOUTHERLY ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 33°30'22", A RADIUS OF 1462.49 FEET. AN ARC LENGTH OF 855.25 FEET AND A CHORD BEARING S35°28'40"E 843.12 FEET TO A POINT OF REVERSE CURVATURE; (14) THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 19°42'46", A RADIUS OF 1374.80 FEET, AN ARC LENGTH OF 473.00 FEET AND A CHORD BEARING S42°22'28"E 470.67 FEET; THENCE DEPART SAID WESTERLY RIGHT-OF-WAY OF OLD KINGS ROAD RUN S56°22'09"W AND ALONG THE SOUTH LINE OF AN EASEMENT FOR ACCESS RECORDED IN OFFICIAL RECORDS BOOK 939, PAGES 1751

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THROUGH 1753 FOR A DISTANCE OF 471.21 FEET, THENCE DEPARTING SAID SOUTH LINE RUN N18°20'58"W ALONG THE EAST LINE OF FDOT PARCEL RECORDED IN OFFICIAL RECORDS BOOK 939, PAGES 1746-1750 FOR A DISTANCE OF 95.65 FEET TO THE NORTHEAST CORNER OF SAID FDOT PARCEL, THENCE S56°22'09"W ALONG THE NORTH LINE OF SAID FDOT PARCEL FOR A DISTANCE OF 428.78 FEET, THENCE S04°46'15"W ALONG THE NORTHWEST BOUNDARY LINE OF SAID FDOT PARCEL FOR A DISTANCE OF 193.09 FEET TO A POINT ON THE EAST LINE OF ADDITIONAL LANDS FOR INTERSTATE-95 LIMITED ACCESS RIGHT OF WAY RECORDED IN OFFICIAL RECORDS BOOK 490, PAGES 716-718 TO A POINT ON THE EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE-95; THENCE ALONG THE EASTERLY LINE OF SAID LIMITED ACCESS RIGHT OF WAY OF INTERSTATE-95 THE FOLLOWING SIX (6) COURSES, (1) N16°03'24"W 401.51 FEET, (2) THENCE N03°20'58"W 22.60 FEET. (3) THENCE N56°02'17"E 303.76 FEET, (4) THENCE N19°42'04"W 1911.00 FEET, (5) THENCE S89°57'13"W 197.00 FEET, (6) THENCE N30°29'16"W 441.85 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF THE 300 FOOT WIDE RIGHT OF WAY OF INTERSTATE 95; THENCE N18°20'58"W ALONG SAID EASTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 4830.40 FEET; THENCE CONTINUE N18°20'58"W FOR A DISTANCE OF 707.16 FEET TO A POINT ON THE SOUTHERLY LINE OF THE AFOREMENTIONED FDOT PARCEL; THENCE DEPARTING SAID EASTERLY INTERSTATE-95 RIGHT-OF-WAY LINE ALONG SAID SOUTHERLY PARCEL LINE S39°06'35"E FOR A DISTANCE OF 56.96 FEET; THENCE N71°39'02"E FOR A DISTANCE OF 119.00 FEET TO THE EASTERLY PARCEL LINE; THENCE DEPARTING SAID SOUTHERLY LINE ALONG SAID EASTERLY LINE N19°42'59"W FOR A DISTANCE OF 1065.92 FEET TO THE POINT OF AFORESAID POINT OF BEGINNING OF THIS DESCRIPTION.

PARCEL 3 (WHITEVIEW PROFESSIONAL CENTER CROSSINGS AKA OLD KINGS EAST):

PARCEL 523.01, ALONG OLD KINGS ROAD AND WEST OF SPRAY EFFLUENT SITE.

A PARCEL OF LAND LYING EAST OF INTERSTATE-95 WITHIN GOVERNMENT SECTIONS 20 AND 29, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

**COMMITMENT**

**Exhibit A**

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A POINT OF REFERENCE BEING THE NORTH QUARTER (1/4) CORNER OF GOVERNMENT SECTION 29, TOWNSHIP 11 SOUTH, RANGE 31 EAST, THENCE SOUTH 88°57'37" WEST ALONG THE NORTH LINE OF SECTION 29 A DISTANCE OF 537.84 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF OLD KINGS ROAD (66'R/W) SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION SAID POINT BEING THE POINT OF INTERSECTION WITH A NON-TANGENT CURVE CONCAVE EASTERLY, THENCE DEPARTING SAID SECTION LINE NORTHERLY A DISTANCE OF 182.90 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 01°47'08", A RADIUS OF 5869.37 FEET, A CHORD BEARING OF NORTH 19°42'04" WEST AND A CHORD DISTANCE OF 182.89 FEET TO A POINT OF TANGENCY, THENCE NORTH 18°48'30" WEST ALONG OLD KINGS ROAD RIGHT-OF-WAY A DISTANCE OF 230.74 FEET TO A POINT OF CURVATURE, CONCAVE EASTERLY, THENCE NORTHERLY A DISTANCE OF 569.46 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 23°24'10", A RADIUS OF 1394.18 FEET, A CHORD BEARING OF NORTH 07°06'25" WEST AND A CHORD DISTANCE OF 565.51 FEET TO A POINT OF TANGENCY, THENCE NORTH 04°35'40" EAST A DISTANCE OF 544.15 FEET TO A POINT OF CURVATURE, CONCAVE WESTERLY, THENCE NORTHERLY A DISTANCE OF 882.97 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 34°31'24", A RADIUS OF 1465.39 FEET, A CHORD BEARING OF NORTH 12°40'02" WEST AND A CHORD DISTANCE OF 869.67 FEET TO A POINT OF TANGENCY, THENCE NORTH 29°56'13" WEST ALONG THE EAST RIGHT-OF-WAY LINE OF OLD KINGS ROAD A DISTANCE OF 1172.80 FEET TO A POINT OF CURVATURE, CONCAVE NORTHEASTERLY, THENCE SOUTHEASTERLY A DISTANCE OF 30.73 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 01°12'05", A RADIUS OF 1465.39 FEET, A CHORD BEARING OF NORTH 30°31'47" WEST AND A CHORD DISTANCE OF 30.73 FEET TO THE POINT OF INTERSECTION WITH A NON-TANGENT LINE, THENCE DEPARTING OLD KINGS ROAD NORTH 71°51'31" EAST A DISTANCE OF 784.62 FEET, THENCE SOUTH 21°50'18" EAST A DISTANCE OF 1168.13 FEET, THENCE SOUTH 16°04'58" EAST A DISTANCE OF 665.42 FEET, THENCE SOUTH 04°52'39" WEST A DISTANCE OF 1003.99 FEET, THENCE SOUTH 26°21'24" EAST A DISTANCE OF 300.51 FEET, THENCE SOUTH 00°54'07" WEST A DISTANCE OF 195.45 FEET, THENCE SOUTH 42°34'39" EAST A DISTANCE OF 167.86 FEET, THENCE SOUTH 26°42'49" EAST A DISTANCE OF 237.96 FEET, THENCE NORTH 89°00'40" EAST A DISTANCE OF 45.03 FEET, THENCE SOUTH 00°34'43" EAST A DISTANCE OF 266.92 FEET, THENCE SOUTH 05°10'37" EAST A DISTANCE OF 39.63

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FEET, THENCE SOUTH 23°56'28" WEST A DISTANCE OF 37.00 FEET, THENCE SOUTH 75°25'34" WEST A DISTANCE OF 581.63 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF OLD KINGS ROAD, THENCE NORTH 21°33'27" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 310.40 FEET TO A POINT OF CURVATURE, CONCAVE EASTERLY, THENCE NORTHERLY A DISTANCE OF 98.72 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00°57'49", A RADIUS OF 5869.37 FEET, A CHORD BEARING OF NORTH 21°04'32" WEST AND A CHORD DISTANCE OF 98.72 FEET TO THE POINT OF BEGINNING.

AND

PARCEL 523.02, ALONG OLD KINGS ROAD AND WEST OF SPRAY EFFLUENT SITE.

A PARCEL OF LAND LYING EAST OF INTERSTATE-95 WITHIN GOVERNMENT SECTION 29, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A POINT OF REFERENCE BEING THE NORTH QUARTER (1/4) CORNER OF GOVERNMENT SECTION 29, TOWNSHIP 11 SOUTH, RANGE 31 EAST, THENCE SOUTH 88°57'37" WEST ALONG THE NORTH LINE OF SECTION 29 A DISTANCE OF 537.84 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF OLD KINGS ROAD (66'R/W) TO A POINT ON A NON-TANGENT CURVE, CONCAVE EASTERLY, THENCE SOUTHERLY A DISTANCE OF 98.72 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 00°57'49", A RADIUS OF 5869.37 FEET, A CHORD BEARING OF SOUTH 21°04'32" EAST AND A CHORD DISTANCE OF 98.72 FEET TO A POINT OF TANGENCY THENCE SOUTH 21°33'27" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 411.58 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, THENCE DEPARTING OLD KINGS ROAD NORTH 75°25'34" EAST A DISTANCE OF 562.56 FEET, THENCE SOUTH 38°42'08" EAST A DISTANCE OF 30.01 FEET, THENCE SOUTH 08°06'04" EAST A DISTANCE OF 47.37 FEET, THENCE SOUTH 08°20'20" EAST A DISTANCE OF 61.01 FEET, THENCE SOUTH 29°28'16" EAST A DISTANCE OF 78.99 FEET, THENCE SOUTH 21°08'14" EAST A DISTANCE OF 70.58 FEET, THENCE SOUTH 13°08'37" EAST A DISTANCE OF 69.68 FEET, THENCE SOUTH 28°59'44" EAST A DISTANCE OF 48.45 FEET, THENCE SOUTH 12°24'13" EAST A DISTANCE OF 85.52 FEET, THENCE SOUTH 16°50'18" EAST A DISTANCE OF 91.70 FEET, THENCE SOUTH 12°44'41" EAST A DISTANCE OF 59.70 FEET, THENCE SOUTH 22°32'51" EAST A DISTANCE OF 155.37

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**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**  
**COMMITMENT**  
**Exhibit A**

**Commitment Number:**

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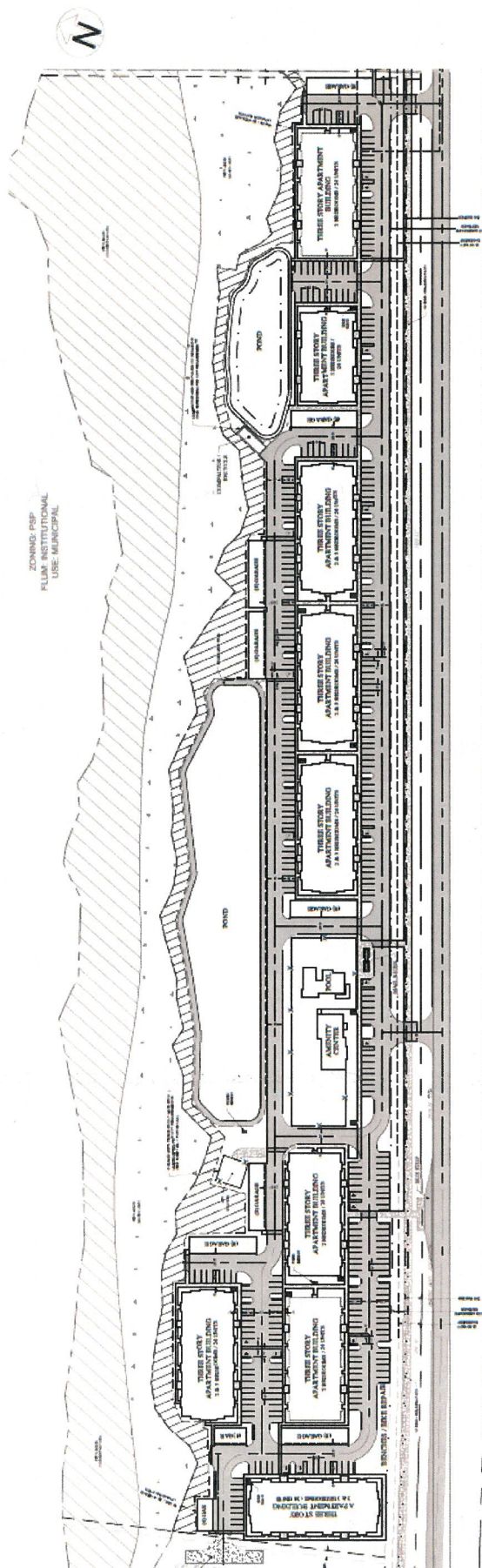
1461.180328

FEET, THENCE SOUTH 32°53'15" EAST A DISTANCE OF 193.77 FEET, THENCE SOUTH 04°40'30" WEST A DISTANCE OF 71.70 FEET, THENCE SOUTH 19°56'22" EAST A DISTANCE OF 122.61 FEET, THENCE SOUTH 51°14'40" EAST A DISTANCE OF 43.41 FEET, THENCE SOUTH 43°26'40" EAST A DISTANCE OF 16.39 FEET, THENCE SOUTH 11°22'26" EAST A DISTANCE OF 28.72 FEET, THENCE SOUTH 00°45'14" WEST A DISTANCE OF 55.47 FEET, THENCE SOUTH 25°33'50" EAST A DISTANCE OF 44.51 FEET, THENCE SOUTH 11°36'43" WEST A DISTANCE OF 41.54 FEET, THENCE SOUTH 03°29'05" EAST A DISTANCE OF 57.97 FEET, THENCE SOUTH 22°36'49" EAST A DISTANCE OF 74.94 FEET, THENCE SOUTH 25°20'20" EAST A DISTANCE OF 52.07 FEET, THENCE SOUTH 07°44'50" EAST A DISTANCE OF 52.85 FEET, THENCE SOUTH 37°17'04" EAST A DISTANCE OF 18.44 FEET, THENCE SOUTH 00°17'07" EAST A DISTANCE OF 71.43 FEET, THENCE SOUTH 31°18'23" EAST A DISTANCE OF 68.56 FEET, THENCE SOUTH 26°25'43" EAST A DISTANCE OF 50.72 FEET, THENCE SOUTH 81°32'59" EAST A DISTANCE OF 36.05 FEET, THENCE SOUTH 33°33'09" EAST A DISTANCE OF 37.04 FEET, THENCE SOUTH 39°42'44" EAST A DISTANCE OF 126.71 FEET, THENCE SOUTH 34°53'06" EAST A DISTANCE OF 81.88 FEET, THENCE SOUTH 23°06'38" EAST A DISTANCE OF 99.31 FEET, THENCE SOUTH 42°46'27" EAST A DISTANCE OF 57.20 FEET, THENCE SOUTH 74°13'45" EAST A DISTANCE OF 79.45 FEET, THENCE SOUTH 27°31'23" EAST A DISTANCE OF 21.87 FEET, THENCE SOUTH 57°55'00" WEST A DISTANCE OF 14.69 FEET, THENCE SOUTH 23°33'20" WEST A DISTANCE OF 44.98 FEET, THENCE SOUTH 10°51'52" EAST A DISTANCE OF 54.76 FEET, THENCE SOUTH 01°36'34" EAST A DISTANCE OF 67.75 FEET, THENCE SOUTH 68°55'29" WEST A DISTANCE OF 581.62 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF OLD KINGS ROAD, THENCE NORTH 21°33'27" WEST A DISTANCE OF 2506.66 FEET TO THE POINT OF BEGINNING.

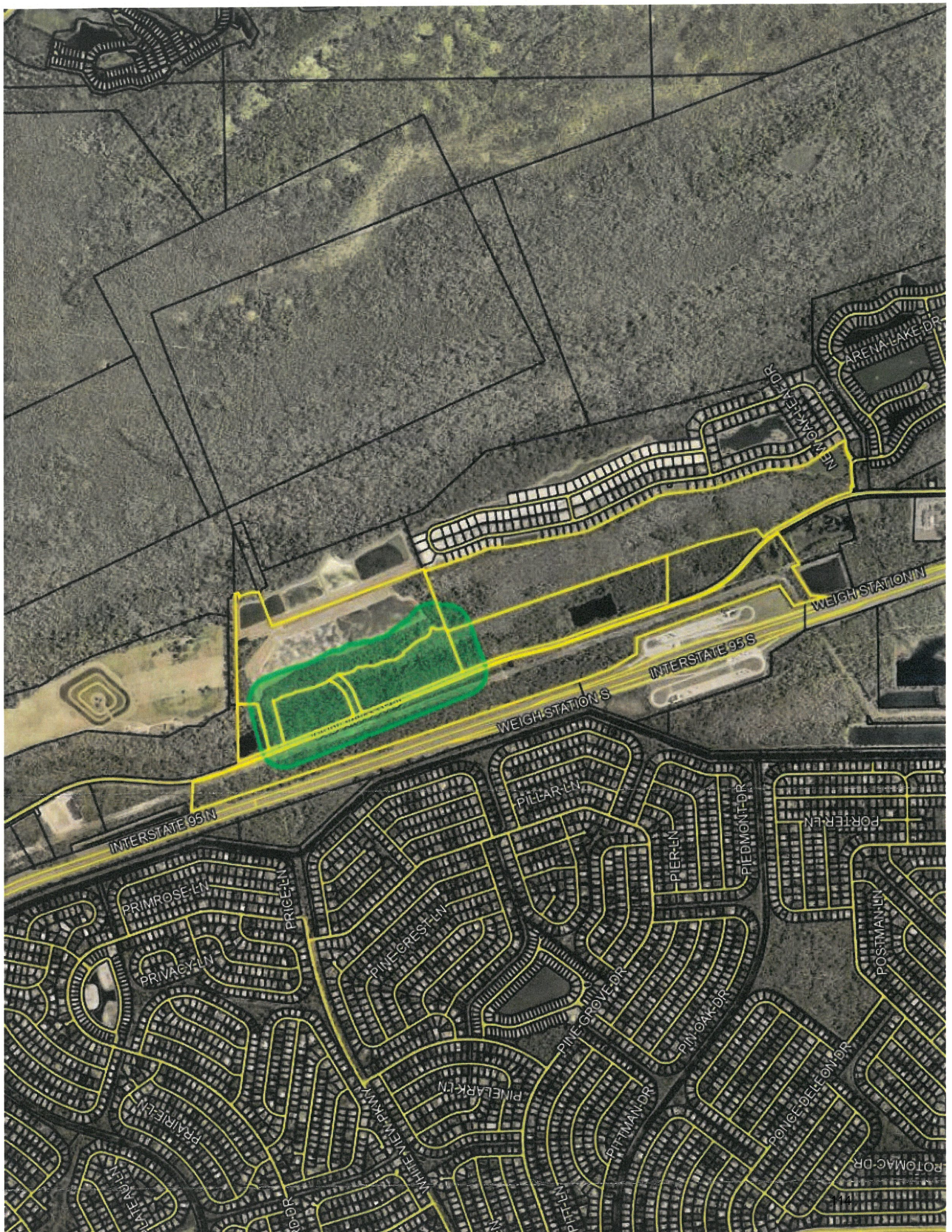
This page is only a part of a 2016 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I – Requirements; and Schedule B, Part II – Exceptions.













  
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