



# Flagler County Board of County Commissioners Meeting Agenda

May 17, 2021 • 5:00 p.m.

Government Services Building 2, Board Chambers, 1769 E. Moody Blvd., Bunnell, FL 32110

1. **Pledge to the Flag and Moment of Silence**
2. **Additions, Deletions and Modifications to the Agenda**
3. **Announcements by the Chair**
4. **Recognitions, Proclamations and Presentations:**
  - 4a) **Recognitions:** Appreciation of Flagler County Staff Involved in the Execution of the Coronavirus Aid, Relief, and Economic Security (CARES) Program in Flagler County *(Requested by Jerry Cameron, County Administrator)*
  - 4b) **Proclamations:** Emergency Medical Services Week – May 16-27, 2021 *(Requested by Joe King, Interim Fire Chief)*
  - 4c) **Presentations:**
    - 1) Jack Mikutel - Youth for Agriculture *(Requested by Melanie Thomas, UF/IFAS Extension Director and Wendy Mussoline, UF/IFAS Extension Services Ag Agent II )*
    - 2) Anastasia Mosquito Control Overview *(Requested by Jerry Cameron, County Administrator)*
    - 3) Pre-Hurricane Season Briefing *(Requested by Jonathan Lord, Emergency Management Director)*
5. **Community and Board Comments:**
  - 5a) **Community Outreach:** *This thirty-minute time period has been allocated for public comment on any consent agenda item or topic not on the agenda. Each speaker will be allowed up to three (3) minutes to address the Commission. Speakers should approach the podium, identify themselves and direct comments to the Chair.*
  - 5b) **Board Comments on Consent Items**
6. **Consent: Constitutional Officers:**
  - 6a) **Clerk: Bills and Related Reports:** Request the Board approve the report(s) of funds withdrawn from County depositories by the Flagler County Clerk of the Circuit Court and the Revenue Collected Report presented in compliance with the provisions of Section 136.06, Florida Statute as listed below:
    - 1) Disbursement Report for Week Ending April 23, 2021
    - 2) Disbursement Report for Week Ending April 30, 2021
  - 6b) **Clerk: Approval of Board Meeting Minutes:** Request the Board approve the minutes from the following Meetings:
    - 1) April 19, 2021 Regular Meeting
    - 2) April 26, 2021 Workshop

**6c) Clerk: Approval to Remove Items from County Fixed Asset Module:** Request Board approval to remove the items with an original purchase cost of less than \$5,000 from the fixed asset module. *(Requested by Juan Godoy, Clerk of Court)*

**7. Consent: BOCC Departments:**

**7-a) Ratification of Flagler County Emergency Proclamations Extending the State of Local Emergency – Hurricane Matthew:** Request the Board ratify the Proclamations Extending the State of Local Emergency for Hurricane Matthew. *(Requested by Jonathan Lord, Emergency Management Director)*

**7-b) Ratification of Flagler County Emergency Proclamations Extending the State of Local Emergency – COVID-19:** Request the Board ratify the Proclamations Extending the State of Local Emergency for COVID-19. *(Requested by Jonathan Lord, Emergency Management Director)*

**7-c) Flagler Beach Historical Museum Letter of Support** *(Requested by Kathy Wilcox, Flagler Beach Museum Director)*

**7-d) Issue Certificate of Public Convenience and Necessity (COPCN) to ALLCARE Medical Transport, LLC:** Request the Board approve the Certificate of Public Convenience and Necessity (COPCN) to ALLCARE Medical Transport, LLC from May 17, 2021 to November 30, 2021, contingent upon ALLCARE obtaining state licensing prior to providing services under this COPCN. *(Requested by Joe King, Interim Fire Chief)*

**7-e) Consideration of Request for Proposals (RFP) award for 21-024P – SHIP Inspection Services:** Consideration of Request for Proposals (RFP) award for 21-024P – SHIP Inspection Services for a period of three (3) years with the option of two (2) additional two (2) year renewals, if mutually agreed on by both parties prior to contract expiration, and authorize the Chair to execute the contracts as approved to form by the County Attorney and approved by the County Administrator. *(Requested by Holly Durrance, Purchasing Manager and Joyce Bishop, Health and Human Services Director)*

**7-f) Consideration of Flagler County Tourist Development Council Fund 110 Discretionary Event Funding:**

a) \$ 5,000 Florida Flag Football, Battle of the Badges Series, June 26-27, 2021

b) \$ 4,000 Continuing Education Company, Summer Conference, July 12-16, 2021

c) \$12,500 Florida United Lacrosse, Father's Day LAX Tournament, June 19-20, 2021

Request the Board approve the recommendation of the Flagler County Tourist Development Council 110 Discretionary Event funding in the amount of \$21,500 and authorize the County Administrator to execute the contract as approved to form by the County Attorney. *(Requested by Amy Lukasik, Tourist Development Director)*

**7-g) Request Approval of the Unanticipated Revenue Resolution Related to the Annual Hazards Analysis Grant Program:** Request the Board approve the Unanticipated Revenue Resolution. *(Requested by Jonathan Lord, Emergency Management Director)*

**7-h) Approval of Request for Proposals (RFP) Award 21-015P, Temporary Staffing Services to Manpower Group, Inc. and Abacus Corporation:** Request the Board approve Request for Proposals (RFP) award to Manpower Group, Inc. and Abacus Corporation for a period of one (1) year with the option of four (4) additional one (1) year renewals, if mutually agreed on by both parties prior to contact expiration, and authorize the Chair to execute the contract as approved to form by the County Attorney and approved by the County Administrator. *(Requested by Holly Durrance, Purchasing Manager)*

- 7-i) **Approval of New Financial Services Grant Policy and Procedure:** Request the Board approve the Resolution - Grant Policy and Procedure to be effective June 1, 2021. *(Requested by E John Brower, Financial Services Director and Michael Catalano, Grant and Project Accountant)*
- 7-j) **Request Approval of the Unanticipated Revenue Resolution Related to the Painter's Hill Seawall Debt Service Fund:** Request the Board approve the Unanticipated Revenue Resolution. *(Requested by E John Brower, Financial Services Director)*
- 7-k) **Approval of an Unanticipated Revenue Resolution for the American Rescue Plan Act of 2021:** Request the Board approve the Unanticipated Revenue Resolution for the expected total of \$22,353,135 from the American Rescue Plan Act of 2021. *(Requested by E John Brower, Financial Services Director)*
- 7-l) **Consideration of Fiscal Year 2021/2022 Acceptance of the Commission for the Transportation Disadvantaged (CTD) Trip and Equipment Grant in the amount of \$480,437.00 for Public Transportation Operating Funds:** Request the Board authorize the County Administrator to execute and submit the application for the Trip and Equipment Grant to the Commission for the Transportation Disadvantaged; also authorize the County Administrator to accept the award of the grant for FY 21/22 in the amount of \$480,438, and authorize the County Administrator to execute the grant agreement and any other documents necessary to implement the grant including agreement amendments, all as approved to legal form by the County Attorney. *(Requested by Heidi Petito, General Services Director)*

## 8. General Business: None

## 9. Public Hearings: *Public Hearings will be heard after 5:30 p.m.*

**Quasi-Judicial Process:** *The audience should refrain from clapping, booing or shouts of approval or disagreement. To avoid potential legal ramification and possible overturning of a decision by the Courts, a public hearing must be fair in three respects: form, substance and appearance.*

*Time limits will be observed:*

- *Staff – 10 minute presentation.*
- *Applicant – 15 minute presentation (unless time extended by consensus of Board).*
- *Public Comment – 3 minutes per speaker, 5 minutes if speaking on behalf of a group.*
- *Applicant Rebuttal and Closing Staff Comments – 10 minutes each.*

9-a) **QUASI-JUDICIAL – Application #3245 – Request for Approval of a PUD (Planned Unit Development) Site Development Plan and Adoption of Specific Development Standards for Plantation Bay Section 2A-F, Unit 12B. Owner: WL Residential Land, LLC; Agent: Jerry K. Finley, P.E., Finley Engineering Group (Project #SDP-000391-2021):** OPTIONS FOR THE BOARD: The Board of County Commissioners, based on the Planning and Development Board's public hearing and recommendation, the staff report, and the factual data presented during the public hearing: 1) Approve; 2) Deny; or 3) Continue. *(Requested by Adam Mengel, Growth Management Director)*

9-b) **QUASI-JUDICIAL – Application #3246 – Request for Approval of a Preliminary Plat for Plantation Bay Section 2A-F, Unit 12B; Parcel Number: 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC; Agent: Jerry K. Finley, P.E., Finley Engineering Group (Project #PLAT-000392-2021):** OPTIONS FOR THE

BOARD: The Board of County Commissioners, based on the Planning and Development Board's public hearing and recommendation, the staff report, and the factual data presented during the public hearing: 1) Approve; 2) Deny; or 3) Continue. *(Requested by Adam Mengel, Growth Management Director)*

**9-c) QUASI-JUDICIAL – Application #3249 – Request for Approval of a PUD (Planned Unit Development) Site Development Plan for a Temporary Sales Office/Model Home at 79 Huntington Place (Lot 69 of Huntington Green at Hunters Ridge, Phase 2A). Owner: Maronda Homes, LLC of Florida; Applicant: Howard Lefkowitz, President, BADC Huntington Communities, Inc. (Project #SDP-000430-2021):** OPTIONS FOR THE BOARD: The Board of County Commissioners, based on the Planning and Development Board's public hearing and recommendation, the staff report, and the factual data presented during the public hearing: 1) Approve; 2) Deny; or 3) Continue. *(Requested by Adam Mengel, Growth Management Director)*

**9-d) QUASI-JUDICIAL – Application #3239 – Semi-Public Use in the R-1 (Rural Residential) District for Equine Therapy d/b/a Whispering Meadows Ranch at 5011 John Anderson Highway. Parcel Number: 37-12-31-0610-00000-0120; 4.25+/- acres. Owner: Richard and Mary Helene Davis/Agent: Dennis K. Bayer, Esquire (Project #COND-000350-2020):** OPTIONS FOR THE BOARD: The Board of County Commissioners, based on the Planning and Development Board's public hearing and recommendation, the staff report, and the factual data presented during the public hearing: 1) Approve; 2) Approve with Conditions; 3) Deny; or 4) Continue. *(Requested by Adam Mengel, Growth Management Director)*

## 10. Additional Reports and Comments:

**10-a) County Administrator Report/Comments**

**10-b) County Attorney Report/Comments**

**10-c) Community Outreach:** *This thirty-minute time period has been allocated for public comment for items not of the agenda. Each speaker will be allowed up to three (3) minutes to address the Commission. Speakers should approach the podium, identify themselves and direct comments to the Chair.*

**10-d) Commission Reports/Comments/Action**

## 11. Adjournment

Section 286.0105, Florida Statutes states that if a person decides to appeal any decision made by a board agency, or commission with respect to any matter considered at a meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act, persons needing assistance to participate in this meeting should contact the (386) 313-4001 at least 48 hours prior to the meeting.

**A PROCLAMATION OF THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS DESIGNATING MAY 16 – 22, 2021 AS “EMERGENCY MEDICAL SERVICES WEEK” IN FLAGLER COUNTY**

WHEREAS, emergency medical services is a vital public service; and

WHEREAS, the members of emergency medical services teams are ready to provide lifesaving care to those in need 24 hours a day, seven days a week; and

WHEREAS, access to quality emergency care dramatically improves the survival and recovery rate of those who experience sudden illness or injury; and

WHEREAS, emergency medical services has grown to fill a gap by providing important, out of hospital care, including preventative medicine, follow-up care, and access to telemedicine; and

WHEREAS, the emergency medical services system consists of first responders, emergency medical technicians, paramedics, emergency medical dispatchers, firefighters, police officers, educators, administrators, pre-hospital nurses, emergency nurses, emergency physicians, trained members of the public, and other out of hospital medical care providers; and

WHEREAS, the members of emergency medical services teams, whether career or volunteer, engage in thousands of hours of specialized training and continuing education to enhance their lifesaving skills; and

WHEREAS, it is appropriate to recognize the value and the accomplishments of emergency medical services providers by recognizing Emergency Medical Services Week.

**NOW THEREFORE, BE IT PROCLAIMED BY THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS** that they hereby proclaim May 16 – 22, 2011 as “**Emergency Medical Services Week**” in Flagler County.

Adopted this 21<sup>st</sup> day of May 2018.

Attest:

Flagler County Board of  
County Commissioners

\_\_\_\_\_  
Tom Bexley, Clerk of the  
Circuit Court and Comptroller

\_\_\_\_\_  
Donald T. O’Brien Jr.  
Chair

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/23/2021**

Date: 04/28/2021

Item 6a(1)

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
04/21/2021	191286	FCBCC GROUP BENEFITS (P/R)	20210423	13,931.70		PAYROLL SUMMARY
				13,931.70		
04/21/2021	191287	FCBCC GROUP BENEFITS FLEX PLAN	20210423	1,495.29		PAYROLL SUMMARY
				1,495.29		
04/21/2021	191288	FLAGLER CO PROF FIREFIGHTERS ASSO	20210401	852.00		PAYROLL SUMMARY
			20210409	852.00		PAYROLL SUMMARY
			20210416	852.00		PAYROLL SUMMARY
			20210423	852.00		PAYROLL SUMMARY
				3,408.00		
04/21/2021	191289	FLAGLER COUNTY COCC (P/R)	20210423	16.00		PAYROLL SUMMARY
				16.00		
04/21/2021	191290	HARTFORD LIFE & ACCIDENT INSURANCE	20210401	1,491.07		PAYROLL SUMMARY
			20210409	1,415.26		PAYROLL SUMMARY
			20210416	1,491.22		PAYROLL SUMMARY
			20210423	1,418.21		PAYROLL SUMMARY
				5,815.76		
04/21/2021	191291	UNITED WAY OF VOLUSIA-FLAGLER, INC	20210423	2.00		PAYROLL SUMMARY
				2.00		
04/26/2021	191292	ADVANCE AUTO PARTS	8483110637840	103.42		GRIPPR PADS,HYDRAUL FLTRS PO NUM 027996
				103.42		
04/26/2021	191293	AIRBUS HELICOPTERS, INC.	261069583	449.21		WASHER-HELICOPTER RPR
				449.21		
04/26/2021	191294	ALLEN ENTERPRISES, INC.	0068268-IN	8,054.55		LED BLUE GLASS LENS FOR AIRPORT RPR
				8,054.55		
04/26/2021	191295	ANNETTE CUCCO	113069	100.00		PARKS DEPOSIT RFND-113069 HAMMOCK COMMUNITY CENTER
				100.00		
04/26/2021	191296	ARENA EVENT SERVICES, INC.	265400.3	6,650.00		VACCINE TENT RNTL-2ND&3RD MONTH-FAIRGROUNDS

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04/26/2021	191296	ARENA EVENT SERVICES, INC.	265456.3	1,533.00		VACCINE TENT RNTL-3RD MO. ADDITION-FAIRGROUNDS
				8,183.00		
04/26/2021	191297	ATLANTIC COAST MAINTENANCE	1883	8,500.00		PALL AEROSPACE PARTICLE SEPARATOR-FLIGHT OPS
				8,500.00		
04/26/2021	191298	AUTO PLUS AUTO PARTS	650042114	1,412.12		BRAKE CLNR,PADS,FILTERS PO NUM 027970
			650043840	1,720.11		FILTRS,BLADES,DISC BRAKES PO NUM 027970
			650045456	42.12		30 HEAVY DUTY QT PO NUM 027970
			650045456	599.70		DISC BRAKES,FILTERS PO NUM 027970
			650045741	23.84		WIX AIR FILTERS PO NUM 027970
			650046300	705.55		FILTERS,BLADES,CLEANER PO NUM 027970
			650046411	49.02		BRAKE PADS PO NUM 027970
				4,552.46		
04/26/2021	191299	BAKER & TAYLOR, INC	5016840840	49.48		(2)BOOKS FOR THE BUNNELL LIBRARY
			5016865709	252.74		(13)BOOKS FOR THE LIBRARY
			5016865710	35.94		(1)BOOK FOR THE LIBRARY
				338.16		
04/26/2021	191300	BEARD EQUIPMENT COMPANY	1409445	1,419.57		CUTTING EDGES PO NUM 027997
				1,419.57		
04/26/2021	191301	BIBLIOTHECA, LLC	INV-US42232	2,221.52		(2)BOOKS FOR THE LIBRARY
				2,221.52		
04/26/2021	191302	BOULEVARD TIRE CENTER	27-GS90329	2,160.56		315/80R22.5 BSTONE TIRES PO NUM 027971
				2,160.56		
04/26/2021	191303	BOUND TREE MEDICAL LLC	84015781	1,419.08		NITRILE GLOVES PO NUM 027972
			84015782	1,913.77		MED SUPPLIES PO NUM 027972
			84018706	56.00		MED SUPPLY COVID 19
				3,388.85		
04/26/2021	191304	BOYS & GIRLS CLUBS OF VOL/FLAG	2ND QTR FY20/21	7,500.00		SECOND QUARTER ALLOCATION 1/01/21-3/31/21

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/23/2021**

Date: 04/28/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
				7,500.00		
04/26/2021	191305	BREAK THE CYCLE	MAR 2021	4,583.33		OUTPATIENT SUBSTNCE ABUSE TREATMENT SVCS-MAR 2021
				4,583.33		
04/26/2021	191306	CANARX GROUP INC	28415	3,959.70		APR 01 2021-APR 15 2021 RX CLAIMS
				3,959.70		
04/26/2021	191307	CDW GOVERNMENT LLC	B409942	2,152.57		HP NOTEBOOK FOR BLDG DEPT
			B465724	275.00		HP 5YR SVC-BLDG DEPT
			B535497	275.00		HP 5YR SVC-BLDG DEPT
			C040943	2,886.00		DISK STATION SERVERS,HARD DRIVES FOR PUBLIC DEFENDR
			C066929	53.99		XEROX COUNTS-ADMIN
			C066929	163.31		XEROX COUNTS-COURT SRVCS
			ZSK0919	5,175.00		BEYOND TRUST SUPPORT RNWL 9/1/2020-8/31/2021,IT DPT
				10,980.87		
04/26/2021	191308	CELICO AUTO BODY, INC.	6992096	2,195.85		FCSO VEH 6410 RPR
				2,195.85		
04/26/2021	191309	CENGAGE LEARNING INC.	73995771	168.73		(7)BOOKS FOR THE LIBRARY
			74030771	24.79		(1)BOOK FOR THE LIBRARY
			74030816	48.08		(2)BOOKS FOR THE LIBRARY
				241.60		
04/26/2021	191310	CHILDREN'S HOME SOCIETY OF FLORIDA	202103	4,100.00		SAFEHAVEN GRANT ADMN SVCS MARCH 2021
			2ND QTR FY20/21	7,125.00		SECOND QUARTER ALLOCATION 1/01/21-3/31/21
				11,225.00		
04/26/2021	191311	CINTAS CORPORATION	4081698454	34.54		SHOP TWL,FNDR CVR RNTL W/E 4/16/21-FLEET
			4081699071	3.91		UNIFORM RNTL W/E 4/16/21 BULL CREEK
			4081699071	84.15		UNIFORM RNTL W/E 4/16/21 FACILITIES
			4081699071	37.69		UNIFORM RNTL W/E 4/16/21 FLEET
			4081699071	9.63		UNIFORM RNTL W/E 4/16/21 GEN SRVCS ADMIN



**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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Date: 04/28/2021

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04/26/2021	191311	CINTAS CORPORATION	4081699071	68.11		UNIFORM RNTL W/E 4/16/21 PARKS
			4081699071	16.70		UNIFORM RNTL W/E 4/16/21 PRINCESS PLACE
			4081699071	140.02		UNIFORM RNTL W/E 4/16/21 TRANSPORTATION
			4081699147	7.80		UNIFORM RNTL W/E 4/16/21 SOLID WASTE
				<b>402.55</b>		
04/26/2021	191312	CINTAS FIRE	OF61151207	8.50		FIRE EXTING INSPECTN BLDG DEPT VEHICLES
				<b>8.50</b>		
04/26/2021	191313	CITY OF PALM COAST	40925	2,201.02		EMS FUEL USAGE-MARCH 2021 FIRE/RESCUE(876.90 GAL)
				<b>2,201.02</b>		
04/26/2021	191314	COASTAL ELEVATOR SERVICE CORP	100400297204	233.00		ELEVATOR MTCE-APR 2021 ATC TOWER
				<b>233.00</b>		
04/26/2021	191315	COMMUNICATION INTERNATIONAL	PI133422	366.78		RPLCMNT AUDIO TUBES PO NUM 027941
				<b>366.78</b>		
04/26/2021	191316	COMMUNITY LEGAL SVCS OF MID-FLORIDA	2ND QTR FY20/21	11,263.50		2ND QTR FUNDING FY20/21 JAN-MAR 2021
				<b>11,263.50</b>		
04/26/2021	191317	CONFIDENT CARE OF FLORIDA CORP	2021-03 3B	1,117.52		HMK 3/01-3/31/21
			2021-03 3B	769.44		PC 3/01/21-3/31/21
			2021-03 3E	1,685.44		RESP 3/01-3/31/21
			2021-03 ADI	1,648.80		RESP 3/01-3/31/21
			2021-03 CCE	1,868.64		HMK 3/01-3/31/21
			2021-03 CCE	1,190.80		PC 3/01-3/31/21
			2021-03 CCE	512.96		RESP 3/01-3/31/21
				<b>8,793.60</b>		
04/26/2021	191318	CONSTANGY,BROOKS,SMITH&PROPHETE LLC	582974	500.00		PROF SVCS THRU 3/31/21 RE:GENERAL ADVICE FOR HR
				<b>500.00</b>		
04/26/2021	191319	COOPER AUTO EQUIPMENT, LLC.	2081	8,306.00	G	LIFTS,ROLLING JACKS WITH INSTLLTN-FDOT CARES
			2081	8,317.53		LIFTS,ROLLING JACKS WITH INSTALLATION-FLEET

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/23/2021**

Date: 04/28/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
				16,623.53		
04/26/2021	191320	CRAIG FLAGLER PALMS FUNERAL HOME	816701001541	500.00		SS INDIGENT CREMATION STUART TYLL
				500.00		
04/26/2021	191321	CRAWFORD, MURPHY & TILLY, INC.	0214131	4,410.00	G	PROF SVC:1ST AVE & OCEOLA AVE,1/30/21-2/26/21
				4,410.00		
04/26/2021	191322	CROWN CASTLE FIBER LLC	805278	1,535.41		FIBERNET&INTERNET-ST ATTY MAY 2021
				1,535.41		
04/26/2021	191323	DADE PAPER	14961103	2,419.40		ROLL TWLS,T.TISSUE PO NUM 028001
				2,419.40		
04/26/2021	191324	DESIGNED TO CLICK, LLC.	1646	1,595.00		CUSTOM WEBSITE DESIGN FOR COURT ADMIN
				1,595.00		
04/26/2021	191325	DESTINATIONS INTERNATIONAL	71071	4,020.00		EVENT IMPACT CALCULATOR SUBSCRIPTN,3/1/21-2/28/22
				4,020.00		
04/26/2021	191326	DOUGLAS LAIDLAW	R381	200.00		PARKS DEPOSIT RFND-R381 PPP COTTAGE 2
				200.00		
04/26/2021	191327	ENVIRONMENTAL CONTROL SYSTEMS INC	25967	1,845.77		PUMP/CLEAN RSTRMS@BINGS LANDING
				1,845.77		
04/26/2021	191328	ENVIRONMENTAL LAND SERVICES OF FC	122260	168.80		YARD WASTE 4/12/21 FACILITIES
				168.80		
04/26/2021	191329	EVERGLADES EQUIPMENT GROUP	P38131	261.87		AIR FLTRS,FLTR ELEMENTS PO NUM 027973
				261.87		
04/26/2021	191330	FAMILY LIFE CENTER	MAR 2021	4,158.00		MONTHLY INSTALLMENT MARCH 2021
			MAR 2021 SAVE	2,292.00		MONTHLY INSTALLMENT-SAVE MARCH 2021
				6,450.00		
04/26/2021	191331	FASTENAL COMPANY	FLORM47012	9.60		DUSTPANS PO NUM 027974
			FLORM47012	225.72		SFTY GOGGLES PO NUM 027974
				235.32		

"?" G = Grant supported expenditure; Note: "in-kind" or "match" to grants are not annotated

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/23/2021**

Date: 04/28/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
04/26/2021	191332	FEDERAL EXPRESS CORPORATION	7-340-98616	5.94		SHPPNG CHRGS:FIRE/RESC TO BOUND TREE MED,MS-4/05/21
				5.94		
04/26/2021	191333	FERGUSON ENTERPRISES, INC.	1836710	1,750.00		FIRE HYDRANT RPR@AIRPORT TRIANGLE AIR BLDG
				1,750.00		
04/26/2021	191334	FIDELITY MANUFACTURING	56939	1,200.00		INTEGRITY TANK TEST @ JUD.CENTER
			56940	1,200.00		INTEGRITY TANK TEST @ INMATE FACILITY
				2,400.00		
04/26/2021	191335	FLAGLER AUDITORIUM GOV BOARD, INC	1980	1,250.00		FY20/21 2ND QTR PARTNRSHP WITH BOCC/TDO
				1,250.00		
04/26/2021	191336	FLAGLER CDS, INC.	157621	345.00		LAND CLEARING DEBRIS RMVL 4/08/21,4/09/21
				345.00		
04/26/2021	191337	FLAGLER CO BCC BOND-POOLED	CK21-133	15,670.64		4/20 WIRE DEPOSIT IN BOCC OPER POOLD CKNG-4/21 CST
			CK21-134	82,157.92		4/21 WIRE DEPST INTO BOCC POOLD CKNG-4/21 REV SHARE
				97,828.56		
04/26/2021	191339	FLAGLER CO BCC POOLED CASH PCARD	TXN00108246	31.33		VEH RPR - FCSO 5811
			TXN00108247	14.89	G	CABLE PATCH CORD-6.6 FT FOR EMPA
			TXN00108248	35.32		PAINT - INMATE FACILITY
			TXN00108249	29.25		D.ZASLAVSKY,FIRE/RESC VOL BACKGROUND CHECK
			TXN00108250	23.41		KEYS FOR PW
			TXN00108251	37.25		RAYMOND CARDONA,FIRE/RESC BACKGROUND CHECK
			TXN00108253	69.73		REPLACEMENT LOCK - PARKS
			TXN00108254	29.25		JEAN TANNER,EM VOLUNTEER BACKGROUND CHECK
			TXN00108255	69.80		SCREWS,LUMBER - PARKS
			TXN00108256	48.94		COFFEE FOR BOCC MTNGS
			TXN00108257	10.99		PITNEY BOWES IN#101746102 2/08-3/07/21,TDO
			TXN00108258	71.46		VEH RPR-FIRE/RESC 9299
			TXN00108259	50.00		TDO POSTAGE FOR FULLFLMNT OF VISITOR INFO REQUESTS

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04/26/2021	191339	FLAGLER CO BCC POOLED CASH PCARD	TXN00108263	100.00		2021 FACM ANNUAL DUES FOR H.PETITO
			TXN00108268	29.25		DANIEL WILSON, LAND MGMT VOLUNTEER BACKGRND CHECK
			TXN00108277	23.35		VEH RPR - FCSO 5757
			TXN00108278	59.94		FIRE/RESC VEH RPR-8518
			TXN00108279	15.02		WIRE - FACILITY REPAIRS
			TXN00108280	70.00		LOCK REPAIR - GSB
			TXN00108281	185.90		USED OIL - FLEET SHOP
			TXN00108282	159.95		SNEEZE SHIELDS FOR THE LIBRARY
			TXN00108283	1,063.31		TDO PINTEREST ADS: LIKE YOU MEAN IT, 2/08-2/11/21
			TXN00108284	529.46		PLYWOOD TO BURN AT TRAIING TOWER-FIRE/RESCUE
			TXN00108285	150.00		J.BROWER, FIN SVCS, GFOA MBRSHIP RNWL
			TXN00108286	75.00		A.DANCE, FAC ONLINE TRNG- 2021 STRUCTURE&AUTHORITY
			TXN00108287	22.81		(2)BOOKS FOR THE LIBRARY
			TXN00108287	42.97		BUZZER ALARM BUTTON FOR TRIVIA GAME-LIBRARY
			TXN00108288	327.85		TRIM-FCSO PC SUBSTATION
			TXN00108289	79.61		VEH RPR - FIRE/RESC 10081
			TXN00108290	16.33		VEH RPR-FIRE/RESC 10081
			TXN00108291	269.63		VEH RPR - FCSO 5585
			TXN00108292	13.43		FASTENERS FOR FACIL RPRS
			TXN00108293	978.90		PW VEH RPR-9660
			TXN00108295	99.00		NIGP-CPP ONLINE ASSESSMNT TOOL FOR PURCHASING DEPT
			TXN00108296	285.96		MISC RPR PARTS TO CONNECT PROPANE @ TRAINING TOWER
			TXN00108297	514.74		VEH RPR - FIRE/RESC 9688
TXN00108298	81.69		VEH RPR-FIRE/RESC 8518 ENGINE 16			
TXN00108299	65.02		PAINT - FC COURTHOUSE			
TXN00108300	8.44		VEH RPR- TRANSP VEH 100			
TXN00108301	64.93		PW VEH RPR 9660			

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04/26/2021	191339	FLAGLER CO BCC POOLED CASH PCARD	TXN00108302	40.93		SCREWS,WASHERS-FACIL RPRS
			TXN00108303	264.87		(2500)RACK CARDS PRINTED FOR INFO/CREATIVE MEDIA
			TXN00108304	6.46		DESK CALENDAR-FIRE/RESCUE
			TXN00108305	50.91		DRY ERASE BOARDS FOR THE LIBRARY
			TXN00108306	431.81		INSPECTN BRUSH,GRIT TYPE 27,FLOOR CLAMP-WELDING
			TXN00108307	6.87		VEH RPR - FIRE/RESC 10081
			TXN00108309	(26.46)		CR REF TXN00108187,SALES TAX CREDIT
			TXN00108310	(1.31)		CR REF TXN00107858 NOTARY RENEWAL TAX CREDIT
			TXN00108311	48.99		LUMBER,CAULK,SHIMS,LUBE OIL FOR FACIL
			TXN00108311	37.16		SAW HORSE - FACILITIES
			TXN00108311	21.37		WIPING CLOTHS - FACIL
			TXN00108312	43.90		GRABBER TOOL - TRUCK 980
			TXN00108313	759.98		BENCH FOR PARKS
				7,539.59		
04/26/2021	191340	FLAGLER CO CLERK OF CIRCUIT COURT &	2021-0500	8,962.80		SRI CONSULT.QTRLY BILLING 11/02/20-4/03/21,TYLER
			4957202104	78.00		EASEMENT RECORDED 3/10/21 PARCL#1912320150001500153
				9,040.80		
04/26/2021	191341	FLAGLER CO SHERIFF OFFICE	MAY 21 BUDGET	77,393.25		BUDGET DUE-MAY 2021 BAILIFF
			MAY 21 BUDGET	383,947.58		BUDGET DUE-MAY 2021 JAIL
			MAY 21 BUDGET	1,763,709.83		BUDGET DUE-MAY 2021 LAW
				2,225,050.66		
04/26/2021	191342	FLAGLER COUNTY FREE CLINIC, INC.	JAN-MAR 2021	15,000.00		PRIMARY CARE,MED SVCS FOR FC RESIDENTS,JAN-MAR 21
				15,000.00		
04/26/2021	191343	FLAGLER HOSPITAL INC	2001392336-1	64.02		SS INDIGNT HLTH-RO 011218
				64.02		
04/26/2021	191344	FLAGLER HUMANE SOCIETY INC	565AB	40,000.00		ANIMAL CONTROL SRVCS APR-JUN 2021
				40,000.00		

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04/26/2021	191345	FLORIDA DRUG TESTING INC.	032972	2,513.85		(124)DRUG SCRNS COLLECTED FOR ADULT DRUG CT,MAR 21
			032973	1,020.00		(51)DRUG SCREENS COLLECTD FOR PRETRIAL SVCS-MAR 21
				3,533.85		
04/26/2021	191346	FLORIDA JANITOR & PAPER SUPPLY INC	335767-1	24.28		DETERGENT PO NUM 028008
			336699-1	49.10		SWIFFER DUSTERS PO NUM 028008
			337925	659.04		BLEACH,SPNGES,CLNRS,WIPES MOP,DUSTR RFILL,PO#028008
			337925	141.28		TOILET TISSUE PO NUM 028008
				873.70		
04/26/2021	191347	FLORIDA OUTDOOR EQUIPMENT, INC	1539989	8,201.70		TIGER CAT 48 IN MOWER FOR AIRPORT
				8,201.70		
04/26/2021	191348	FLORIDA POWER & LIGHT COMPANY	0104314372 0321	1,020.44		WP SOCCER LIGHTS CENTRAL MAR 11 2021 - APR 11 2021
			0136680451 0321	11.58		WP SCOREBOARD MAR 11 2021 - APR 12 2021
			0368849469 0321	289.81		WP SKATE PARK MAR 11 2021 - APR 12 2021
			0572442036 0321	20.62		WP SOCCER LIGHTS SOUTH MAR 11 2021 - APR 12 2021
			0701528267 0321	59.92		106 E MOODY-SAFE HAVEN 03/05/21-04/06/21
			1084966405 0321	17.24		O/L @ LAW LIBRARY 03/05/21-04/06/21
			1139620247 0321	997.72		1769 E MOODY BLVD BLDG #9 03/05/21-04/06/21
			1259200911 0321	47.44		MOODY BOAT LAUNCH 03/08/21-04/07/21
			1438281592 0321	203.49		3RD FL@AIRPORT CORP CTR 03/04/21-04/05/21
			2298508843 0321	47.24		WP TENNIS COURTS MAR 11 2021 - APR 12 2021
			2299506879 0321	119.20		WP RACQUETBALL COURT MAR 11 2021 - APR 12 2021
			2479609303 0321	26.27		VETERANS SERVICES 03/05/21-04/06/21
			2613118278 0321	961.29		WP SOCCER LIGHTS WEST MAR 11 2021 - APR 12 2021
			2860972260 0321	105.75		1769 E MOODY BLVD BLDG #4 03/05/21-04/06/21
3170898138 0321	22.86		O/L @ CARVER GYM 03/05/21-04/06/21			
3609105808 0321	856.14		CARVER GYM ALL BUT A/C 03/05/21-04/06/21			
3988330217 0321	21,543.13		1769 E MOODY BLVD-JUD CTR 03/05/21-04/06/21			

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04/26/2021	191348	FLORIDA POWER & LIGHT COMPANY	4444601472 0321	324.77		COMMUNITY SERVICES 03/11/21-04/12/21
			4477007886 0321	25.69		204 E MOODY-HOLDEN HOUSE 03/05/21-04/06/21
			4914980497 0321	10,376.92		ENERGY PLANT@1769 E MOODY 03/05/21-04/06/21
			5399063535 0321	332.14		MTNZS WDS PKY-800 MHZ TWR 03/15/21-04/14/21
			5745095140 0321	238.21		PW MTNCE SHOP-BLDG #9 03/05/21-04/06/21
			6479559269 0321	147.29		LAW LIBRARY 03/05/21-04/06/21
			6508863427 0321	105.56		O/L @ JUD CTR PARKING LOT 03/05/21-04/06/21
			7287730472 0321	132.81		SIEGEL CTR-ADULT DAY CARE 03/11/21-04/12/21
			7361247260 0321	788.26		WP SOCCR LTS/CNCSSN/IRRIG MAR 11 2021 - APR 12 2021
			7432822307 0321	638.18		CARVER GYM 03/05/21-04/06/21
			7567185124 0321	23.33		1769 E MOODY-IRRIG PUMP 03/05/21-04/06/21
			7725347111 0321	129.18		1769 E MOODY COMM TWR #A 03/05/21-04/06/21
			8587167134 0321	32.90		1790 OLD MOODY BLVD 03/05/21-04/06/21
			8969478208 0321	15,816.50		1769 E MOODY BLVD-GSB 03/05/21-04/06/21
9060043370 0321	24.61		O/L@WP HANDBALL COURT MAR 11 2021 - APR 12 2021			
				<b>55,486.49</b>		
04/26/2021	191349	FLORIDA POWER & LIGHT COMPANY-ASSIS	77871-77067	142.27		UTILITY ASSISTANCE
				<b>142.27</b>		
04/26/2021	191350	FORNELL OIL COMPANY	1007965	239.31		AEROSHELL W-100 A/D 6/1 FOR AIRPORT
				<b>239.31</b>		
04/26/2021	191351	GA FOOD SERVICES OF PINELLAS COUNTY	SI000710330	6,134.85		FOOD SVC FOR CONGREGATE MEAL PRGRM,4/04-4/27/21
				<b>6,134.85</b>		
04/26/2021	191352	GAI CONSULTANTS, INC.	2161207	40,000.00	G	PROF SVCS:REHAB RUNWY6-24 @AIRPORT,2/21/21-3/27/21
				<b>40,000.00</b>		
04/26/2021	191353	GIDDENS SECURITY CORP	23462077	1,085.18		SECURITY SRVCS-MAR 2021 FAIRGRNDS-CTTLMN HALL
			23462078	2,060.58		SECURITY SRVCS-MAR 2021 TAX COLL OFFICE-F.BEACH
			23462079	5,438.58		SECURITY SRVCS-MAR 2021 GSB

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04/26/2021	191353	GIDDENS SECURITY CORP	23462082	1,988.80		SECURITY SRVCS-MAR 2021 JUD.CENTER
				10,573.14		
04/26/2021	191354	GORDON SUPPLY COMPANY LLC	2117	963.00		DOG WASTE LITTER PICK UP BAGS-PO NUM 028510
				963.00		
04/26/2021	191355	W.W. GRAINGER INC.	9859842164	340.68		BALLAST KITS PO NUM 027975
			9859842164	22.16		FIRST AID KITS PO NUM 027975
			9859842164	91.88		URINAL ASSY MANUAL,RPR KIT-PO NUM 027975
			9868435661	70.00		CABLE TIES PO NUM 027975
			9868435661	49.56		HNDL RPR KITS PO NUM 027975
				574.28		
04/26/2021	191356	HALL'S WAY LLC	2021-3	2,088.48		RESP SVCS-MARCH 2021
				2,088.48		
04/26/2021	191357	HOGAN GLASS CORPORATION	51302	4,150.00		TEMPERED GLASS W/FRAMING FOR FCSSO PC SUBSTATION
				4,150.00		
04/26/2021	191358	HOYLE, TANNER & ASSOCIATES, INC	0064462	20,807.70	G	PROF SVCS:AIRPRT TERMINAL BLDG DESIGN,2/21-3/27/21
			0064463	26,312.00	G	PROF SVCS:AP RUNWAY 6-24 REHAB,2/21/21-3/27/21
			0064464	2,200.00	G	PROF SVCS:ATCT EQUIPMENT EQUIP UPGRADES,2/21-3/27
				49,319.70		
04/26/2021	191359	IBS OF COASTAL JACKSONVILLE	30035248	463.60		MTP-48/H6,MTP-65HD,MTP- 94R/H7 BATTS PO# 028007
			30035392	791.98		31-MHD,MTP-65HD BATTERIES PO NUM 028007
				1,255.58		
04/26/2021	191360	ILEISHA SMITH	113126	46.73		PARKS FEE REFUND-113126 PPP PICNIC AREA-PAVILION
			113126	3.27		PARKS SLSTX REFUND-113126 PPP PICNIC AREA-PAVILION
				50.00		
04/26/2021	191361	JILL CLICKNER	113108	93.75		PARKS FEE REFUND-113108 BULL CREEK CAMPSITE 02
			113108	11.25		PARKS SLSTX REFUND-113108 BULL CREEK CAMPSITE 02
				105.00		



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04/26/2021	191362	NEALON R. JOSEPH	04/05/21	181.33		TRVL REIMB:E0418 EMS MASS CARE/PLNNG,MD 4/05-4/09
				181.33		
04/26/2021	191363	KNIGHT JON BOY INC	325009	295.00		CHEM TOILET SVC,2/20-3/22 FC AIRPORT
			325029	70.00		CHEM TOILET SRVC,2/1-2/28 14 PALM HRBR VLLG WAY
				365.00		
04/26/2021	191364	LACAL EQUIPMENT INC	0340325-IN	827.55		BUSH HOG BLADES & SHOES PO NUM 027982
				827.55		
04/26/2021	191365	LES FLEMING	111586	37.38		PARKS FEE REFUND-111586 PPP CAMPSITE DOCK 1
			111586	2.62		PARKS SLSTX REFUND-111586 PPP CAMPSITE DOCK 1
				40.00		
04/26/2021	191366	LOWE'S HOME CENTERS, LLC	74779	39.45		FLUSH LEVER METAL NUT BRS PO NUM 027984
			74779	78.00		PAINT ROLLERS PO NUM 027984
			74779	37.12		RUBBER MASTIC ELECTRICAL PO NUM 027984
				154.57		
04/26/2021	191367	M & B TREE SERVICE, LLC	9081	2,250.00		TREE SRVC@14 PALM HARBOR VLLG WAY-FCSO PC SUBSTATN
				2,250.00		
04/26/2021	191368	MANPOWER US, INC.	35702046	565.50		TEMP STAFFING SVCS W/E 2/14/21-BLDG DEPT
			35702046	1,740.77		TEMP STAFFING SVCS W/E 2/14/21-COVID
			35872333	1,209.08		TEMP STAFFING SRVCS W/E 4/11/21-COVID 19 VACCINES
				3,515.35		
04/26/2021	191369	MANSFIELD OIL COMPANY	22313871	16,956.72		ULS2 DIESEL (7436)GALLONS PO NUM 027985
			22313942	19,393.84		CONV 87 OCT (8417)GALLONS PO NUM 027985
				36,350.56		
04/26/2021	191370	MASSEY SERVICES INC	44623502	300.00		RODENT TRAPPING-CARVR GYM
			44623550	200.00		FIRE ANT TRTMNT@PC LIBRY
				500.00		
04/26/2021	191371	MCKESSON MEDICAL-SURGICAL INC	22613611	451.67		MEDICATIONS FOR EMP HLTH CLINIC

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04/26/2021	191371	MCKESSON MEDICAL-SURGICAL INC	22919596	501.05		MED SUPPLIES FOR THE EMP HEALTH CLINIC
			23024376	251.74		MED SUPPLIES FOR THE EMP HEALTH CLINIC
			23025748	40.49		MED SUPPLIES FOR THE EMP HEALTH CLINIC
			23285951	19.53		MEDICATION FOR EMP HLTH CLINIC
			23296898	45.29		MEDICATIONS FOR EMP HLTH CLINIC
			23319439	117.18		MEDICATIONS FOR EMP HLTH CLINIC
			23342477	22.40		EQUIPMENT FOR THE EMP HEALTH CLINIC
			23342477	14.24		MED SUPPLIES FOR THE EMP HEALTH CLINIC
			23342477	59.12		MEDICATIONS FOR THE EMP HEALTH CLINIC
				1,522.71		
04/26/2021	191372	MCKINNON & MCKINNON, P.A.	032971	1,724.70		PROF SVCS:SEARS BLDG-4888 PC PKWY,3/01/21-3/31/21
				1,724.70		
04/26/2021	191373	OPEN DOOR RE-ENTRY & RECOVERY MNSTY	JAN 21-MAR 21	2,250.00		EMER.SHLTR&CASE MGMT SRVC FOR FC RESIDENTS,JAN-MAR
				2,250.00		
04/26/2021	191374	P&A ADMINISTRATIVE SERVICES, INC	F79410434259	1,852.40		P & A ADMIN FEES-MAY 2021
				1,852.40		
04/26/2021	191375	PALM COAST CHIROPRACTIC CLINIC	1011	3,000.00	G	CARES ACT GRANT-FY 20 BUSINESS
			1011	4,500.00		CARES ACT GRANT-FY 20 BUSINESS
				7,500.00		
04/26/2021	191376	PALM COAST SIGNS & GRAPHICS	21-539	195.00		(6)SIGNS FOR PARKS
			21-545	1,460.00		MISC SIGNS/LOGOS-PARKS
				1,655.00		
04/26/2021	191377	PERCY NANTONE JOHNSON	3034118	15.00		LOST LIBRARY BOOK FEE REFUND
				15.00		
04/26/2021	191378	PORTABLE AIR GROUP, LLC	PAG04132190	5,569.06	G	(2)PORTABLE A/C EQUIP FOR EMPG
				5,569.06		
04/26/2021	191379	PRIDE ENTERPRISES	E1165848	1,918.19		(10)FIRE RINGS,FRGHT FOR PARKS DEPT

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				1,918.19		
04/26/2021	191380	RING POWER CORPORATION	18PC6704830	920.62		ELEMENT,AIR FILTERS PO NUM 027987
			18PC6727482	2,618.22		PW WHEEL LOADER #923 RPR
			18WE6722413	930.24		GENERATOR SET RPR-JUD.CTR
				4,469.08		
04/26/2021	191381	ROGERS TOWING & RECOVERY SERVICE IN	0224640	125.00		TOWING SVC-FCSO 5645-2/17
			0225080	75.00		TOWING SVC-FCSO 4432-2/17
			0225535	125.00		TOWING SRVC-FCT 106-2/23
				325.00		
04/26/2021	191382	ROLAND MAGYAR	R485	170.00		PARKS DEPOSIT RFND-R485 PPP COTTAGE 2
				170.00		
04/26/2021	191383	RSINET, LLC	5713	180.00		WEATHER DATA SRVC FOR THE AIRPORT,JAN-MAR 2021
				180.00		
04/26/2021	191384	SECURITY AND FIRE ELECTRONICS, INC.	SP-3794	162.50		QRTRLY SPRNKLR SYS INSPCT AIR TRAFFIC CNTRL TOWER
			SP-3795	92.00		QTRLY FIRE SPRNKLR INSPCT AIRPORT CORP CENTER
			SP-3796	92.00		QTRLY FIRE SPRNKLR INSPCT DELTA HANGAR
			SP-3797	92.00		QTRLY FIRE SPRNKLR INSPCT NATIONAL GUARD HANGAR
			SP-3798	119.00		QTRLY FIRE SPRNKLR SYSTEM TRIANGLE AIR,UNIT 303-323
			SP-3799	109.00		QTRLY FIRE SPRNKLR SYS TRIANGLE AIR,UNIT 267-301
			SP-3999	207.00		FIRE SPRINKLER HEAD RPR @ TC OFFC-213 ST.JOE PLAZA
			SP-4006	649.00		DSGN SVCS&PERMIT FEES FOR FIRE SYS@213 ST.JOE PLAZA
				1,522.50		
04/26/2021	191385	SELECT PORTFOLIO SERVICING, INC.	MAR 2021 B.H.	884.62		MORTGAGE ASTNCE-RO 001663
				884.62		
04/26/2021	191386	SMA HEALTHCARE, INC.	2ND QTR FY20/21	43,325.00		SECOND QUARTER ALLOCATION 1/01/21-3/31/21
			MAR 2021	85.00		SS INDIGENT HEALTH-RX
				43,410.00		

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04/26/2021	191387	THE HOME DEPOT PRO - SUPPLY WORKS	610816803	976.68		TLT CLNR,MOP,LINERS PO NUM 027979
			610816803	43.40		YEL FLAG TAPE PO NUM 027979
			611362872	2,024.10		BLK LINERS PO NUM 027979
			611891698	52.38		URINAL MATS DISPOSABLE PO NUM 027979
				<b>3,096.56</b>		
04/26/2021	191388	THE HOUSE NEXT DOOR	06 FY21	439.92		COUNSELING SRVCS-MAR 2021 TEEN COURT
				<b>439.92</b>		
04/26/2021	191389	THE WARE GROUP, LLC.	S009599139.001	449.32		REFRIGERANT R410A PO NUM 028006
			S9517954.001	1,139.50		HVAC RPR @ EOC
			S9517954.002	231.32		HVAC RPR @ EOC
				<b>1,820.14</b>		
04/26/2021	191390	TITAN AVIATION FUELS	3404537	17,860.06		JET FUEL W/ADTV,(7966)GAL AIRPORT
			3406430	29,747.98		AVGAS 100LL (8418)GALLONS AIRPORT
			3490531	17,136.88		JET FUEL W/ADTV,(7942)GAL AIRPORT
				<b>64,744.92</b>		
04/26/2021	191391	SECURITY 101	P9355	3,239.86		CAMERA EQUIP INSTLLTN @ BLDG 5
			P9398	1,440.45		GENETEC ADVANTAGE CAMERA LICENSES FOR IT DEPT
			P9399	1,970.73		OMNICAST ENTERPRSE CAMERA LICENSES FOR IT DEPT
				<b>6,651.04</b>		
04/26/2021	191392	TRILOGY MEDWASTE SOUTHEAST LLC	703531	99.95		MED WASTE DISPOSAL@STA.92 3/01,3/08,3/29/21
				<b>99.95</b>		
04/26/2021	191393	TYLER TECHNOLOGIES, INC	045-335919	1,912.50		IMPLEMENTATION,3/31&4/02
			045-337026	1,912.50		IMPLEMENTATION,4/5-4/7/21
				<b>3,825.00</b>		
04/26/2021	191394	WUFT TV/FM	2740-00002-0000	1,400.00		WUFT-FM ADVERTISING,3/15- 3/31/21 FOR TDO
				<b>1,400.00</b>		
04/26/2021	191395	VERDEGO LANDSCAPE, LLC	5078B	693.35		LANDSCAPE&GROUNDS MTC-APR AIRPORT

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/23/2021**

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Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
04/26/2021	191395	VERDEGO LANDSCAPE, LLC	5078B	165.33		LANDSCAPE&GROUNDS MTC-APR AIRPORT-TRIANGLE AIR
			5078B	142.32		LANDSCAPE&GROUNDS MTC-APR CAM-AIRPORT CORP CENTER
				1,001.00		
04/26/2021	191396	VERIZON WIRELESS	9876234216	262.88		WIRELESS SVCS,2/24-3/23 STATE ATTY
				262.88		
04/26/2021	191397	VICTORIA WATKINS	R247	200.00		PARKS DEPOSIT RFND-R247 PPP COTTAGE 1
				200.00		
04/26/2021	191398	VILLAGE KEY AND ALARM	391476	50.00		FIRE ALARM INSPECTION @ DELTA HANGAR-AIRPORT
			391484	50.00		FIRE ALARM INSPECTION @ AIRPORT CORP CENTER
			391487	50.00		FIRE ALARM INSPECTION @ AIRPORT EAST HANGAR
			391490	50.00		FIRE ALARM INSPECTION @ AIRPORT CONTROL TOWER
			391567	11,887.37		FIRE ALARM INSTALLATION @ FCSO PC SUBSTATION
			391981	255.00		FIRE PANEL RPR@AG EXT.
				12,342.37		
04/26/2021	191399	WASTE PRO OF FLORIDA INC	0000000010	137.04		FRNTLD 4YD SOLID WSTE SVC AIRPORT CORP CNTR-FEB 21
			0000000011	262.76		4YD & 6YD SOLID WASTE SVC TRIANGLE AIR-FEB 2021
			0000329142	350.00		20 YD ROLLOFF HAUL FEE 4/07/21-FAIRGROUNDS
				749.80		
04/26/2021	191400	WAYNE BROOKS	112821	111.61		PARKS FEE REFUND-112821 BULL CREEK RV13
			112821	13.39		PARKS SLSTX REFUND-112821 BULL CREEK RV13
				125.00		
04/26/2021	191401	WEST GROUP	844084943	884.26		INFORMATION CHRGS-MAR 21 LAW LIBRARY
			844086765	280.91		INFORMATION CHRGS MARCH 2021
				1,165.17		
04/26/2021	191402	WEX BANK	70935076	38.00		FUEL PURCHASES-MAR 2021 E-911
			70935076	1,382.96		FUEL PURCHASES-MAR 2021 FIRE/RESCUE
			70935076	123.58		FUEL PURCHASES-MAR 2021 LAND MGMT

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Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
				1,544.54		
04/26/2021	191403	FLAGLER CO BCC POOLED CASH PCARD	TXN00109570	7.31		PB SECTION 2,A-F UIT 8 09133151202AF080010
				7.31		
04/26/2021	191404	FLAGLER BROADCASTING, LLC	20080877	3,000.00		COVID MASK WEARING CARES PUBLIC SFTY ADS-AUG 2020
			20080878	2,000.00		COVID MASK WEARING CARES PUBLIC SFTY ADS-AUG 2020
			20080879	2,000.00		COVID MASK WEARING CARES PUBLIC SFTY ADS-AUG 2020
			20080880	3,000.00		COVID MASK WEARING CARES PUBLIC SFTY ADS-AUG 2020
			20090640	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-SEP 2020
			20090641	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-SEP 2020
			20090642	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-SEP 2020
			20090643	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-SEP 2020
				20,000.00		
04/27/2021	191405	FL GOVERNMENT UTILITY AUTHORITY	UTIL CUST PYMTS	220,191.24		COMP.FOR UTILITY CUSTOMER PYMNTS CLOSING 12/10/2020
				220,191.24		
04/26/2021	314200	ARCHITECTS DESIGN GROUP	INVOICE #5	96,522.85		PROF SVCS:FCSO OPS CENTER PHASE II,REIMB EXP-MARCH
			INVOICE #6	134,144.20		PROF SVCS:FCSO OPS CENTER PHASE II,REIMB EXP-APRIL
				230,667.05		
04/26/2021	314201	FLAGLER CO SHERIFF OFFICE	MAY 21 BUDGET	250,000.00		BUDGET DUE-MAY 2021 JAIL
				250,000.00		
04/26/2021	333484	FLAGLER CO BCC POOLED CASH FUNDS	CK21-135	1,026.59		TO FUND PAYROLL WEEK OF 4/23/2021
				1,026.59		
04/21/2021	9210439	EXPRESS TAX - TTL WIRE	WTO21-465	87,006.60		TTL WIRE WEEK OF 4/21/21
				87,006.60		
04/21/2021	9210440	P&A ADMINISTRATIVE SERVICES, INC	WTO21-466	528.00		P & A FLEXIBLE SPENDING 4/21/2021
				528.00		
04/21/2021	9210441	DHARMA MERCHANT SERVICES, INC	WTO21-467	70.00		CHARGEBACK CONF# 111623 M.BEMISH
				70.00		

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Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
04/22/2021	9210442	P&A ADMINISTRATIVE SERVICES, INC	WTO21-468	284.65		P & A FLEXIBLE SPENDING 4/22/2021
				284.65		
04/23/2021	9210443	OPTUMRX PBM OF ILLINOIS, INC	WTO21-469	64,351.25		OPTUM RX ACH CLAIMS 4/01-4/15/21
				64,351.25		
04/23/2021	9210444	NATIONWIDE RETIREMENT SOLUTIONS INC	WTO21-470	8,915.38		NATIONWIDE RETIREMNT WIRE WEEK OF 4/23/2021
				8,915.38		
04/23/2021	9210445	P&A ADMINISTRATIVE SERVICES, INC	WTO21-471	954.36		P & A FLEXIBLE SPENDING 4/23/2021
				954.36		
04/23/2021	9210446	EXPERT PAY - CHILD SUPPORT WIRE	WTO21-472	735.59		CHILD SUPPORT WIRE TO FLSDU WEEK OF 4/23/2021
				735.59		
04/26/2021	9210447	P&A ADMINISTRATIVE SERVICES, INC	WTO21-473	1,024.78		P & A FLEXIBLE SPENDING 04/26/2021
				1,024.78		
04/26/2021	9210448	P&A ADMINISTRATIVE SERVICES, INC	WTO21-474	131.44		P & A FLEXIBLE SPENDING 04/26/2021
				131.44		
04/27/2021	9210449	P&A ADMINISTRATIVE SERVICES, INC	WTO21-475	208.33		P & A FLEXIBLE SPENDING 04/27/2021
				208.33		
04/27/2021	9210450	P&A ADMINISTRATIVE SERVICES, INC	WTO21-476	95.61		P & A FLEXIBLE SPENDING 04/27/2021
				95.61		
			Total	3,857,645.46		

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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Item 6a(2)

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
04/28/2021	191406	FCBCC GROUP BENEFITS (P/R)	20210430	282.86		PAYROLL SUMMARY
				282.86		
04/28/2021	191407	FLAGLER COUNTY COCC (P/R)	20210430	14.00		PAYROLL SUMMARY
				14.00		
04/28/2021	191408	UNITED WAY OF VOLUSIA-FLAGLER, INC	20210430	2.00		PAYROLL SUMMARY
				2.00		
05/03/2021	191409	ADVANCE AUTO PARTS	8483111070004	126.48		BRAKE ROTOR-FRONTLINE PO NUM 027996
				126.48		
05/03/2021	191410	ADVENTHEALTH MED GRP RADIOLOGY @CF	Z7KXGG8	9.07		SO INDIGENT INMATE HEALTH
				9.07		
05/03/2021	191411	ADVENTHEALTH PALM COAST	116439265	1,113.46		SO INDIGENT INMATE HEALTH
			116670128	323.03		SO INDIGENT INMATE HEALTH
			116726794	13,524.53		SO INDIGENT INMATE HEALTH
			13951612V13122	651.12		SO INDIGENT INMATE HEALTH
				15,612.14		
05/03/2021	191412	AETNA LIFE INSURANCE COMPANY	H9148723	5,569.19		MAY 2021 ACTIVE EE VISION
			H9148724	24.89		MAY 2021 COBRA VISION
			H9148725	471.22		MAY 2021 RETIREE VISION
				6,065.30		
05/03/2021	191413	AIRBUS HELICOPTERS, INC.	261072553	64.35		BLIND RIVETS REPAIR TO HELICOPTER-FLIGHT OPS
				64.35		
05/03/2021	191414	ALAN FOREHAND	113129	4.67		PARKS FEE REFUND-113129 PRINCESS PL CAMPSITE
			113129	0.33		PARKS SLSTX REFUND-113129 PRINCESS PL CAMPSITE
				5.00		
05/03/2021	191415	AMERICAN JANITORIAL, INC.	19392	1,264.35		PROF SVC:CARPET CLEANING AIRPORT-NATIONAL GUARD
				1,264.35		
05/03/2021	191416	AMY HARRINGTON	112999	100.00		PARKS DEPOSIT RFND-112999 HERSCHEL KING PARK



**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
05/03/2021	191416	AMY HARRINGTON	112999	46.73		PARKS FEE REFUND-112999 HERSCHEL KING PARK
			112999	3.27		PARKS SLSTX REFUND-112999 HERSCHEL KING PARK
				150.00		
05/03/2021	191417	ANTHONY CINELLI	112945	100.00		PARKS DEPOSIT RFND-112945 BETTY STEFLIK
				100.00		
05/03/2021	191418	AQUAGENIX	4107852	171.50		POND AQUATIC SVC,APR-JUN BULL CREEK
			4107852	340.60		POND AQUATIC SVC,APR-JUN FACILITIES
			4107852	340.60		POND AQUATIC SVC,APR-JUN GSB
			4107852	425.81		POND AQUATIC SVC,APR-JUN OLD KINGS LANDFILL
			4107852	926.50		POND AQUATIC SVC,APR-JUN PARKS
				2,205.01		
05/03/2021	191419	ASHLEY CHATTIN	112951	100.00		PARKS DEPOSIT RFND-112951 HERSCHEL KING PARK
				100.00		
05/03/2021	191420	ATLANTIC DRAFTING & SURVEYING, INC.	1434	9,268.00		PROF SVCS:POST MONITOR EMER DUNE ASBUILT-YR2
				9,268.00		
05/03/2021	191421	AUTO PLUS AUTO PARTS	650047469	436.00		BLUEDEF PO NUM 027970
			650047469	1,075.89		FILTERS,BRK CLEANER,ROTOR PO NUM 027970
			650047526	16.80		POWER STEERING FLUID PO NUM 027970
				1,528.69		
05/03/2021	191422	BAKER & TAYLOR, INC	5016845767	55.64		(3)BOOKS FOR LIBRARY
			5016855511	33.74		(2)BOOKS FOR LIBRARY
			5016855512	48.31		(3)BOOKS FOR LIBRARY
			5016855513	92.22		(6)BOOKS FOR LIBRARY
			5016855514	80.07		(6)BOOKS FOR LIBRARY
			5016855515	66.07		(5)BOOKS FOR LIBRARY
			5016859129	246.17		(14)BOOKS FOR LIBRARY
			5016859130	34.85		(2)BOOKS FOR LIBRARY

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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05/03/2021	191422	BAKER & TAYLOR, INC	5016859131	97.70		(5)BOOKS FOR LIBRARY
			5016859541	51.21		(2)BOOKS FOR LIBRARY
			5016864329	138.26		(5)BOOKS FOR LIBRARY
			5016864330	87.11		(5)BOOKS FOR LIBRARY
			5016901277	22.49		(1)BOOK FOR LIBRARY
				<b>1,053.84</b>		
05/03/2021	191423	BEACON ELECTRIC LLC	20210401005	2,709.65		EQUIP RPAIR-RUNWAY LIGHTS AIRPORT
				<b>2,709.65</b>		
05/03/2021	191424	BETTY FRAZIER	113000	100.00		PARKS DEPOSIT RFND-113000 BINGS LANDING
			113000	18.69		PARKS FEE REFUND-113000 BINGS LANDING
			113000	1.31		PARKS SLSTX REFUND-113000 BINGS LANDING
				<b>120.00</b>		
05/03/2021	191425	BLUEBEAM SOFTWARE INC	1359069	2,340.00		STUDIO PRIME ANNUAL SUB-SCRIPTION-BUILDING DEPT
				<b>2,340.00</b>		
05/03/2021	191426	BORLAND-GROOVER CLINIC PA	000109606944	129.70		SS INDIGNT HLTH-RO 011197
				<b>129.70</b>		
05/03/2021	191427	BOULEVARD TIRE CENTER	27-90573	4,235.58		(4)FSTONE TIRES PUBLIC WORKS
			27-90576	538.28		EQUIP REPAIR-TRACTOR PUBLIC WORKS
			27-GS90488	2,729.34		(23)FSTONE TIRES PO NUM 027971
			27-GS90489	2,763.90		(4)BSTONE,(2)FSTONE TIRES PO NUM 027971
				<b>10,267.10</b>		
05/03/2021	191428	BOUND TREE MEDICAL LLC	84024117	4,400.59		MEDICAL SUPPLIES PO NUM 027972
			84032060	188.98		SYRINGE/NEEDLE VANISH PNT COVID RELATED
			84032061	1,304.70		CURAPLEX FITTED SHEETS PO NUM 027972
			84033546	1,623.10		MASKS,PAPER EKG,CATHETER PO NUM 027972
				<b>7,517.37</b>		
05/03/2021	191429	CARDIOVASCULAR CONSULTANTS	2215-1	18.70		SS INDIGNT HLTH-RO 011245

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05/03/2021	191429	CARDIOVASCULAR CONSULTANTS	2215-2	199.60		SS INDIGNT HLTH-RO 011156
			2215-3	194.76		SS INDIGNT HLTH-RO 011157
			2215-4	129.70		SS INDIGNT HLTH-RO 011212
			2662	183.88		SS INDIGNT HLTH-RO 011202
				<b>726.64</b>		
05/03/2021	191430	CCS PRESENTATION SYSTEMS	JC2896R	6,197.74		AUDIOVISUAL SYSTEM FOR JURY ROOM
			JC2896R	6,940.00		AUDIOVISUAL SYSTEM FOR JURY ROOM-LABOR
			JC2994	14,956.25		AUDIOVISUAL SYSTEM FOR JURY ROOM
			JC2994	6,940.00		AUDIOVISUAL SYSTEM FOR JURY ROOM-LABOR
			JC3091R	8,758.50		AUDIOVISUAL SYSTEM FOR JURY ROOM
				<b>43,792.49</b>		
05/03/2021	191431	CDW GOVERNMENT LLC	C187912	488.00		OUTDOOR DOME NETWORK CAMERA - I.T.
				<b>488.00</b>		
05/03/2021	191432	CENGAGE LEARNING INC.	74030240	19.50		(1)BOOK FOR LIBRARY
			74056156	41.60		(2)BOOKS FOR LIBRARY
				<b>61.10</b>		
05/03/2021	191433	CHANGE HEALTHCARE	7003981816	15,038.18		EMS AMBULANCE BILLING MARCH 2021 - FIRE/RESCUE
				<b>15,038.18</b>		
05/03/2021	191434	CINTAS CORPORATION	4082338552	34.54		SHOP TOWEL,FENDER COVER FLEET W/E 04/23/21
			4082338558	6.76		UNIFORM RNTL W/E 04/23/21 PURCHASING
			4082339429	7.80		UNIFORM RNTL W/E 04/23/21 SOLID WASTE
			4082339472	9.63		UNIFORM RNTL W/E 04/23/21 ADMINISTRATION
			4082339472	2.48		UNIFORM RNTL W/E 04/23/21 BULL CREEK
			4082339472	102.88		UNIFORM RNTL W/E 04/23/21 FACILITIES
			4082339472	37.69		UNIFORM RNTL W/E 04/23/21 FLEEET
			4082339472	68.11		UNIFORM RNTL W/E 04/23/21 PARKS
			4082339472	16.70		UNIFORM RNTL W/E 04/23/21 PRINCESS PLACE

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05/03/2021	191434	CINTAS CORPORATION	4082339472	140.02		UNIFORM RNTL W/E 04/23/21 TRANSPORTATION
				<b>426.61</b>		
05/03/2021	191435	CIRCLE OF HEALTH FAMILY PRACTICE,LL	1046-6	22.18		SS INDIGNT HLTH-RO 011234
			10680-3	91.32		SS INDIGNT HLTH-RO 011225
			11133-1	91.32		SS INDIGNT HLTH-RO 011242
				<b>204.82</b>		
05/03/2021	191436	COASTAL EAR, NOSE, & THROAT, PA	CB0013208C017	324.34		SS INDIGNT HLTH-RO 011192
				<b>324.34</b>		
05/03/2021	191437	CORA HEALTH SERVICES INC	115179C244051-1	86.11		SO INDIGENT INMATE HEALTH
			115179C244051-2	39.42		SO INDIGENT INMATE HEALTH
			115179C244051-3	39.42		SO INDIGENT INMATE HEALTH
				<b>164.95</b>		
05/03/2021	191438	CROWNE CONSULTING GROUP, INC.	101355	50,215.49		MED SVCS,RX,SPPLS FOR EMP HLTH CLINIC,PER END 3/20
			INV101333	17,411.00		CROWNE CONSULTNG PGM FEES APRIL 2021
				<b>67,626.49</b>		
05/03/2021	191439	CYCLEHERE MEDIA LLC	2021-04-124	3,500.00		SM BUS.PROFILE-MOONRISE BREW,BURRITO FINAL - TDO
				<b>3,500.00</b>		
05/03/2021	191440	DENITA KITTO	112967	4.67		PARKS FEE REFUND-112967 PRINCESS PL CAMPSITE
			112967	0.33		PARKS SLSTX REFUND-112967 PRINCESS PL CAMPSITE
				<b>5.00</b>		
05/03/2021	191441	DEX IMAGING, INC	5010220631	222.96		PRNTER RENTAL-04/24-05/23 PC & BUNNELL LIBRARY
			5014649757	111.20		COPIER LEASE 4/24-5/23/21 AIRPORT
			5014649757	85.96		COPIER LEASE 4/24-5/23/21 BUILDING
			5014649757	85.96		COPIER LEASE 4/24-5/23/21 CODE ENFORCEMENT
			5014649757	111.20		COPIER LEASE 4/24-5/23/21 ENGINEERING
			5014649757	111.20		COPIER LEASE 4/24-5/23/21 HEALTH CLINIC
			5014649757	1,503.31		COPIER LEASE 4/24-5/23/21 I.T.

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Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
05/03/2021	191441	DEX IMAGING, INC	5014649757	111.48		COPIER LEASE 4/24-5/23/21 LIBRARY
			5014649757	111.48		COPIER LEASE 4/24-5/23/21 LIBRARY-BUNNELL
			5014649757	111.20		COPIER LEASE 4/24-5/23/21 PLANNING
			5014649757	111.20		COPIER LEASE 4/24-5/23/21 TDO
				2,677.15		
05/03/2021	191442	DSM TECHNOLOGY CONSULTANTS, INC.	21-49906	158.02		PRIVATE CLOUD & STORAGE APR 2021-STATE ATTY
			21-49907	102.33		PRIVATE CLOUD & STORAGE APR 2021-STATE ATTY-AZURE
				260.35		
05/03/2021	191443	EARLY LEARNING COALITION OF FLAGLER	2ND QTR FY20/21	15,800.00		2ND QUARTER ALLOCATION 01/01/21-03/31/21
				15,800.00		
05/03/2021	191444	EAST CENTRAL FL OUTPATIENT IMAGING	1093214033021	32.92		SS INDIGNT HLTH-RO 011236
			270780032921	2,007.06		SS INDIGNT HLTH-RO 011217
			329715032221	119.56		SS INDIGNT HLTH-RO 011230
			329715032221-1	107.84		SS INDIGNT HLTH-RO 011256
			329715040721	797.78		SS INDIGNT HLTH-RO 011253
				3,065.16		
05/03/2021	191445	EMPIRE COMPUTING & CONSULTING, INC.	12824	60.00		EMPIRE/FPL FIBERNET EQUIP MTC-ST.ATTY-PYMT 71 OF 84
				60.00		
05/03/2021	191446	ENVIRONMENTAL CONTROL SYSTEMS INC	25748	525.00		SEPTIC PUMP OUT 04/14/21 SHELL BLUFF
				525.00		
05/03/2021	191447	ERNEST HUANG	R525	200.00		PARKS DEPOSIT RFND-R525 PRINCESS PL COTTAGE
				200.00		
05/03/2021	191448	FASTENAL COMPANY	FLORM47154	41.46		TOILET PLUNGER PO NUM 027974
				41.46		
05/03/2021	191449	FLAGLER BROADCASTING, LLC	20100731	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-OCT 2020
			20100732	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-OCT 2020
			20100733	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-OCT 2020

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
05/03/2021	191449	FLAGLER BROADCASTING, LLC	20100734	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-OCT 2020
			20110717	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-NOV 2020
			20110718	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-NOV 2020
			20110719	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-NOV 2020
			20110720	2,500.00		RADIO ADS DURING COVID FOR PUBLIC SFTY-NOV 2020
				<b>20,000.00</b>		
05/03/2021	191450	FLAGLER CDS, INC.	157646	115.00		LAND CLEARING-COLBERT LN PUBLIC WORKS
				<b>115.00</b>		
05/03/2021	191451	FLAGLER COUNTY AIRPORT	5804	2,433.00		JET FUEL(775)GALLONS MARCH 2021-FLIGHT OPS
			5827	105.67		WATER/SWR CHRGS-MAY 2021 HELO HANGAR
			5827	155.51		WATER/SWR CHRGS-MAY 2021 STATION 92
			5828	1,626.03		HELO HANGAR RENT-MAY 21 MAY 2021 - FLIGHT OPS
			5833	4,062.55		TDO OFF.SPACE RNTL STE 3 & COMMON AREA-MAY 2021
				<b>8,382.76</b>		
05/03/2021	191452	FLAGLER CO BCC BOND-POOLED	CK21-137	151,323.10		4/26 WIRE DEPST-BOCC CKNG 3/21 HALF CENT SALES TAX
				<b>151,323.10</b>		
05/03/2021	191453	FLAGLER CO BCC CPF POOLED FUNDS	CK21-136	75.20		4/26 DEP-BCC POOL-TX COLL FY20 ADD'L FEES-MARNLND A
			CK21-138	213,523.42		4/26 WIRE DEPST-BOCC CKNG 3/21 DISCRTNRY SALES TAX
				<b>213,598.62</b>		
05/03/2021	191454	FLAGLER CO BCC POOLED CASH FUNDS	CK21-140	27,000.00		CA-21-9-ADV.PROVIDE CASH FLOW GRANTS & OBLIGATIONS
				<b>27,000.00</b>		
05/03/2021	191458	FLAGLER CO BCC POOLED CASH PCARD	TXN00102306	1,313.39		WIRLESS BILL-SCHOOL BOARD REFUNDED 4/21 CK#318569
			TXN00106357	1,977.66		TIRES - LAND MGMT GRAHAM SWAP
			TXN00106833	3.91		CRYSTAL WATER - CREATIVE WATER - NOV 2020
			TXN00106833	365.91		CRYSTAL WATER - EMS WATER NOV 2020
			TXN00106833	3.91		CRYSTAL WATER - LAND MGMT WATER - NOV 2020
			TXN00106833	13.71		CRYSTAL WATER-BUDGET WATR NOV 2020

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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05/03/2021	191458	FLAGLER CO BCC POOLED CASH PCARD	TXN00106833	11.74		CRYSTAL WATER-IT/GIS WATR NOV 2020
			TXN00106833	408.94		CRYSTAL WATER-PARKS WATER NOV 2020
			TXN00106833	5.87		CRYSTAL WATER-PURCHASING WATER - NOV 2020
			TXN00106833	16.99		WATER COOLER RNTL-NOV 20 EMS
			TXN00106833	19.99		WATER COOLER RNTL-NOV 20 PARKS
			TXN00106846	359.88		LYNDA.COM-MEMEBERSHIP FOR TRAINING, 12/7/20-12/6/21
			TXN00107083	48.99		BUSINESS CARDS-D.SULLIVAN
			TXN00107166	26.99		BUSINESS CARDS-J.SALINAS ADMINISTRATION
			TXN00107188	96.00		J.SHUPE-APCO ANNUAL MEMBERSHIP EXP.12/31/21
			TXN00107190	29.99		BUSINESS CARDS-J.LORD EM
			TXN00107202	495.79		POSTCARDS LAUNCH OF FC UGOV APP IN JAN. I.T.
			TXN00107213	(109.88)		ORIG TXN106845 FULL CR. CABLE WRAP SLEEVING-I.T.
			TXN00107270	12.95		CANVA SUBSCRIPTION-I.T ONLINE GRAPHICS
			TXN00107307	12.95		CANVAPRO SUBSCRPTN FOR TDO,02/27-03/28/21
			TXN00107343	200.00		SMARTSIGN-MNTHLY SBSCRPTN SCHEDULING/PROJ-CREATIVE
			TXN00107636	745.00		PITTMAN,W.-LODGNG 1/10-15 TAMPA-BUS SYS SAFETY
			TXN00107768	29.25		LAND MGMT-BCKGROUND CHECK CHARLES LONG II
			TXN00107791	29.25		LAND MGMT-BCKGROUND CHECK CHARLES LONG
			TXN00107819	29.25		LAND MGMT-BCKGROUND CHECK CADE SAXON
			TXN00107836	29.25		LAND MGMT-BCKGROUND CHECK CLINTON AVANT
			TXN00107837	29.25		LAND MGMT-BCKGROUND CHECK DARRYL THORNHILL
			TXN00107951	1,075.12		PINTEREST ADS,1/24-1/27 LIKE YOU MEAN IT-FOR TDO
			TXN00107975	1,072.33		PINTEREST ADS,1/28-1/31 LIKE YOU MEAN IT-FOR TDO
			TXN00108224	8.58		OFFICE SUPPLIES-ADMIN.
			TXN00108316	7.18		QUIKRETE-LANDMGT
			TXN00108317	105.20		HVAC REPAIR PARTS - FACIL ITIES
TXN00108318	42.40		WATER AND COFFEE-AIRPORT			

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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05/03/2021	191458	FLAGLER CO BCC POOLED CASH PCARD	TXN00108319	(11.03)		ORIG TXN108328- BILLED INCORRECTLY
			TXN00108328	11.03		SEE CR TXN108319-FOR FULL CR BILLED INCORRECTLY
			TXN00108337	57.18		VEH REPAIR-FCSO #5757
			TXN00108349	144.77		VEH REPAIR-FCSO #3072
			TXN00108354	535.25		VEH REPAIR- FLEET SHOP LIFT
			TXN00108358	11.96		VEH REPAIR-FLEET SHOP USE
			TXN00108361	320.14		VEH REPAIR-FAC #8695
			TXN00108365	369.40		VEH REPAIR - FCSO #6629
			TXN00108372	20.69		VEH REPAIR-FIRE/RES #8518
			TXN00108378	132.45		VEH REPAIR-FCSO #5665
			TXN00108379	67.74		VEH REPAIR-FIRE/RES #8518
			TXN00108380	44.94		VEH REPAIR-IT
			TXN00108383	12.55		VEH REPAIR-FCSO #5665
			TXN00108405	19.99		ENVELOPES-GENERAL SRVICES
			TXN00108405	22.75		OFFICE SUPPLIES FACILITIES
			TXN00108422	703.34		LANDSCAPING TOOLS - PARKS
			TXN00108423	0.35		INT'L TRANS TXN108438- "WAVES OF LIFE"SOUND-I.T.
			TXN00108438	34.95		"WAVES OF LIFE"SOUNT SYS. I.T.
			TXN00108440	317.02		HARDWARE - REPAIRS @ THE ENERGY PLANT
			TXN00108441	22.32		4 FILE CABINET KEYS - FACILITIES
			TXN00108442	7.01		SCREWS- FACILITY REPAIRS
			TXN00108443	100.00		L.SHANK CGFO TRAINING 03/02/21-04/02/21
			TXN00108444	25.13		HARDWARE-FACILITY REPAIRS
			TXN00108444	5.56		SAFETY GLASSES-TRCK 10083 FACILITIES
			TXN00108444	71.04		TOOLS - TRUCK 10083 FACILITIES
			TXN00108445	40.73		HARDWARE-FACILITY REPAIRS
			TXN00108448	139.82		HARDWARE & FENCE POSTS - REPAIRS @ PRINCESS PLACE



**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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05/03/2021	191458	FLAGLER CO BCC POOLED CASH PCARD	TXN00108450	61.28		DOOR MAT & DOOR THRESHOLD -PC SHERIFF SUBSTATION
			TXN00108451	41.88		PROGRAM SUPPLIES WICKLINE CLIENTS
			TXN00108452	152.20		CONCRETE TOOLS-PW
			TXN00108453	27.50		PAINT - PARKS REPAIRS
			TXN00108453	27.52		PAINT TOOLS - PARKS
			TXN00108453	5.13		PAINT TRAY LINERS - PARKS
			TXN00108454	155.14		HARDWARE,PAINT-FACILITY REPAIRS
			TXN00108454	26.87		SAND PAPER & SAND SPONGES -FACILITIES
			TXN00108455	78.92		HARDWARE-FACILITY REPAIRS
			TXN00108456	76.26		SPRAY PAINT & SCREWS- PRINCESS PLACE REPAIRS
			TXN00108457	75.11		REPLENISH FIRST AID SUPPLIES - LIBRARY
			TXN00108459	56.72		HARDWARE - REPAIRS @ FC HEALTH DEPT
			TXN00108460	450.00		TDO POSTAGE FOR FULFLLMNT OF VISITOR INFO REQUESTS
			TXN00108461	500.00		GOOGLE ADS:02/1-02/28 VIDEO IN STREAM - TDO
			TXN00108463	98.90		LAUNDRY SERVICES 02/17/21 PP COTTAGES
			TXN00108464	54.79		GFI OUTLET- LIGHT BULB - PRINCESS PLACE REPAIR
			TXN00108464	39.95		TOOLS - TRUCK 8692 FACILITIES
			TXN00108466	37.25		HR-BACKGROUND CHECK- GERALD CUNNINGHAM
			TXN00108467	747.51		PVC ADAPTER-STEEL DRAIN - PC SHERIFF SUBSTATION
			TXN00108469	5.93		HARDWARE-FACILITY REPAIRS
			TXN00108470	189.00		LITHIUM BATTERY PACK FIRE/RESCUE
			TXN00108471	114.02		CONCRETE TOOLS-PW
			TXN00108472	114.57		HVAC GRILLE - PC SHERIFF SUBSTATION
			TXN00108473	29.72		DROP CLOTH,TAPE-TRUCK 10641 - FACILITIES
			TXN00108473	8.82		JOINT COMPOUND-TRCK 10641 FACILITY REPAIRS
			TXN00108473	54.92		TOOLS - TRUCK 10641 FACILITIES
			TXN00108474	14.68		HARDWARE-FACILITY REPAIRS

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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05/03/2021	191458	FLAGLER CO BCC POOLED CASH PCARD	TXN00108475	100.78		2 MICROPHONE BOOM ARM FOR PODCASTING - I.T.
			TXN00108476	155.53		15 PKG OF 100 EA PASSPORT PHOTO FOLDERS- LIBRARY
			TXN00108477	(42.74)		ORIG TXN108405-FULL CR. ORDER CANCELLED
			TXN00108478	6.40		PAINT BRUSH,SANDNG SPONGE FACILITIES
			TXN00108759	324.63		WIRLESS BILL-PROP.APPRSER REFUNDED 4/27 CK#33510
			TXN00109647	29.50		VEH REPAIR-FIRE/RES #931
			TXN00109649	6.00		VEH REPAIR- IT
			TXN00109652	31.30		VEH REPAIR-FSCO #5686
			TXN00109659	246.84		VEH REPAIR-FCSO #6625
			TXN00109662	50.12		VEH REPAIR-FCSO #6411
			TXN00109663	29.50		VEH REPAIR-FIRE/REC #931
			TXN00109669	72.90		VEH REPAIR-PW #919
			TXN00109679	68.49		VEH REPAIR-FCSO #4761
			TXN00109684	27.25		VEH REPAIR - FLEET SHOP USE
			TXN00109685	29.00		VEH REPAIR-FCT #116
			TXN00109693	287.93		VEH REPAIR-FLEET SHOP USE
			TXN00109697	(28.70)		ORIG TXN109679 - VEH RPR FCSO-#4761
			TXN00109705	185.88		VEH REPAIR-FAC #8692
			TXN00109707	(100.00)		ORIG TXN109203- VEH REPR PARKS #9342
			TXN00109712	29.69		VEH REPAIR-FLEET SHOP USE
			TXN00109713	109.18		VEH REPAIR-FCT #112
			TXN00109719	128.12		VEH REPAIR - FLEET SHOP USE
			TXN00109724	565.88		VEH REPAIR - EM #10840
			TXN00109727	161.18		VEH REPAIR-FAC #8692
			TXN00109731	102.46		VEH REPAIR-LANDMGT
			TXN00110147	15.54		VEH REPAIR-IT-#10096
			TXN00110178	209.01		VEH REPAIR- PW #9484

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
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05/03/2021	191458	FLAGLER CO BCC POOLED CASH PCARD	TXN00110183	495.00		VEH REPAIR-FIRE/RES #8257
				18,286.08		
05/03/2021	191459	FLAGLER CO BCC SHIP FUND	CK21-141	127.60		4/26 DEP OPER-FY20 TAX COLL EXCESS FEE-MARINELND
				127.60		
05/03/2021	191460	FLAGLER COUNTY HEALTH DEPARTMENT	18-1000014547	199.76		SO INDIGENT INMATE HEALTH
			18-1000015157	225.81		SO INDIGENT INMATE HEALTH
				425.57		
05/03/2021	191461	FLAGLER HOSPITAL INC	2001311641-1	249.89		SS INDIGNT HLTH-RO 011227
				249.89		
05/03/2021	191462	FLORIDA COMBINED LIFE	MAY 2021	3,448.50		MAY 2021 DENTAL ADMIN FEES
				3,448.50		
05/03/2021	191463	FLORIDA POWER & LIGHT COMPANY	0747013431 0421	20.30		PC LIBRARY IRRIGATION 03/17/21-04/16/21
			2979086341 0421	40.35		17 OLD KINGS RD N STE F 03/18/21-04/19/21
			4144507755 0421	165.88		RIMI RIDGE FIRE STATION 03/24/21-04/23/21
			5415798148 0321	59.85		RESTROOMS@LEHIGH TRAILS 03/18/21-04/19/21
			6484477523 0321	91.99		17 OLD KINGS RD N STE D 03/18/21-04/19/21
			7061613076 0421	303.70		7570 CR304 COMM TOWER #A 03/23/21-04/22/21
			8106867529 0421	97.89		17 OLD KINGS RD N STE C 03/18/21-04/19/21
			8430936099 0421	21.34		PC LIBRARY O/L 03/17/21-04/16/21
			8632322320 0421	3,606.86		PC LIBRARY 03/17/21-04/16/21
			9369692117 0421	183.43		14 PALM HARBOR VILL WAY 03/18/21-04/19/21
				216.59		RSTRM @ H.C.KING PARK 03/18/21-04/19/21
				4,808.18		
05/03/2021	191464	GUILLERMO CARRION	5762	1,000.00	G	CARES ACT GRANT FY20-IND MAX
				1,000.00		
05/03/2021	191465	HALL'S WAY LLC	2021-3 ADI	3,160.20		RESP-MARCH 2021
			2021-3 CCE	435.10		HMK-MARCH 2021

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05/03/2021	191465	HALL'S WAY LLC	2021-3 CCE	421.36		PC-MARCH 2021
			2021-3 CCE	393.88		RESP-MARCH 2021
			2021-3 TTL 3B	1,868.64		HMK-MARCH 2021
				6,279.18		
05/03/2021	191466	HEATHER FLETCHER	111591	100.00		PARKS DEPOSIT RFND-111591 PRINCESS PL PRESERVE
				100.00		
05/03/2021	191467	HELEN PERIVIER	R475	200.00		PARKS DEPOSIT RFND-R475 PRINCESS PL COTTAGE
				200.00		
05/03/2021	191468	INDEPENDENT PRINTING	3716	56.00		THANK YOU CARDS - TDO
				56.00		
05/03/2021	191469	INSIGHT PUBLIC SECTOR, INC.	1100824909	4,164.75		NETMOTION WIRELESS MTNCE 7/14/21-7/13/22-FIRE/RESC
			1100824909	308.50		NETMOTION WIRELESS MTNCE 7/14/21-7/13/22-I.T.
			1100824909	77.13		NETMOTION WIRELESS MTNCE 7/14/21-7/13/22-PPP
			1100824909	77.12		NETMOTION WIRELESS MTNCE 7/14/21-7/13/22-SOLID WST
				4,627.50		
05/03/2021	191470	KAREN SIRBU	113124	100.00		PARKS DEPOSIT RFND-113124 HERSCHEL KING PARK
			113124	46.73		PARKS FEE REFUND-113124 HERSCHEL KING PARK
			113124	3.27		PARKS SLSTX REFUND-113124 HERSCHEL KING PARK
				150.00		
05/03/2021	191471	KRISTI MEDLIN	113150	100.00		PARKS DEPOSIT RFND-113150 BINGS LANDING
			113150	74.77		PARKS FEE REFUND-113150 BINGS LANDING
			113150	5.23		PARKS SLSTX REFUND-113150 BINGS LANDING
				180.00		
05/03/2021	191472	LISA ELSER	R453	200.00		PARKS DEPOSIT RFND-R453 PRINCESS PL COTTAGE
				200.00		
05/03/2021	191473	LISA LEEMAN	111236	100.00		PARKS DEPOSIT RFND-111236 BINGS LANDING
				100.00		

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05/03/2021	191474	LIZ HEFFNER	R321	200.00		PARKS DEPOSIT RFND-R321 PRINCESS PL COTTAGE
				200.00		
05/03/2021	191475	M & B TREE SERVICE, LLC	9091	1,750.00		REMOVE PINES-OKR OVERPASS PUBLIC WORKS
				1,750.00		
05/03/2021	191476	MADISON GREEN APARTMENTS LTD	APR 2021 A.S.	863.00		RENTAL ASSIST-RO 001668
			APR 2021 C.J.	863.00		RENTAL ASSIST-RO 001667
				1,726.00		
05/03/2021	191477	MANSFIELD OIL COMPANY	22322947	19,935.00		CONV 87 OCT E-10,8456 GAL PO NUM 027985
				19,935.00		
05/03/2021	191478	MARIAH ENT	111602	100.00		PARKS DEPOSIT RFND-111602 HAMMOCK CC
				100.00		
05/03/2021	191479	MARKS GRAY, P.A.	111010	1,450.00		PROF SVCS:EMPLOYMENT LAW 3/03/21-3/30/21
				1,450.00		
05/03/2021	191480	MARSHA DAVIS	113131	37.38		PARKS FEE REFUND-113131 PRINCESS PL CAMPSITE
			113131	2.62		PARKS SLSTX REFUND-113131 PRINCESS PL CAMPSITE
				40.00		
05/03/2021	191481	MARY WHEELER	R195-1	200.00		PARKS DEPOSIT RFND-R195 PRINCESS PL COTTAGE
				200.00		
05/03/2021	191482	MARYANN MLINAC	112881	46.73		PARKS FEE REFUND-112881 HERSCHEL KING PARK
			112881	3.27		PARKS SLSTX REFUND-112881 HERSCHEL KING PARK
				50.00		
05/03/2021	191483	MASSEY SERVICES INC	44194593	3,058.33		INSTALL BAT HOUSES AROUND JUDICIAL BUILDING
				3,058.33		
05/03/2021	191484	MFB FINANCIAL TPA, INC	1208	1,744.00		PLAN SOURCE ADMIN FEES APRIL 2021
				1,744.00		
05/03/2021	191485	MOHAWK CARPET DISTRIBUTION, INC.	1827381	16,348.38		CARPET TILE INSTALLATION AT FCSSO PC SUBSTATION
				16,348.38		

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05/03/2021	191486	NE FL ENDOCRINE & DIAB ASSOC, PA	27222700	129.70		SS INDIGNT HLTH-RO 011223
				129.70		
05/03/2021	191487	NEUROLOGY ASSOCIATES OF ORMOND BCH	277222	169.08		SS INDIGNT HLTH-RO 011231
			278079	91.32		SS INDIGNT HLTH-RO 011213
				260.40		
05/03/2021	191488	NORTH FLORIDA SURGEONS, PA	1585998V9109	112.81		SS INDIGNT HLTH-RO 011224
				112.81		
05/03/2021	191489	PALM COAST SIGNS & GRAPHICS	21-510	290.00		REPLACE SIGN"WELCOME TO THE FBO..." AIRPOT
				290.00		
05/03/2021	191490	PALM LANDING DENTAL LLC	04/15/21 J.C.	84.60		SS INDIGNT HLTH-RO 011265
				84.60		
05/03/2021	191491	PAVEMENT MANAGEMENT GROUP, LLC.	1562	17,875.00		PROF SVCS:2021 FLAGLER COUNTY PMP THRU 04/21/21
				17,875.00		
05/03/2021	191492	PEGGY KLOTZ	R322	200.00		PARKS DEPOSIT RFND-R322 PRINCESS PL COTTAGE
				200.00		
05/03/2021	191493	PHYLLIS WITSCHI	111333	100.00		PARKS DEPOSIT RFND-111333 HAMMOCK CC
				100.00		
05/03/2021	191494	PRIDE ENTERPRISES	E1166588	3,672.02	G	(15)CHAIRS - EM
				3,672.02		
05/03/2021	191495	AZALEA HEALTH	M011193	200.75		SS INDIGNT HLTH-RO 011193
			M011195	9.50		SS INDIGNT HLTH-RO 011195
			M011207	227.88		SS INDIGNT HLTH-RO 011207
			M011239	84.05		SS INDIGNT HLTH-RO 011239
				522.18		
05/03/2021	191496	SALLY HIRST	113052	100.00		PARKS DEPOSIT RFND-113052 BETTY STEFLIK
				100.00		
05/03/2021	191497	SECURITY AND FIRE ELECTRONICS, INC.	SP-4039	2,820.50		EQUIP REPAIR-SPRINKLER @ GSB

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Date: 05/05/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
				2,820.50		
05/03/2021	191498	SHANNON GUTIERREZ	112930	100.00		PARKS DEPOSIT RFND-112930 HAW CREEK CC
				100.00		
05/03/2021	191499	SHERIDAN HEALTHCORP, INC.	03X2569584	185.25		SS INDIGNT HLTH-RO 011240
				185.25		
05/03/2021	191500	SOUND PHYSICIANS OF FLORIDA IV, LLC	Z7IVMOH	182.61		SO INDIGENT INMATE HEALTH
				182.61		
05/03/2021	191502	STATE OF FLORIDA	2S-4448	23.24		LOCAL PHONE SVC-MAR 2021 TAX COLLECTOR
			2S-4449	23.24		LOCAL PHONE SVC-MAR 2021 COUNTY JUDGE
			2S-4450	0.09		TOLL FREE SRVC-MAR 2021 COUNTY JUDGE
			2S-4451	139.44		LOCAL PHONE SVC-MAR 2021 COUNTY JUDGE
			2S-4452	3.58		LONG DISTANCE-MAR 2021 COUNTY JUDGE
			2S-4453	23.24		LOCAL PHONE SVC-MAR 2021 COUNTY JUDGE
			2S-4454	23.24		LOCAL PHONE SVC-MAR 2021 PUBLIC DEFENDER
			2S-4455	0.39		LONG DISTANCE-MAR 2021 PUBLIC DEFENDER
			2S-4456	209.16		LOCAL PHONE SVC-MAR 2021 SUPERVISOR OF ELECTIONS
			2S-4457	85.56		LOCAL PHONE SVC-MAR 2021 EXTENSION SERVICES
			2S-4458	23.24		LOCAL PHONE SVC-MAR 2021 FLEET
			2S-4459	92.96		LOCAL PHONE SVC-MAR 2021 FIRE/RESCUE
			2S-4460	23.24		LOCAL PHONE SVC-MAR 2021 FIRE/RESCUE
			2S-4461	418.32		LOCAL PHONE SVC-MAR 2021 FACILITIES
			2S-4462	395.08		LOCAL PHONE SVC-MAR 2021 AIRPORT
			2S-4463	42.73		DSL-INTERNET CONNECTIVITY AIRPORT MAR 2021
			2S-4463	16.46		LONG DISTANCE-MAR 2021 AIRPORT
			2S-4464	46.48		LOCAL PHONE SVC-MAR 2021 FACILITIES
			2S-4465	23.24		LOCAL PHONE SVC-MAR 2021 FACILITIES
			2S-4466	123.27		LOCAL PHONE SVC-MAR 2021 BULL CREEK

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/30/2021**

Date: 05/05/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
05/03/2021	191502	STATE OF FLORIDA	2S-4466	123.27		LOCAL PHONE SVC-MAR 2021 PARKS
			2S-4466	123.27		LOCAL PHONE SVC-MAR 2021 PRINCESS PLACE
			2S-4467	32.80		DSL-INTERNET CONNECTIVITY PARKS MAR 2021
			2S-4467	3.97		LONG DISTANCE-MAR 2021 PARKS
			2S-4468	188.17		LOCAL PHONE SVC-MAR 2021 COMMUNITY SERVICES
			2S-4469	1.17		LONG DISTANCE-MAR 2021 COMMUNITY SERVICES
			2S-4470	44.45		LOCAL PHONE SVC-MAR 2021 E-911
			2S-4471	0.07		LONG DISTANCE-MAR 2021 E-911
			2S-4472	116.20		LOCAL PHONE SVC-MAR 2021 LIBRARY
			2S-4473	162.68		LOCAL PHONE SVC-MAR 2021 CIRCUIT JUDGE
			2S-4474	46.48		LOCAL PHONE SVC-MAR 2021 SOLID WASTE
			2S-4475	0.15		LONG DISTANCE-MAR 2021 SOLID WASTE
			2S-4476	46.48		LOCAL PHONE SVC-MAR 2021 PRINCESS PL VISITOR CENTR
			2S-4477	23.24		LOCAL PHONE SVC-MAR 2021 E-911
			2S-4478	23.24		LOCAL PHONE SVC-MAR 2021 NETWORKING LINES
			2S-4479	23.24		LOCAL PHONE SVC-MAR 2021 FACILITIES-TEMP UT
			2S-4480	46.48		LOCAL PHONE SVC-MAR 2021 FACILITIES-TEMP UT
			2S-4481	0.93		LONG DISTANCE-MAR 2021 FACILITIES-TEMP UT
			2S-4482	45.47		LOCAL PHONE SVC-MAR 2021 EM
			2S-4483	46.48		LOCAL PHONE SVC-MAR 2021 FACILITIES-BL8B
2S-4484	2.76		LONG DISTANCE-MAR 2021 FACILITIES-BL8B			
2S-4485	23.24		LOCAL PHONE SVC-MAR 2021 TDO-AH8QB50			
2S-4486	69.72		LOCAL PHONE SVC-MAR 2021 FACILITIES-AIRPORT QB8B			
2S-4487	1,376.41		FRAME RELAY-MAR 2021 PUBLIC DEFENDER			
				<b>4,306.57</b>		
05/03/2021	191503	STATE OF FLORIDA - SA	2S-0855	69.72		LOCAL PHONE SVC-MAR 2021 STATE ATTORNEY
			2S-0856	0.22		LOCAL PHONE SVC-MAR 2021 STATE ATTORNEY



**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/30/2021**

Date: 05/05/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
				69.94		
05/03/2021	191504	STEPHEN WARE	112924	100.00		PARKS DEPOSIT RFND-112924 PRINCESS PL CAMPSITE
			112924	70.09		PARKS FEE REFUND-112924 PRINCESS PL CAMPSITE
			112924	4.91		PARKS SLSTX REFUND-112924 PRINCESS PL CAMPSITE
				175.00		
05/03/2021	191505	TAMARA SEMBER	110160	100.00		PARKS DEPOSIT RFND-110160 HAMMOCK CC
			110161	100.00		PARKS DEPOSIT RFND-110161 HAMMOCK PAVILION
			112782	100.00		PARKS DEPOSIT RFND-112782 HAMMOCK CC
				300.00		
05/03/2021	191506	TENTCRAFT, LLC.	0000029591	1,890.58	G	TENT ACCESSORIES - EM
				1,890.58		
05/03/2021	191507	TERRI HALL	R323	200.00		PARKS DEPOSIT RFND-R323 PRINCESS PL COTTAGE
			R430	200.00		PARKS DEPOSIT RFND-R430 PRINCESS PL COTTAGE
				400.00		
05/03/2021	191508	TYLER TECHNOLOGIES, INC	045-335918	2,560.00		IMPLEMENTATION 03/30,31 RYAN LEES-SHERIFF OFFICE
			045-337212	1,912.50		IMPLEMENTATION 04/13,14 RANDY ARCEBIDO
				4,472.50		
05/03/2021	191509	UNIVERSITY OF FLORIDA JACKSONVILLE	5096356388	720.00		SO INDIGENT INMATE HEALTH
				720.00		
05/03/2021	191510	VIR TOWERS LLC	1009	3,000.00		ARPRT OPERATIONS TRACKING SYSTEM 04/1/21-09/30/21
				3,000.00		
05/03/2021	191511	WORD SYSTEMS, INC	IN34404	2,676.80		MAINTNANCE 6/1/21-5/31/22 FOR EQ13742-HA1 & H1-I.T.
				2,676.80		
05/03/2021	191512	XUXIA FINN	R464	200.00		PARKS DEPOSIT RFND-R464 PRINCESS PL COTTAGE
				200.00		
05/03/2021	191513	ZEV COHEN & ASSOCIATES, INC.	73425	67,751.00	G	PROF SVC:FC RIMA RIDGE RE SURF,03/01/21-03/31/21
				67,751.00		

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/30/2021**

Date: 05/05/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
05/03/2021	191514	FLAGLER CO SUPERVISOR OF ELECTIONS	FY21 REQUEST#08	76,415.44		ADMIN/VOTER REGISTRATION MAY 2021
			FY21 REQUEST#08	40,166.12		ELECTIONS MAY 2021
				116,581.56		
05/04/2021	191515	BLUE CROSS BLUE SHIELD OF FLORIDA	APR 2021	42,600.00		GROUP BILLING SUMMARY FOR ADMIN FEES-APR 2021
				42,600.00		
05/03/2021	314202	ATLANTIC DRAFTING & SURVEYING, INC.	1348	2,690.00		PROF SVC:WETLAND SURVEY 2 PARCELS FCSSO NEW OPS CTR
			1375	475.00		STAKE & REPLACE PROPERTY CORNERS-FCSSO OPS CENTER
			1455	2,295.00		PROF SVCS:PARCEL A TOPO- GRAPHIC-FCSSO DISTCT OFFICE
				5,460.00		
05/03/2021	314203	AQUAGENIX	4107852	150.50		POND AQUATIC SVC,APR-JUN MALACOMPRA TRAIL
				150.50		
05/03/2021	333485	FLAGLER CO BCC POOLED CASH FUNDS	CK21-139	1,028.80		TO FUND PAYROLL WEEK OF 04/30/2021
				1,028.80		
04/28/2021	9210451	EXPRESS TAX - TTL WIRE	WTO21-477	89,820.98		TTL WIRE WEEK OF 04/30/21
				89,820.98		
04/28/2021	9210452	P&A ADMINISTRATIVE SERVICES, INC	WTO21-478	215.00		P & A FLEXIBLE SPENDING 04/28/2021
				215.00		
04/29/2021	9210453	P&A ADMINISTRATIVE SERVICES, INC	WTO21-479	461.24		P & A FLEXIBLE SPENDING 04/29/2021
				461.24		
04/30/2021	9210454	US BANK NATIONAL ASSOCIATION	WTO21-480	601.60		FLGFC POOLED COMMERCIAL PAPER LOAN 05/01/21
			WTO21-480	27.61		FLGFC POOLED COMMERCIAL PAPER LOAN 05/01/21-INT.
				629.21		
04/30/2021	9210455	BLUE CROSS BLUE SHIELD-CLAIMS	WTO21-481	529,235.02		MARCH 2021 MONTHLY HEALTH INSURANCE CLAIMS
				529,235.02		
04/30/2021	9210456	NATIONWIDE RETIREMENT SOLUTIONS INC	WTO21-482	8,904.25		NATIONWIDE RETIREMNT WIRE 04/30/2021
				8,904.25		
04/30/2021	9210457	EXPERT PAY - CHILD SUPPORT WIRE	WTO21-483	628.84		CHILD SUPPORT WIRE TO FLSDU WEEK OF 04/30/21

**Flagler County Board of Commissioners - Disbursement Report Required per F.S. 136.06**  
**Invoices Processed for week ending 04/30/2021**

Date: 05/05/2021

Check Date	Check #	Vendor Name	Invoice Number	Net Trans Amt	?	Description
				628.84		
04/30/2021	9210458	P&A ADMINISTRATIVE SERVICES, INC	WTO21-484	159.41		P & A FLEXIBLE SPENDING 04/30/2021
				159.41		
05/03/2021	9210459	STATE OF FL-DOR-RETIREMENT WIRE	WTO21-485	373,868.25		APR 2021 RETIREMENT WIRE
				373,868.25		
05/03/2021	9210460	DEPARTMENT OF REVENUE	WTO21-486	112,105.33		MAY 2021 MEDICAID REIMBURSEMENT
				112,105.33		
05/03/2021	9210461	DHARMA MERCHANT SERVICES, INC	WTO21-487	449.60		APR 2021 PARKS CREDIT CARD MONTHLY CHRGS/FEES
				449.60		
05/03/2021	9210462	P&A ADMINISTRATIVE SERVICES, INC	WTO21-488	243.99		P & A FLEXIBLE SPENDING 05/03/2021
				243.99		
05/03/2021	9210463	P&A ADMINISTRATIVE SERVICES, INC	WTO21-489	142.51		P & A FLEXIBLE SPENDING 05/03/2021
				142.51		
05/04/2021	9210466	P&A ADMINISTRATIVE SERVICES, INC	WTO21-491	66.73		P & A FLEXIBLE SPENDING 05/04/2021
				66.73		
			Total	2,118,531.02		

# FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS

APRIL 19, 2021

## REGULAR MEETING

Present: Chair Donald O'Brien, Vice Chair Joe Mullins, Commissioners David Sullivan, Gregory Hansen and Andy Dance, County Administrator Jerry Cameron, County Attorney Al Hadeed and Deputy Clerk Rhea Cosgrove

Chair O'Brien called the meeting to order at 5:00 p.m. in the Board Chambers of the Government Services Building in Bunnell, Florida.

### **ITEM 1 - PLEDGE TO THE FLAG AND MOMENT OF SILENCE**

Chair O'Brien led the Pledge to the Flag and requested a moment of silence.

### **ITEM 2 - ADDITIONS, DELETIONS AND MODIFICATIONS TO THE AGENDA**

Chair O'Brien announced the following:

- Addition – Proclamation “National Correctional Officers and Employee Week”

**A motion was made by Commissioner Hansen to add the proclamation to the agenda as Item 4a. Seconded by Commissioner Hansen.**

**Chair O'Brien called the question. Motion carried unanimously.**

- Addition – Letter of support for SMA Healthcare

**A motion was made by Commissioner Sullivan to add the letter of support for SMA Healthcare to the agenda as Item 8b. Seconded by Commissioner Hansen.**

**Chair O'Brien called the question. Motion carried unanimously.**

- Modification – move Item 8a to first item of business on the agenda.

**A motion was made by Commissioner Mullins to move Item 8a to the first order of business. Seconded by Commissioner Hansen.**

**Chair O'Brien called the question. Motion carried unanimously.**

### **ITEM 3 - ANNOUNCEMENTS BY THE CHAIR**

Chair O'Brien announced the following:

- Upcoming meetings:
  - Regular Meeting – Monday May 3 at 9:00 a.m. in the Board Chambers

April 19, 2021  
Regular Meeting

**ITEM 4A – PROCLAMATION – NATIONAL CORRECTIONAL OFFICERS AND EMPLOYEES WEEK**

Commissioner Hansen read the proclamation.

Chief Daniel Engert, Flagler County Sheriff 's Office, accepted the proclamation on behalf of all the detention deputies.

**A motion was made by Commissioner Hansen to adopt the proclamation. Seconded by Commissioner Mullins.**

**Chair O'Brien called the question. Motion carried unanimously.**

UNOFFICIAL

April 19, 2021  
Regular Meeting

General Business Item 8a was heard out of agenda order:

**ITEM 8A – US CONSTITUTION RESOLUTION DISCUSSION**

The following proposed resolution for consideration was requested by Commissioner Mullins:

**A RESOLUTION OF THE FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS IN SUPPORT OF THE  
UNITED STATES OF AMERICA’S CONSTITUTION**

**WHEREAS**, the United States of America laid the foundations of its government on a written constitution; and

**WHEREAS**, that Constitution provided a structure of government designed to prevent the rise of tyranny through a carefully designed system of separation of powers, preventing any one branch of that government from obtaining a dangerous advantage over the States and the People; and

**WHEREAS**, that Constitution embodies a Bill of Rights protecting citizens’ most cherished liberties, to include Freedom of Religion, Freedom of Speech, the Right to Peacefully Assemble, the Right to Petition the Government for Redress of Grievances, the Right to Bear Arms, the Right to be Secure in Their Property and Possessions, the Right Against Self Incrimination, the Right to Due Process and Fair Trials Before an Impartial Jury, and other essential rights and protections necessary to a free people; and

**WHEREAS**, that Constitution reserves all powers, not specifically granted to the Federal Government, to the States and The People; and

**WHEREAS**, since the founding of this country much Blood and Treasure have been expended defending that constitution and the freedoms it supports; and

**WHEREAS**, the members of this Board and other elected officials of Flagler County have taken a solemn oath to defend that Constitution against all enemies, both foreign and domestic.

**NOW THEREFORE**, we do firmly resolve to protect and defend The Constitution of The United States of America against all enemies, both foreign and domestic, and to resist any intrusions on the sacred rights protected by that Constitution.

Passed and Adopted this 5<sup>th</sup> day of April 2021.

ATTEST:

\_\_\_\_\_  
Tom Bexley, Clerk of the Circuit  
Court & Comptroller

**FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS**

\_\_\_\_\_  
Donald T. O’Brien Jr., Chair

Approved as to Form:

**Sean S. Moylan** Digitally signed by Sean S. Moylan  
Date: 2021.04.05 16:59:05 -04’00’

\_\_\_\_\_  
Sean S. Moylan, Assistant County Attorney

**(Item 8a – continued)**

Commissioners Mullins and Hansen read the proposed resolution.

Commissioner Hansen pointed out every elected official and people that work for the government took the oath to support the constitution against all enemies foreign and domestic.

Chair O'Brien requested public comments.

The following individuals spoke against the need to reaffirm:

Mike Cocchiola  
Jane Gentile Youd

The following individuals spoke in favor of reaffirming:

Joe Kaboski  
Gregory Reid  
Norman Roy

**A motion was made by Commissioner Hansen to approve the resolution as read. Seconded by Commissioner Mullins**

**Chair O'Brien called the question. Motion carried unanimously.**

**ITEM 5A – COMMUNITY OUTREACH**

The following individuals spoke in support of expanding the number of pickleball courts in Flagler County:

Mike McCauley  
Dan McEntire  
Rick Howe  
Ken Bryan, Flagler Beach City Commissioner  
Sandy Cipolloni  
Jimmy Sanchez  
George Opelka

Jane Gentile Youd requested Item 7j be removed from the Consent Agenda for discussion. Spoke about an animal tethering ordinance that was to be reworked and brought back to the BCC, noting there was now one being voted on in Tallahassee. Asked what was holding up the demolition of the motel on Old Dixie Highway.

Renee DeAngelis, representing the Flagler County Drug Court Foundation, Opioid Taskforce, Flagler ORES and Flagler Youth Coalition, stated in 2019 the Opioid Task Force spoke to the BCC on the opioid crisis in Flagler County but felt the issue was not being addressed to solve the problem. Spoke further and noted they received a Narcan grant from the State of Florida and were willing to train and supply staff for free (*handout on file in the Clerk's Office*).

**(Item 5 – continued)**

**Responses to Public Comments:**

**Pickleball**

Commissioner Hansen stated the BCC was aware pickleball courts were lacking and had a plan to put courts in MalaCompra and Wadsworth Park, but funding was a problem.

Commissioner Sullivan commented about injuries playing pickleball, noting Grand Haven was looking at cushioned courts. Questioned using tourist development money to build more courts.

**Old Dixie Hotel**

County Administrator Cameron stated the owners were given deadlines to the owner then they sold the property to two different people and were now trying to resolve that issue. Stated the new owners wanted the county to stop the demolition and the existing owner wanted the County to drop approximately \$100,000 in fines, which was refused. Advised the new owner was informed the County would proceed with the litigation and the only way to pause that was to put up a \$250,000 cash deposit that could not be refunded until they received the first major inspection of the renovation planned. He continued.

**Tethering Ordinance**

Chair O'Brien stated he was not aware of a current state legislation on dog tethering and asked staff to contact their lobbyist on the subject.

County Administrator Cameron stated he had looked at the local ordinance and it was a balancing of interests. Explained tethering and noted there were some legitimate reasons to do it at various times so it was difficult to write an ordinance that would accommodate all of the legitimate uses without having an enforcement problem.

**Opioids**

County Administrator Cameron stated there were grants that were going to be available but until the County found out the criteria of the grants, it would not be able to do something. Stated the solution might be regional facilities serving two or three counties due to the costs involved.

Chair O'Brien stated the BCC would be talking later about SMA's work on getting a medically assisted treatment center in Flagler County.

There was further discussion.



**ITEM 5B – BOARD COMMENTS ON CONSENT ITEMS**

Commissioner Hansen stated there was over \$3 million in the Environmentally Sensitive Lands fund and there was a priority issue coming up.

Commissioner Sullivan stated he strongly supported Item 7j, noting it was a wonderful park and needed to be improved it to make it safer and more accessible to the people that used the park.

**CONSENT AGENDA ITEM 6A THROUGH 7K**

Chair O'Brien removed Item 7j for discussion as requested by Ms. Youd.

**A motion was made by Commissioner Hansen to approve the Consent Agenda except for Item 7j. Seconded by Commissioner Mullins.**

**Chair O'Brien called the question. Motion carried unanimously.**

**ITEM 6A – BILLS AND RELATED REPORTS**

The report(s) of funds withdrawn from County depositories by the Flagler County Clerk of the Circuit Court presented in compliance with the provisions of Section 136.06, Florida Statute as listed below were approved as part of the Consent Agenda.

- Disbursement Report for Week Ending March 26, 2021 in the amount of \$5,149,140.43
- Disbursement Report for Week Ending April 2, 2021 in the amount of \$2,308,677.76

**ITEM 6B – APPROVAL OF BOARD MEETING MINUTES**

The following meeting minutes were approved as part of the Consent Agenda:

- April 5, 2021 Regular Meeting
- April 5, 2021 Workshop

April 19, 2021  
Regular Meeting

**ITEM 6C – SHERIFF – APPROVAL TO CONTINUE THE ANNUAL PARTICIPATION IN THE BYRNE JUSTICE GRANT PROGRAM FY20/21 IN THE AMOUNT OF \$35,748**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 6c**

**SUBJECT:** Approval to Continue the Annual Participation in the Byrne Justice Grant Program FY20/21 in the Amount of \$35,748

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** The Flagler County Sheriff's Office is seeking continued approval to apply for a Byrne Justice Grant that helps to fund the overtime hours worked by detectives and deputies who are investigating narcotic related investigations.

This is a pass through grant that reoccurs annually. The County signs the application and the Sheriff's Office serves as the sub-recipient and will manage the grant. The BOCC, City of Palm Coast, Bunnell, Flagler Beach and Marineland each provide letters of support required by the grant.

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Financial Services Director, John Brower (386) 313-4008

**RECOMMENDATION:** Request the Board approve and authorize the Chair or County Administrator as applicable to execute the grant agreements, if awarded, and any other documentation associated with implementation of the grant approved to form by the County Attorney.

**ATTACHMENTS:**

1. Sheriff Letter of Explanation Dated April 5, 2021
2. FY 2020 JAGC Subgrant Solicitation
3. FY20 COP Certificate of Participation
4. Support Letter -51% letter



April 19, 2021  
Regular Meeting

**ITEM 7A – RATIFICATION OF EMERGENCY PROCLAMATIONS EXTENDING THE STATE OF LOCAL EMERGENCY – HURRICANE MATTHEW**

The following request was ratified as part of the Consent Agenda:

**OFLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7a**

**SUBJECT:** Ratification of Flagler County Emergency Proclamations Extending the State of Local Emergency – Hurricane Matthew.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** Flagler County has been under a declared state of local emergency due to Hurricane Matthew since October 4, 2016. By law, the Proclamation declaring a state of local emergency may only last for seven days, but may be renewed every seven days as necessary. In the immediate aftermath of Hurricane Matthew, the County utilized its authority under the emergency to address debris removal and the restoration of electrical power. Over time, the County's response shifted to repairs of the coastline infrastructure and dune system. The County installed a seawall in Painters Hill to prevent the collapse of homes onto the beach. The County also installed an emergency protective berm in much of the unincorporated areas of the County.

In Flagler Beach, the coastline remains in disrepair with severely damaged dunes and much of A1A in need of a long-term solution. The County has entered into an agreement with the Army Corps of Engineers to restore dunes in southern Flagler Beach (the "Army Corps Project" or "Federal Project") and is coordinating with FDOT to restore dunes in the northern half of Flagler Beach and with FDOT and FDEP to restore dunes from South 28<sup>th</sup> Street to the Volusia County line (together, the "Non-federal Project").

The County has obtained nearly all of the easement rights necessary to conduct dune restoration within the Army Corps project. The County hopes to save significant mobilization costs by utilizing the same contractor for both projects. Continuing the state of local emergency will help the County with these efforts and will also allow the County to take any necessary emergency measures to restore the dunes in Flagler Beach that lie outside of the Army Corps project.

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Jonathan Lord, Emergency Management Director (386) 313-4240

**RECOMMENDATION:** Request the Board ratify the Proclamations Extending the State of Local Emergency for Hurricane Matthew.

**ATTACHMENTS:**

1. Proclamation Extending State of Local Emergency – Hurricane Matthew, 04/06/2021
2. Proclamation Extending State of Local Emergency – Hurricane Matthew, 04/13/2021

April 19, 2021  
Regular Meeting

**ITEM 7B – RATIFICATION OF EMERGENCY PROCLAMATIONS EXTENDING THE STATE OF LOCAL EMERGENCY – COVID-19**

The following request was ratified as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7b**

**SUBJECT:** Ratification of Flagler County Emergency Proclamations Extending the State of Local Emergency – COVID-19.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** On March 16, 2020, the Chair issued a Proclamation declaring a state of local emergency in anticipation of the impact of COVID-19. By law, the Proclamation may only last for seven days but may be renewed in seven-day increments as needed. Accordingly, as the emergency conditions persist, the Chair successively extends the State of Local Emergency by Proclamation every seven days and the Board ratifies the extensions at the next regularly schedule Commission Meeting.

During a declared state of local emergency, the County Administrator and the Emergency Management Director have the authority to issue emergency orders to address the emergency in real time. Under County Code Section 12-34, such actions must be reported to the Commission as soon as practical under the circumstances. To date, the Board has ratified seven orders pertaining to the Covid-19 emergency, ranging from the closing of beaches and parks to quarantining of visitors from hot spots and also providing for electronic signatures and virtual meetings.

Vaccine distribution by the Florida Department of Health – Flagler with support from the County is well underway and will continue in the following weeks. While this represents a significant advance in the fight against COVID-19, the virus remains a serious threat to public health. Today's agenda item ratifies the most recent seven-day extensions of the state of local emergency, as required by law, to allow the County to respond to the emergency as it evolves.

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Jonathan Lord, Emergency Management Director (386) 313-4240

**RECOMMENDATION:** Request the Board ratify the Proclamations Extending the State of Local Emergency for COVID-19.

**ATTACHMENTS:**

1. Proclamation Extending State of Local Emergency – COVID-19, 04/05/2021
2. Proclamation Extending State of Local Emergency – COVID-19, 04/12/2021



April 19, 2021  
Regular Meeting

**ITEM 7C – RESOLUTION AND AUTHORIZATION TO TRANSFER A PARCEL DEDICATED FOR USE AS AFFORDABLE HOUSING**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7c**

**SUBJECT:** Resolution and Authorization to Transfer a Parcel Dedicated for Use as Affordable Housing.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** In 2016 parcel 07-11-31-7057-00300-0080 escheated to Flagler County due to nonpayment of taxes. Escheatment is a process by which lands are transferred to the County due to delinquent taxes. This property transferred to Flagler County in 2016 and was made available for affordable housing in 2018 via Resolution 2018-14. At this time Flagler Habitat For Humanity is requesting the property be transferred in accordance with Chapter 125.38 Florida Statutes.

The parcels address is 3 Underwick Path. This is an oversized corner parcel located east of the Flagler County Airport within municipal Palm Coast.

The property is undeveloped and over 4/10 of an acre, most typical lots in Palm Coast are approximately 1/5 of an acre. The Flagler County Property Appraiser has a 2020 Just (Market) value of \$16,275 for the property.

Chapter 125.38 Florida Statutes provides that property may be transferred to a not for profit entity organized for the purpose of promoting community interest and welfare, and such property is not required for a county purpose, for whatever price the Board may fix, regardless of the actual value of such property.

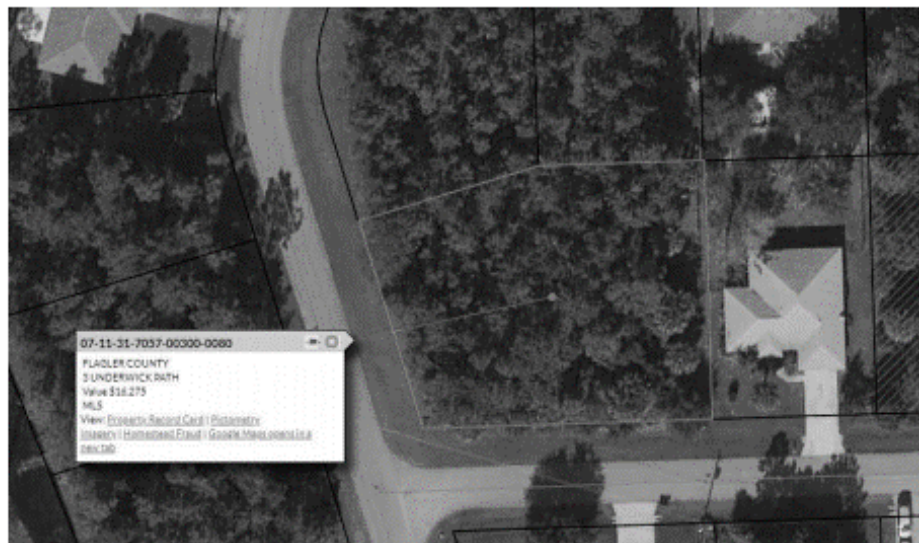
**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Tim Telfer, Land Management (386) 313-4066

**RECOMMENDATION:** Request the Board approve the Resolution outlining the transfer of the Underwick Path property and authorize the County Administrator to execute any instruments necessary to effectuate the transfer, as approved to legal format by the County Attorney.

**ATTACHMENTS:**

1. Resolution



04/08/2021 Approved by Financial Services, John Brower BE

April 19, 2021  
Regular Meeting

**ITEM 7D – CONSIDERATION OF A BUDGET AMENDMENT TO RECOGNIZE AND APPROPRIATE UNANTICIPATED REVENUE DUE TO AN AWARD FROM THE FEDERAL AVIATION ADMINISTRATION (FAA) GRANT IN THE AMOUNT OF \$57,162**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7d**

**SUBJECT:** Consideration of a Budget Amendment to Recognize and Appropriate Unanticipated Revenue Due to an Award from the Federal Aviation Administration (FAA) Grant in the Amount of \$57,162.

**DATE OF MEETING:** April 19, 2020

**OVERVIEW/SUMMARY:** On April 5<sup>th</sup>, 2021 the Board of County Commissioners approved the grant agreement for funding from the FAA under the Coronavirus Response and Relief Supplemental Appropriations Act. The FAA will distribute these grants under the new Airport Coronavirus Response Grant Program (ACRGP). The total grant amount is \$57,162, however it has two components, *General*, which is funded at \$23,000 and *Contract Tower* at \$34,162. Funding for *General* relates to costs related to operations, personnel, cleaning, sanitization, janitorial services, combating the spread of pathogens at the airport, and debt service payments. Funding for *Contract Tower* is to cover lawful expenses to support FAA contract tower operations. There is no required match for the grant.

**FUNDING INFORMATION:** The FAA awarded a grant in the amount of \$57,162.00, which will fund 100% of the allowable costs associated with General and Contract Tower expenses as outlined above at the Flagler Executive Airport. The grant funds will be appropriated with the approval of the attached Unanticipated Revenue Resolution.

**DEPARTMENT CONTACT:** Lacy Martin, Financial Analyst 386-313-4096

**RECOMMENDATION:** Request the Board approve the Unanticipated Revenue Resolution to appropriate funding.

**ATTACHMENTS:**

1. Grant Award Letter
2. Unanticipated Revenue Resolution



April 19, 2021  
Regular Meeting

**ITEM 7E – CONSIDERATION OF A SPACE USE AGREEMENT BETWEEN  
FLAGLER COUNTY AND FLAGLER TAILWINDS, INC.  
(HIGHJACKERS)**

The following request was approved as part of the Consent Agenda:

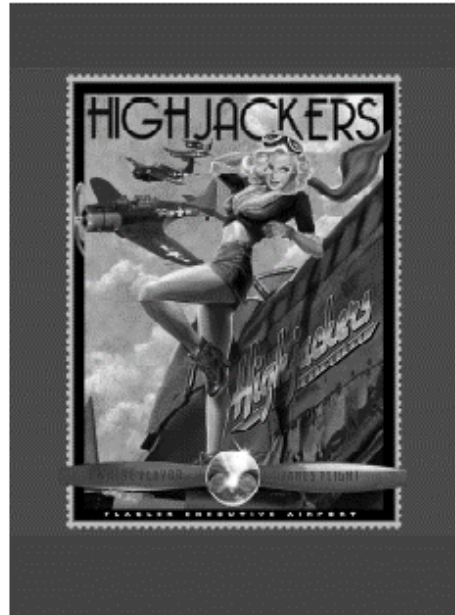
**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7e**

**SUBJECT:** Consideration of a Space Use Agreement between Flagler County and Flagler Tailwinds, Inc. D/B/A Highjackers.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** On May 21, 2001, the BoCC approved a County Airport Restaurant Lease for Florida Tailwinds, Inc. D/B/A Highjackers to lease approximately 5,288 sq. ft. of restaurant space and 41,447 sq. ft. of ground space for twenty years. The current lease expires on May 31, 2021 and does not contain any extension options. The owners of Highjackers Restaurant desire to enter into a new Space Use Agreement. Highjackers Restaurant has been a model tenant of the Flagler Executive Airport for nearly twenty years and is in good standing.

The Space Use Agreement for the Board's consideration is for ten (10) years, with a ten (10) year renewal option. The monthly lease rate for the first year of the Agreement is \$1,290.62, which is the current lease rate. This will provide the owners ample time to recover from the loss of business due to the COVID-19 pandemic. However, on the June 1, 2022 the monthly lease rate will increase to \$3,000. Additionally, the lease will be adjusted annually according to the change in the Consumer Price Index. In addition to the monthly lease rate increase, the owners have agreed to approximately \$165,000 in facility improvements to be completed in the first 10 years of occupancy. The renewal for the additional 10 years is contingent on the completion of the improvements found in Exhibit "C" of the Space Use Agreement. Improvements include painting, new entrance canopy, replace awnings, landscaping and remodeling of restrooms. The owners estimate an additional \$75,000 will be spent on plumbing, electrical and general building maintenance over the term of the lease.



Highjackers Restaurant is a great feature of our airport and is one of the longest running and successful businesses at the Flagler Executive Airport.

**FUNDING INFORMATION:** This lease was anticipated during the FY20/21 budget process (Space Use Agreements 401-0000-344.10-20). The monthly rate increase to \$3,000 will be recognized during the FY21/22 budget process.

**DEPARTMENT CONTACT:** Airport Director, Roy Sieger (386) 313-4220

**RECOMMENDATION:** Request the Board approve the Space Use Agreement for the County facility located at 202 Airport Road, Flagler Executive Airport to Flagler Tailwinds, Inc. D/B/A Highjackers.

**ATTACHMENTS:**

1. Proposed Space Use Agreement with attachments

April 19, 2021  
Regular Meeting

**ITEM 7F – CONSIDERATION OF A RESOLUTION AND A PUBLIC TRANSPORTATION GRANT AGREEMENT (PTGA) WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) IN THE AMOUNT OF \$117,000 TO ASSIST WITH FUNDING FOR T-HANGAR DESIGN AT THE FLAGLER EXECUTIVE AIRPORT**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7f**

**SUBJECT:** Consideration of a Resolution and a Public Transportation Grant Agreement (PTGA) with the Florida Department of Transportation (FDOT) in the Amount of \$117,000 to Assist with Funding for T-Hangar Design at the Flagler Executive Airport.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** Staff is bringing forward for consideration a Resolution and an FDOT Public Transportation Grant Agreement (PTGA) in the amount of \$117,000, which will fund 100% of the design costs for a T-hangar project.

The proposed project will include the design of three (3) new T-Hangar buildings. The proposed layout contains three (3) buildings, each containing fourteen (14) units, for a total of forty-two (42) units. Included in the design are restroom facilities for both men and women, utility extension from Aviation Drive to the project site (water, wastewater and power), taxilanes for aircraft access to Taxiway's "A" and "G" and vehicle access to meet County standards. This project is consistent with the approved Master Plan updated in 2015.



The Flagler Executive Airport continues to have unmet demand for T-Hangar space. The airport currently has 56 T-Hangars, which are all occupied. The T-Hangar waiting list has 79 individuals on it, with an average waiting period of approximately two (2) years to get a hangar. The additional hangars will increase revenues at the airport through leasing the units and fuel sales.

**FUNDING INFORMATION:** The FDOT is offering a PTGA in the amount of \$117,000, which will fund 100% of the costs for this project. Funding was not anticipated in the FY20-21 budget for this project. The grant funds will be appropriated with the approval of the attached Unanticipated Revenue Resolution.

**DEPARTMENT CONTACT:** Airport Director, Roy Sieger (386) 313-4220

**RECOMMENDATIONS:** Request the Board approve the PTGA and adopt the Resolution authorizing the Chairman to execute the agreement and authorize the Airport Director to execute all necessary documents associated with accepting and implementing said agreement, including any amendments and extensions approved as to form by the County Attorney.

**ATTACHMENTS:**

1. FDOT Public Transportation Grant Agreement (PTGA)
2. Resolution in support of the Public Transportation Grant Agreement
3. Unanticipated Revenue Resolution



**ITEM 7G – CONSIDERATION OF WORK AUTHORIZATION NO. WA-7, WHICH ESTABLISHES THE SCOPE OF SERVICES AND COMPENSATION FOR HOYLE, TANNER & ASSOCIATES, INC. UNDER FLAGLER COUNTY CONTRACT RSQ 18-026Q TO ASSIST IN THE T-HANGAR DESIGN FOR THE FLAGLER EXECUTIVE AIRPORT IN THE AMOUNT OF \$117,000**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7g**

**SUBJECT:** Consideration of Work Authorization No. WA-7, which Establishes the Scope of Services and Compensation for Hoyle, Tanner & Associates, Inc. under Flagler County Contract RSQ 18-026Q to Assist in the T-Hangar Design for the Flagler Executive Airport in the Amount of \$117,000.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** For a prior item considered on April 19, 2021, the Board was presented with an FDOT Public Transportation Grant Agreement (PTGA) in the amount of \$117,000, which will fund 100% of the costs for T-Hangar design. With this action, staff is bringing forward for consideration Work Authorization No. WA-7, which establishes the Scope of Services and Compensation for Hoyle, Tanner & Associates, Inc. to design and prepare bid documents for a T-hangar project. The total cost for this portion of the project is \$117,000.

This contract includes the design for three (3) new T-hangar buildings (each containing 14 units), associated taxilanes, restroom facilities, roadway access and utility extension.

**FUNDING INFORMATION:** The FDOT has offered a Public Transportation Grant Agreement in the amount of \$117,000, which will fund 100% of the costs of the project. This funding was not anticipated in the FY20-21 budget and is being appropriated in Agenda Item #7x in conjunction with this item.

**DEPARTMENT CONTACT:** Airport Director, Roy Sieger (386) 313-4220

**RECOMMENDATIONS:** Request the Board approve Work Authorization No. WA-7 under Flagler County Contract RSQ #18-026Q for Hoyle, Tanner & Associates, Inc., authorizing the Chair to execute the agreement and authorize the Airport Director to execute all necessary documents associated with accepting and implementing said agreement, including any amendments and extensions approved as to form by the County Attorney.

**ATTACHMENTS:**

1. Work Authorization No. WA-7 under Flagler County Contract RSQ 18-026Q for Hoyle, Tanner & Associates, Inc.



April 19, 2021  
Regular Meeting

**ITEM 7H – AFFORDABLE HOUSING ADVISORY COMMITTEE REAPPOINTMENT**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM #7h**

**SUBJECT:** Affordable Housing Advisory Committee Reappointment.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** The Commission has received a request for reappointment from Ms. Denise Santa Maria. Ms. Santa Maria is a Flagler County resident and registered voter.

**Function:** To make recommendations to the BOCC regarding specific initiatives to encourage or facilitate affordable housing in Flagler County. Now acting as the local affordable housing advisory committee pursuant to Section 420.9076, Florida Statutes, Section 16-77 of the Flagler County Code and the State Housing Initiatives Partnership (SHIP) Procedures Manual.

**Membership:** Must name at least 8 but not more than 11 committee members and specify their terms. The committee must consist of one representative from at least 6 of the categories as outlined in Florida Statutes 420.9076.

**Appointment Terms:** 3-year staggered terms

**Meeting Date/Time:** Meets Quarterly @ 8:30 a.m.

**Meeting Location:** Government Services Building  
1769 E Moody Blvd, Bldg 2, Board Chambers, Bunnell, FL 32110

**Staff Liaison:** Devrie Paradowski, Housing Program Coordinator

**Appointment - ExpirationMembers**

Vacant	(a) Residential Home Building Industry
04/20/2013 – 04/20/2021	(b) <b>Denise Santa Maria</b> , Banking or Mortgage Industry
Vacant	(c) Labor-Home Building Industry
10/02/2017 – 10/02/2021	(d) <b>Sandra Shank (Chair)</b> , Advocate for Low Income Persons
06/03/2013 – 06/03/2021	(e) <b>Rick Belhumeur</b> , For-Profit Provider of Affordable Housing
02/03/2020 – 02/03/2024	(f) <b>Trish Giaccone</b> , Not-for-Profit Provider of Affordable Housing
Vacant	(g) Real Estate Professional
12/02/2020 – 12/02/2021	(h) <b>Councilman Ed Danko</b> , Municipality Appointed Elected Official
12/07/2020 – 12/07/2021	(h) <b>Commissioner Joe Mullins</b> , County Appointed Elected Official
02/18/2019 – 02/18/2023	(i) <b>Diana Seydlorsky</b> , Resident of Local Jurisdiction
07/07/2018 – 07/07/2022	(j) <b>Dorothy Sperber (Vice Chair)</b> , Citizen Representing Employers
02/03/2020 – 02/03/2024	(k) <b>Nealon Joseph</b> , Citizen Representing Essential Svcs Personnel

Vacancies are advertised on the County's website [www.FlaglerCounty.org](http://www.FlaglerCounty.org). If additional applications are received, they will be presented to the Board prior to the meeting.

**DEPARTMENT CONTACT:** Devrie Paradowski, Housing Program Coordinator (386) 386-2324  
Luci Dance, Executive Administrative Assistant (386) 313-4093

**RECOMMENDATION:** Request the Board approve the reappointment of Ms. Denise Santa Maria to the Affordable Housing Advisory Committee for a three-year term.

**ATTACHMENTS:**

1. Reappointment Request – Ms. Denise Santa Maria

**ITEM 7I – RATIFICATION OF THE LAND ACQUISITION COMMITTEE PROPERTY RANKING**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7i**

**SUBJECT:** Ratification of the Land Acquisition Committee Property Ranking

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** The Board is being asked to ratify the ranking list of properties under consideration for acquisition by the LAC. The Land Acquisition Committee (LAC) is an advisory board to the Flagler County Board of County Commissioners (BOCC) on issues involving the acquisition and management of environmentally sensitive lands. Ratification of this list does not authorize staff to acquire these properties. Staff will initiate discussions with the top ranked property/properties and return to the LAC for consideration of the potential acquisition while considering the price of the property. After that action the property would be formally presented to the Board for consideration for acquisition along with a recommendation for or against from the LAC.

In March 2021, the Land Acquisition Committee (LAC) met to update and rank a list of lands that are viewed by the LAC as important to the conservation of natural and/or recreation lands in Flagler County. The committee only ranks those properties whose owners have notified that they are a willing seller to the program. This list was compiled based solely on the environmental attributes of the properties, cost will be a consideration of the LAC and Board later in the process.

According to Chapter Four of the Environmentally Sensitive Lands Manual, the guiding document for the program and the advisory committee, the LAC's role is to determine if proposed acquisitions meet the Environmentally Sensitive Lands program objectives as they are laid out in the manual. Each individual LAC member ranks the properties in a public meeting and their collective score is applied to each of the properties to determine a collective rank. Staff's role is to pursue acquisition of the properties based on the priority ranking after gaining the BOCC's approval of the list and consent to do so.

The following properties are listed in order of priority from highest to lowest based on the collective scoring of the LAC in March 2021.

- |                                  |                              |
|----------------------------------|------------------------------|
| 1. Pringle Forest ( North)       | 7. Pringle Forest (South)    |
| 2. Hansford Property             | 8. Townsend ( Prairie Tract) |
| 3. Townsend (Lake Disston Tract) | 9. Melvin Tract              |
| 4. Spalding Property             | 10. Craven Tract             |
| 5. Townsend (Dead Lake Tract)    | 11. Kern Tract               |
| 6. Townsend (Haw Creek Tract)    |                              |

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Michael D. Lagassé, Environmental Project Supervisor 313-4064  
Tim Telfer, Resiliency & Resource Stewardship Mgr 313-4066

**RECOMMENDATION:** Request the Board approve the prioritized list and direct staff to begin negotiation with land owners based on priority ranking, any available funding partners and available resources.

**ATTACHMENTS:**

1. County Map of Ranked Properties (link to [2021 LAC Property Ranking Documents](#))

**ITEM 7K – CONSIDERATION OF UPDATES TO FLAGLER COUNTY’S PERSONNEL POLICIES AND PROCEDURES MANUAL SECTION 1.02 PURPOSE AND 1.05 ADMINISTRATION AND AMENDMENT**

The following request was approved as part of the Consent Agenda:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7k**

**SUBJECT:** Consideration of Updates to Flagler County's Personnel Policies and Procedures Manual Section 1.02 Purpose and 1.05 Administration and Amendment.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** Staff is seeking approval to update its Personnel Policies and Procedures to allow for consistency with Florida Statute 125.74 and County Ordinance 2-286.

Florida Statute, Section 125.74 states in part "County administrator; powers and duties:

(a) The administrator may be responsible for the administration of all departments responsible to the board of county commissioners and for the proper administration of all affairs under the jurisdiction of the board. To that end, the administrator may, by way of enumeration and not by way of limitation, have the following specific powers and duties to:

(i) Develop, install, and maintain centralized budgeting, personnel, legal, and purchasing procedures.

(j) Organize the work of county departments, subject to an administrative code developed by the administrator and adopted by the board, and review the departments, administration, and operation of the county and make recommendations pertaining thereto for reorganization by the board.

(k) Select, employ, and supervise all personnel and fill all vacancies, positions, or employment under the jurisdiction of the board. However, the employment of all department heads shall require confirmation by the board of county commissioners.

(l) Suspend, discharge, or remove any employee under the jurisdiction of the board pursuant to procedures adopted by the board. Fla. Stat. § 125.74

County Ordinance Section 2-286, Functions and duties, states in part "(a) The administrator shall be responsible for the administration of all nonlegal departments that are responsible to the board and for the proper administration of all nonlegal affairs under the jurisdiction of the board. As used in this division, the term "nonlegal" shall refer to county personnel or functions that are not part of the county attorney's office. To that end, the administrator shall, by way of enumeration and not by way of limitation, have the following specific powers and duties pertaining thereto:

(06) Develop, install, and maintain centralized budgeting, personnel, and purchasing procedures.

(11) Select, employ, and supervise all nonlegal personnel and fill all nonlegal vacancies, positions, or employment under the jurisdiction of the board; however, the employment of all department heads shall require confirmation by the board.

(12) Suspend, discharge, remove, or transfer any nonlegal employee within those offices under the jurisdiction of the board pursuant to procedures adopted by the board or any collective bargaining agreement.

(Item 7k – continued)

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7k**

**Requested Revisions to Flagler County Personnel Policies (strikethrough / underline):**

**Section 1: General Provisions**

**1.02 Purpose Item 4:** The County Administrator reserves the right to amend these Policies and Procedures ~~at duly noticed public meetings.~~

**1.05 Administration and Amendment Item 3:** The County Administrator shall:

- a. Be responsible for the preparation and updating the Personnel Policies and Procedures ~~and proposed amendments shall be subject to the approval of the Board of County Commissioners.~~
- j. Establish procedures for the suspension, removal, or termination of employees, ~~which procedures must be approved by the Board of County Commissioners.~~
- k. Amend any procedural or administrative guidelines when such an amendment is necessary to promote the efficiency of County government and remove ambiguities in interpretations. Such amendments shall be compiled in writing and made available to any interested employee or person. ~~All such amendments pertaining to termination, suspension, or removal of employees must be approved by the Board of County Commissioners.~~

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Pamela Wu, Human Resources Director (386) 313-4033

**RECOMMENDATION:** Request the Board approve the Amended Personnel Policies and Procedure Section 1.03 and 1.05.

**ATTACHMENTS:** None

UNOFFICIAL

April 19, 2021  
Regular Meeting

The following item was removed from the Consent Agenda for discussion and action:

**ITEM 7J – ALLOCATION OF FUNDING FOR PREVIOUSLY APPROVED FY2020 FLORIDA INLAND NAVIGATION DISTRICT (FIND) WATERWAYS ASSISTANCE PROGRAM FOR IMPROVEMENTS TO THE BING’S LANDING SEAWALL WITH A TOTAL PROJECT COST OF \$79,000**

The following was requested by Heidi Petito, General Services Director:

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7j**

**SUBJECT:** Allocation of Funding for Previously Approved FY2020 Florida Inland Navigation District (FIND) Waterways Assistance Program for Improvements to the Bing’s Landing Seawall with a Total Project Cost of \$79,000.

**DATE OF MEETING:** April 19, 2021

**OVERVIEW/SUMMARY:** Staff is seeking allocation of funding for the FY2020 FIND Waterways Assistance Program for improvements at Bing’s Landing. The Board approved a resolution to accept the grant in a Board meeting on June 1, 2020. The grant partially funded a project intended to improve the Bing’s Landing seawall and to re-build a pedestrian walkway bridge and to add a small sidewalk to enhance ADA accessibility on the site. At the time of the approval, the estimated project costs included a local match of \$100,000.00 and the County’s Vessel Registration Fund was identified as a funding source. Due to a slightly changed project approach including the use and retrofit of an unused pedestrian bridge in the County’s inventory, the total project cost is now \$79,000.00 with BOCC costs totaling \$41,000.00 and FIND grant matching costs at \$38,000.00. The table provided in Attachment A itemizes the updated costs.

During implementation planning, staff discovered that Vessel Registration funding is not an appropriate funding source for the sidewalk and pedestrian bridge portion of the project according to state statute. As such, a request to allocate funding from General Fund Reserves is being presented here to complete the project elements as planned.

Please note that if the Board elects not to fund the sidewalk and pedestrian bridge, the seawall refurbishment can still proceed under the original scope of the grant with funds provided from the Vessel Registration Fund.

**FUNDING INFORMATION:** If approved, staff is proposing to provide the \$29,000.00 match from Vessel Registration Funds. The Vessel Registration funds are derived from vessel registration fees in accordance with Florida Statute Section 328.72(18). Vessel registration funds are allocated to Boards of County Commissioners by tax collectors for activities that maintain and enhance the use of watercraft including construction and maintenance of facilities such as boat ramps, docks, piers, and the like. In addition, staff is proposing to provide \$12,000 match from General Fund Reserves for the completion of the ADA sidewalk and pedestrian bridge. The grant funding will be appropriated with the approval of the attached Unanticipated Revenue Resolution and matching funds will be appropriated with the approval of budget transfer 21-125.

**DEPARTMENT CONTACTS:** General Services, Heidi Petito (386) 313-4185  
Land Management, Michael Lagasse (386) 313-4064

**RECOMMENDATIONS:** Request the Board approve the Unanticipated Revenue Resolution and Budget Transfer 21-125.

**ATTACHMENTS:**

1. Revised Itemized Costs for the Bing’s Landing Seawall
2. Flagler County Resolution No. 2020-25
3. Unanticipated Revenue Resolution
4. Budget Transfer 21-125

**(Item 7j – continued)**

County Administrator Cameron stated a bulkhead at Bings Landing needed work and staff was successful in obtaining a grant. Explained since the grant was not part of the budgeting process this item would simply allow the County to receive the funding.

Chair O'Brien requested public comments.

Jane Gentile Youd stated she first thought the improvements were being done to help the restaurant allow big boats to come in and people would drink, get drunk and sue the County. Continued to voice her displeasure with Captains BBQ being allowed to do business in the park.

There was no further public comment.

**A motion was made by Commissioner Hansen to approve Item 7j as presented. Seconded by Commissioner Mullins**

**Chair O'Brien called the question. Motion carried unanimously.**

UNOFFICIAL

April 19, 2021  
Regular Meeting

**GENERAL BUSINESS**

**ITEM 8A – US CONSTITUTION RESOLUTION DISCUSSION**

Item 8a was heard earlier in the meeting.

**ITEM 8B – APPROVAL FOR THE CHAIR TO SIGN A LETTER OF SUPPORT FOR SMA HEALTHCARE TO OBTAIN FUNDS TO BE USED FOR A MEDICATION ASSISTED TREATMENT PROGRAM IN FLAGLER COUNTY**

Chair O'Brien stated he asked to add this item after he attended the Public Safety Coordinating Council meeting where the item was discussed and the council voted to support SMA Healthcare's application.

Commissioner Sullivan noted there was legislation at the State level for mental health and asked if it was the same or different.

Chair O'Brien responded it was different, noting that legislation had more to do with addiction and would be part of the SMA operation.

Alicia Vincent, Vice President of Services for SMA at the Vince Carter Sanctuary, explained they were asking for a letter of commitment to go along with the grant application. Advised the grant was for a new medication assisted treatment program.

Commissioner Hansen stated he was in support and it was good to put dollars into programs that were working and already here.

Commissioner Dance asked if there was a funding commitment.

Chair O'Brien referred to the letter for what was expected of the BCC. Questioned the wording "having Narcan placed in all county first aid kits".

County Administrator Cameron stated Emergency Medical Services was a given, but would have the County Attorney weigh in on the issue before he could make a recommendation and if it could be done without creating a liability for the County he would be in favor.

Chair O'Brien noted they did not have to include the items and he would suggest striking that one from the draft letter at this time. Commented on having someone from Fire Rescue on the Public Safety Coordinating Council.

County Administrator Cameron felt that was a good idea.



**(Item 8b – continued)**

**A motion was made by Commissioner Hansen to approve Chair O’Brien signing a letter of support for SMA Healthcare with removal of the Narcan issue. Seconded by Commissioner Mullins.**

Chair O’Brien requested public comment. There was none.

**Chair O’Brien called the question. Motion carried unanimously.**

**PUBLIC HEARINGS**

**ITEM 9** – None

**ITEM 10A – COUNTY ADMINISTRATOR REPORT/COMMENTS**

**Library/Community Center**

County Administrator Cameron noted when came to Flagler County there was a commitment by the BCC to construct a new library which had been delayed a couple of times. Stated the County had now received a proposal from the architect which was being reviewed and he would continue to move forward unless the BCC had any objections.

**Human Resources Director**

Congratulated Pam Wu, Human Resources Director, on her completion of a course with the National Association of Counties on high performance leadership.

**ITEM 10B – COUNTY ATTORNEY REPORT/COMMENTS**

County Attorney Hadeed reported the following:

**Kimberle Weeks Case**

Stated Ms. Week submitted a substantial amount of material to the court, three separate pleadings, with the judge ruling against her and assessing outstanding judgments. Noted she has since filed an extensive public records request that Flagler County government was attempting to respond to despite the entry of the judgments.

**Dennis McDonald Case**

Advised Mr. McDonald’s case was coming up at the end of this month and due to noncompliance of financial disclosures the Attorney General asked the court to subpoena two of his bank accounts.

**Captain’s BBQ**

Stated the case was moving forward with hearings and depositions. Commented on the individual that fell at Captain’s, noting the County insisted on indemnifications and had sued as part of the claims.

**(Item 10b – continued)**

**Noise Ordinance for the West Side**

Stated he was disinclined to enact and present to the BCC a community-wide noise ordinance, because they were difficult to enforce and taxing on law enforcement. Advised he was in contact with the Sheriff's Office on handling the situation the resident had been dealing with.

**Phase Two Municipals Separate Storm Sewer System for Regulation Under the National Pollutant Discharge Elimination System Stormwater Program**

Advised the Environmental Protection Agency's concerns were the quality of stormwater entering state waters and the County was not apprised it was under consideration so would be asking for an extension of time in order to address the designation with Florida Department of Environmental Protection, which was the delegated agency to administer the program..

County Administrator Cameron explained it was part of EPA's efforts to have Florida be an example of the Clean Water Act. Stated upon a complaint by the Riverkeeper Flagler County was reclassified to urban, which staff felt was erroneous because the density of the population in the unincorporated portions could not meet the standard. Stated his concern was if the County became subject, it would encourage the alternative of having a stormwater taxing district.

Commissioner Sullivan asked if it was just for unincorporated Flagler County or would the cities be involved.

County Administrator Cameron replied Palm Coast had its own designation but was not sure of the others.

Commissioner Dance stated based on the explanation it sounded more suited to an appeal than an extension.

County Attorney Hadeed clarified it was not an either/or, staff just wanted to extend the time before the County was compelled to file a formal petition and be heard by the Division of Administrative Hearings.

**Opioids**

Reported the County would participate in a conference call to help figure out how to distribute monies that were coming from various class action suits nationwide brought against the pharmaceutical companies, manufacturers, distributors, and marketers of opioid medication. He explained in detail.

Pointed out the State of Florida would like as many counties and cities to agree with it to maximize the amount of dollars it would receive. Stated the money would be available for all the different treatment programs, counseling and training associated with remedying opioid abuse, including other substance abuse problems and mental health.

**(Item 10b – continued)**

Explained Flagler County's percentage of money was 0.4% of the amount allocated among the counties and could expect between \$40,000 and \$76,000. Stated that money would go to the primary provider the State contracted with and in Flagler County that was SMA Healthcare for substance abuse services. Noted this money would go to all local governments and the Attorney General was attempting to get as many cities and counties to sign off on memorandum of understanding.

**ITEM 10C – COMMUNITY OUTREACH**

None

**ITEM 10D – COMMISSIONER REPORTS/COMMENTS**

Commissioner Dance acknowledged the passing of Paul Harrington of Flagler Beach.

Commissioner Hansen congratulated the Tax Collector on her new branch location.

Commissioner Mullins commented on the emails he received on affirming the constitution by resolution *on file in the Clerk's Office*).

Commissioner Sullivan wondered if it was time for staff to organize a service in remembrance of those who died from COVID-19 in Flagler County.

Chair O'Brien asked if staff looked into the speed limit on Water Oak Road. Also spoke about a letter Sheriff Staly sent to the BCC pointing out two deficiencies in the County's sexual predator ordinance.

County Administrator Cameron stated the County Engineer would be looking at the speed limit and then bring him a recommendation.

Regarding the ordinance, he would recommend supporting the Sheriff, noting it would have to be vetted by the County Attorney first.

**There was BCC consensus to have the County Attorney and County Administrator move forward with revising the ordinance and bring it to the BCC.**

**ADJOURNMENT**

**The meeting adjourned by consensus at 7:08 p.m.**

April 19, 2021  
Regular Meeting

APPROVED AND ADOPTED \_\_\_\_\_

ATTEST:

FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS

\_\_\_\_\_  
Tom Bexley  
Clerk of the Circuit Court & Comptroller

\_\_\_\_\_  
Donald T. O'Brien Jr.  
Chair

UNOFFICIAL

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS****APRIL 26, 2021****WORKSHOP**

Present: Chair Donald O'Brien, Vice Chair Joe Mullins, Commissioners Andy Dance, Greg Hansen and David Sullivan, County Administrator Jerry Cameron, County Attorney Al Hadeed (arrived at 1:06 p.m.) and Deputy Clerk Deb Jenkins

**ITEM 1 – CALL TO ORDER**

Chair O'Brien called the meeting to order at 1:00 p.m. in the Board Chambers of the Government Services Building in Bunnell, Florida.

**ITEM 2 – PLEDGE TO THE FLAG AND MOMENT OF SILENCE**

Chair O'Brien led the Pledge to the Flag and requested a moment of silence.

**ITEM 3 – WELCOME - FLAGLER COUNTY BOARD CHAIR**

Chair O'Brien welcomed everyone.

**ITEM 4 – FIRE RESCUE STRATEGIC PLAN DISCUSSION**

Joe King, Flagler County Fire Rescue Chief, gave the presentation (*on file in the Clerk's Office*), stating he worked on this plan with County Administration, City of Palm Coast, and City of Flagler Beach. Advised Stations 92, 71 and 51 were in critical need of replacement and were originally built for volunteer services, not as career stations. Noted in November 2018, the BCC approved Schenkel Shultz to complete designs for Stations 92 and 71 but it was never completed. Explained the County was in ongoing discussions with the City of Palm Coast on how to improve countywide EMS coverage while reducing overlapping of station coverage, with the focus on increased coverage in the areas of South US1/Old Dixie Highway and the SR11/ CR 304/305. Announced Volusia County was expected to move out of the Rima Ridge area in the next two years and he was in discussions with the Ormond Beach Chief and Volusia County Chief to come up with an interlocal or building a station in that area if there were major increases in growth.

Commission Hansen asked if all the fire stations were manned all the time.

Chief King replied Station 31 in Korona and Station 81 in Rima Ridge were volunteer stations; the other six stations were manned and there were four that housed Fire Rescue in Palm Coast. Stated for Station 81 there was an interlocal agreement with Volusia County to cover that area

Commissioner Sullivan asked if these would be new builds since the old buildings were deemed unusable.

Chief King replied yes, but a portion of the old could be used for storing wildland apparatus, brush trucks, etc.

**(Item 4 – continued)**

Chair O'Brien asked if Palm Coast was building a new station and would it accommodate EMS.

Chief King replied yes, south of Seminole Woods that would take pressure off the station at the airport. Commented all future stations would be built to house an ambulance.

Commissioner Sullivan asked what would happen to the current station at the airport.

Chief King replied it might be removed.

Chair O'Brien asked could some of the airport enterprise funds be designated towards fire services on the premises to have fire protection at that facility.

County Administrator Cameron replied presently there were not enough enterprise funds to meet the needs of the airport, so that would have to be underwritten from general funds. Commented having fire stations within a mile of each other was not best for citizens as far as tax payments were concerned.

Chief King stated the goal right now was to get Station 71 built and then solidify the second location after meetings with Palm Coast and County staff.

Chief King advised the County received the SAFER grant in September 2020 to help hire 15 new firefighters. Added it reduced costs for these positions over the next few years at 100% funded with the County picking up half of it starting in March 2024. Reported staffing greatly increased the ability to cover most areas in the County. Reviewed future positions proposed over the next five years.

Commissioner Hansen commented not all the fire stations had a flashing light; and asked if that was necessary at all stations. Favored having one at Station 41 as there was a lot of overgrowth on that corner.

Chief King replied that depended on traffic. Stated staff could clear the overgrowth.

Chair O'Brien stated public safety was most important, but the details needed to be left to the professionals. Felt two overriding things were coordination with other services and how to pay for the costs.

**ITEM 5 – FINANCIAL OVERVIEW AND STRATEGIC PLAN DISCUSSION**

John Brower, Financial Services Director, gave the presentation (*on file in the Clerk's Office*). Stated the County had made great strides toward building up reserves and improved procedures and paid off debt. Reviewed the ad valorem and non-ad valorem debt and the projected revenues over five years. Reviewed General Fund expenditures.

Commissioner Hansen asked what percentage of the 49.45% for the BCC General Fund expenditures was for Fire Rescue.

Mr. Brower replied about \$11 or \$12 million or approximately 20%.

Reported revenues outpaced expenditures at this time, but the gap was decreasing over time. Stated, if revenue growth matched expenditure growth, then anything added due to demands of a rapidly increasing population would erode that gap quicker. Stated property values would increase but general revenue would likely be overtaken in the mid to long term.

Chair O'Brien clarified the projection reflected status quo and did not include some of the things the Fire Chief discussed.

Mr. Brower agreed, stating it only reflected what the County had committed to at this point.

Commissioner Hansen asked if revenue assumptions included increased property values.

Mr. Brower replied no because he did not want to skew numbers and make assumptions. Stated the County could not meet the needs of the incoming population by keeping things the same and needed to search other ways of doing business.

Commissioner Hansen favored the conservative approach.

Heidi Petito, Chief of Staff, reviewed the breakdown of projected new debt and expenditures, and potential new revenues sources (*on file in the Clerk's Office*).

Stated the District 3 Administration and Operations Complex for the Sheriff's Office was on schedule with the \$20 million budget funded through loan proceeds and partially offset by some CARES Act reimbursements at approximately \$3.4 million. Stated the District 2 Substation Office was funded by the ½ Cent Sales Tax and the General Fund at a cost of approximately \$1.2 million. Spoke on the Sheriff's projected staffing needs and other future needs to include a training facility, gun range, driving course and outbuilding, repairs and renovations for current substations and construction of new substations.

Commissioner Hansen asked was the funding from Palm Coast included in this.

Ms. Petito replied funding went directly to the Sheriff's Office.

**(Item 5 – continued)**

County Administrator Cameron replied the Sheriff anticipated an immediate need of 15 positions for the County and ten for Palm Coast.

Ms. Petito noted the projected additional 15 positions per year over five years estimated to be approximately \$8,250,000 based on 2020 costs.

Briefly reiterated the Fire Rescue projections.

Reported future Library future needs included the anticipated new building that would bring in four positions in year one ahead of the facility being built and in year two bring on additional staff for the new facility. Stated anticipated costs carried into year two with the construction of new facility and equipment was roughly \$9 million. Stated in year four roof replacement for the Palm Coast branch was estimated at \$300,000.

Commissioner Sullivan asked the square footage of the new building compared to the Palm Coast branch.

Ms. Petito replied the new build was approximately 26,000 and the current library was 30,000.

Explained Flagler County never rebuilt the Administration staff levels to where they were prior to the layoffs from the downturn in 2006/2007 and with anticipated growth there would be a need for increased staffing. Noted challenges with staffing needs and reviewed impacts from the minimum wage increase over five years.

Commissioner Sullivan inquired if there was a plan for transportation over the next five years.

Ms. Petito replied there was not.

Stated \$2.4 million was requested in the current fiscal year for the Capital Improvement Plan to just maintain what the County currently had, which was about \$1.8 million away from where it should have been funded. Commented the County could allocate \$5 to \$10 million over the next five years and still have some things not funded. Stated Rolling Stock was a similar trend and competed for General Fund dollars and recommended creating a replacement fund. Stated in considering everything conservatively, it would be \$9 million next year.

Commissioner Hansen asked if initializing the Rolling Stock plan was in addition to this number.

Ms. Petito replied yes. Summarized what the County was doing now was not sustainable and needed to look at alternative ways to diversify funding to not rely on the General Fund.

Stated the current projection for beach erosion and flooding was upwards of \$200 million and a management plan would be forthcoming. Explained a majority was funded through other sources; however, the County needed to be able to cash flow because it was reimbursement based.



April 26, 2021  
Workshop

**(Item 5 – continued)**

Commissioner Sullivan asked when the beach management study would come before the BCC.

Ms. Petito replied within the next month or two.

Mr. Brower commented reducing personnel, operating costs, and capital improvements all have negative impacts over time. Explained the possible options for increasing revenues: law enforcement municipal services taxing unit, library taxing district, ½ cent small county discretionary sales tax, property value growth, and increased millage. Noted a law enforcement municipal services taxing unit was not supported by the Sheriff.

There was discussion the different taxing possibilities.

Chair O'Brien commented it would be helpful for the BCC to see projections on some of the alternative funding discussed.

Commissioner Dance stated would like to see some background on other taxing units from in Florida, such as the challenges and obstacles that were faced.

Commissioner Hansen asked if the BCC would be able to act on impact fees in time for this year's budget.

County Administrator Cameron replied it would take four months before implementation and it could be anticipated implementing those probably in October.

Commissioner Mullins spoke favorably on the presentations made.

Commissioner Sullivan commented it was very informative to get this strategic plan briefing to see the challenges the County faced.

Chair O'Brien commented he appreciated the forward thinking because there were not normal times and building a strong reserve balance and a philosophy of maintaining that going forward was critical.

**ITEM 6 – PUBLIC COMMENT**

None

**ADJOURNMENT**

**The meeting adjourned by consensus at 3:36 p.m.**

April 26, 2021  
Workshop

APPROVED AND ADOPTED \_\_\_\_\_

ATTEST:

FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS

\_\_\_\_\_  
Tom Bexley  
Clerk of the Circuit Court & Comptroller

\_\_\_\_\_  
Donald T. O'Brien, Jr.  
Chair

UNOFFICIAL

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 6c**

**SUBJECT:** Approval to Remove Items from County Fixed Asset Module.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** Flagler County, Clerk of the Circuit Court & Comptroller as the Chief Financial Officer for the County, is requesting approval to remove items from the County's fixed asset module for transparency to the public. Rule Chapter 69I-73 from the Department of Financial Services of Florida Department of State, changed the threshold for recording any capitalized individual item for local governments, from \$1,000 to \$5,000 effective October 1, 2020. Based on this new threshold, the Clerk's Office reviewed all capitalized equipment, furniture, library materials and vehicles in the County's fixed asset module with an original purchase cost of less than \$5,000, finding 4,685 items, totaling \$10,079,614.84.

**FUNDING INFORMATION:** None

**DEPARTMENT CONTACT:** Flagler County Clerk of the Circuit Court & Comptroller  
Juan Godoy (386) 313-4400

**RECOMMENDATION:** Request Board approval to remove the items with an original purchase cost of less than \$5,000 from the Fixed Asset Module.

**ATTACHMENTS:**

1. Rule Chapter 69I-73
2. List of Assets with an original purchase cost of less than \$5,000

**CHAPTER 69I-73**  
**TANGIBLE PERSONAL PROPERTY OWNED BY LOCAL GOVERNMENTS**

69I-73.001	Definitions
69I-73.002	Threshold for Recording Property
69I-73.003	Recording of Property
69I-73.004	Marking of Property Records
69I-73.005	Disposition of Property
69I-73.006	Inventory of Property

**69I-73.001 Definitions.**

The following terms, as used in Rule Chapter 69I-73, F.A.C., are defined as set forth below:

(1) “Attractive Items” means tangible personal property used in operations that has a cost less than an established capitalization threshold and that requires special attention to ensure legal compliance, protect public safety, and avoid potential liability, or to compensate for a heightened risk of theft.

(2) “Control Accounts” means summary accounts designed to control accountability for individual property records. Unlike individual property records that establish accountability for particular items of property, control accounts accumulate the total cost or value of the custodian’s property and, through entries to the control accounts documenting acquisitions, transfers and dispositions, provide evidence of the change in that total cost or value over periods of time as well as the total cost or value at any time.

(3) “Cost” means the amount paid to acquire or procure property (i.e., invoice price plus freight and installation charges less discounts). In determining cost, the value of property exchanged by the custodian in satisfaction of a portion of the purchase price of new property shall not be deducted from the full purchase price regardless of any property “traded in” on the new property.

(4) “Custodian” has the meaning set forth in section 274.01(2), F.S.

(5) “Custodian’s Delegate” means a person acting under the supervision of the custodian to whom the custody of property has been delegated by the custodian and, from whom the custodian receives custody receipts.

(6) “Financial System” means the fund accounting process used by the local government for recording cash and other financial resources, expenditures and other financial uses, together with all related liabilities and residual equities or balances.

(7) “Governmental Unit” has the meaning set forth in section 274.01(1), F.S.

(8) “Identification Number” means a unique number assigned and affixed to each item of property to identify it as property held by the custodian and to differentiate one item of property from another.

(9) “Property” has the meaning set forth in section 274.02(1), F.S. Data processing software, as defined in section 119.011(6), F.S., is not considered to be property within the meaning of this rule chapter.

(10) “Unaccounted for Property” means property held by a custodian, subject to the accountability provisions of section 274.03, F.S., that cannot be physically located by the custodian or custodian’s delegate, and has not been otherwise lawfully disposed of.

(11) “Value” means the worth or acquisition value at the date of acquisition for donated property.

*Rulemaking Authority 274.02 FS. Law Implemented 274.02 FS. History—New 3-25-08, Amended 10-1-20.*

**69I-73.002 Threshold for Recording Property.**

All property with a value or cost of \$5,000 or more and a projected useful life of 1 year or more shall be recorded in the local government’s financial system as property for inventory purposes. For the purpose of this rule chapter, “cost” is used if the property is purchased and represents the purchase price of the property item; “value” is used if the property is donated and represents the worth or acquisition value of the property item at the date of donation. Attractive items with a value or cost less than \$5,000 shall be recorded in the local government’s financial system as property for inventory purposes.

*Rulemaking Authority 274.02 FS. Law Implemented 274.02 FS. History—New 3-25-08, Amended 10-1-20.*

**69I-73.003 Recording of Property.**

(1) Maintenance of Property Records – Governmental units shall maintain records of property in their custody that shall contain at a minimum, the information required by this rule.

(2) Individual Records Required for Each Property Item – Each item of property shall be accounted for in a separate property record. Related individual items which constitute a single functional system may be designated as a property group. A property group may be accounted for in one record if the component items are separately identified within the record. Examples of property items that may be accounted for as a property group item include modular furniture, computer components, book sets, and similar association of items. All property group items, the total value or cost of which is equal to or greater than \$5,000 shall be inventoried under this rule.

(3) Content of Individual Property Records – Each property record shall include the following information unless the information listed below does not exist for the property in the record:

- (a) Identification number.
- (b) Description of item or items.
- (c) Physical location (the city, county, address or building name, and room number therein).
- (d) Name of custodian with assigned responsibility for the item.
- (e) In the case of a property group, the number and description of the component items comprising the group.
- (f) Name, make, or manufacturer.
- (g) Year and model(s).
- (h) Manufacturer's serial number(s).
- (i) If an automobile, the vehicle identification number (VIN) and title certificate number.
- (j) Date acquired.
- (k) Cost or value at the date of acquisition for the item or the identified component parts thereof. When the historical cost of the purchased property is not practicably determinable, the estimated historical cost of the item shall be determined and recorded. Estimated historical costs shall be identified in the record and the basis of determination established in the governmental unit's public records. The basis of valuation for property items constructed by personnel of the governmental unit shall be the costs of material, direct labor, and overhead identifiable to the project. Donated items, including federal surplus tangible personal property, shall be valued at acquisition value at the date of acquisition. Regardless of acquisition method, the cost or value of a property item shall include ancillary charges. Ancillary charges are costs that are directly attributable to placing the asset into its intended location and condition for use, such as freight and transportation charges, installation costs and professional fees.
- (l) Method of acquisition and, for purchased items, the voucher and check or warrant number.
- (m) Date the item was last physically inventoried and the condition of the item at that date.
- (n) If disposed of, the information prescribed in rule 69I-73.005, F.A.C.

(4) Control Accounts – A governmental unit-wide control account showing the total cost or value of the custodian's property shall be maintained. A governmental unit may keep additional control accounts for property for different funds or sub-funds. Control accounts shall not be established by periodically summarizing the costs or values recorded on the individual property records. Entries to control accounts shall be derived from documents evidencing transactions affecting the acquisition, transfer or disposition of property items and shall be posted contemporaneously with entries to the individual property records.

(5) Depreciation shall be recorded to meet local governments' financial reporting requirements relating to depreciation accounting. However, depreciation shall not be recorded on the individual property records or in control accounts in such a manner as to reduce the recorded acquisition cost or value (i.e., depreciation shall be recorded as an item separate from the acquisition cost).

*Rulemaking Authority 274.02 FS. Law Implemented 274.02 FS. History--New 3-25-08, Amended 10-1-20.*

#### **69I-73.004 Marking of Property Records.**

(1) Marking of Property – Each property item shall be permanently marked with the identification number assigned to that item to establish its identity and ownership by the governmental unit holding title to the item. The marking shall visually display the property identification number of the item and may include an electronic scanning code (“barcode”) to facilitate electronic inventory procedures.

(2) Exemptions for Marking Property – Any item of property whose value or utility would be significantly impaired by the attachment or inscription of the property identification number, is exempt from the requirement for physical marking. However, the custodian's property records shall contain sufficient descriptive data to permit positive identification of such items.

(3) Location of Marking – Items of a similar nature shall be marked in a similar manner to facilitate identification. In determining a marking location, careful consideration shall be given to the intended use of the items; the probability that the marking

could be obliterated by wear, vandalism or routine maintenance functions; and, the appropriateness of the marking method chosen. Additionally, the location of the marking and the marking method chosen shall not mar the appearance of the item. When utilizing an electronic scanning format system, electronic codes shall be placed on property in the same manner as other markings specified in this section.

*Rulemaking Authority 274.02 FS. Law Implemented 274.02 FS. History--New 3-25-08.*

#### **69I-73.005 Disposition of Property.**

(1) Methods of Disposition – Property within the meaning of these rules may be lawfully disposed of, as provided in sections 274.05, 274.06 and 274.07, F.S. Property of the governmental unit which is not accounted for during regular or special inventories shall be subject to the rules regarding unaccounted for property (See rule 69I-73.006, F.A.C.).

(2) Required Information – The following information shall be recorded on the individual property record for each item lawfully disposed of, pursuant to sections 274.05, 274.06 or 274.07, F.S.:

- (a) Date of disposition.
- (b) Authority for disposition (resolution of the governing body properly recorded in the minutes as required by section 274.07, F.S.).
- (c) Manner of disposition (sold, donated, transferred, cannibalized, scrapped, destroyed, traded).
- (d) Identity of the employee(s) witnessing the disposition, if cannibalized, scrapped or destroyed.
- (e) For items disposed of, a notation identifying any related transactions (such as receipt for sale of the item, insurance recovery, trade-in).
- (f) For property certified as surplus, reference to documentation evidencing that such property was disposed of in the manner prescribed by section 274.05 or 274.06, F.S.

(3) Transfer of Property Records – The individual property record for each item lawfully disposed of as described in this rule shall be, upon disposition of the item, transferred to a disposed property file. Destruction of such records shall be governed by the provisions of chapter 119, F.S.

(4) Control Account – The cost or value of items lawfully disposed of shall be removed from the control account at the time of disposition.

*Rulemaking Authority 274.02 FS. Law Implemented 274.02 FS. History--New 3-25-08.*

#### **69I-73.006 Inventory of Property.**

(1) Physical Inventory Required – Each governmental unit shall ensure a complete physical inventory of all property is taken annually and whenever there is a change of custodian or change of custodian's delegate.

(2) Inventory Forms – The form used to record the physical inventory pursuant to section 274.02(2), F.S., shall be at the discretion of the governmental unit. However, the form shall display at a minimum for each property item, the following information:

- (a) Date of inventory.
  - (b) Identification number.
  - (c) Existence of property item (or not).
  - (d) Physical location (the city, county, address or building name and room number therein).
  - (e) Present physical condition.
  - (f) Name and signature of the employee or other individual attesting to the existence of the item.
  - (g) In the case of a property group, the number and description of the component items comprising the group.
- (3) Electronic scanning format used for the identification number is acceptable only if the recorded data is downloadable to a computer and can then be used to generate reports that will include all information required on the hardcopy inventory form.

(4) Unrecorded Property – Any property item found during the conduct of an inventory which meets the requirements for accounting and control as defined in rule 69I-71.003, F.A.C., and which item is not included on the inventory forms described above, shall have an inventory form created for the item when located. After appropriate investigation to establish the ownership of the item, it shall be added to the governmental unit's property records or, if ownership cannot be reasonably established, the item may be disposed of in the manner provided by law as applicable to surplus property, pursuant to section 274.05 and 274.06, F.S.

(5) Custodian Delegate Shall Not Inventory Certain Items – The custodian delegate shall not personally inventory items for which they are responsible.

(6) Reconciliation of Inventory to Property Records – Upon completion of a physical inventory:

(a) The data listed on the inventory forms shall be compared with the individual property records. Noted differences such as location, condition and custodian shall be investigated and corrected as appropriate or alternatively, the item shall be relocated to its assigned location and custodian in the individual property record.

(b) Items not located during the inventory process shall be promptly reported to the governmental unit which shall cause a thorough investigation to be made. If the investigation determines that the item was stolen, the individual property record shall be so noted, and a report filed with the appropriate law enforcement agency describing the missing item and the circumstances surrounding its disappearance.

(7) Unaccounted for Property – For items identified as unaccounted for and reported to the State’s Chief Financial Officer, recording of the items as dispositions, or otherwise removing of the items from the property records, shall be subjected to approval of the State’s Chief Financial Officer, as provided in section 17.041, F.S., and rule 69I-71.003, F.A.C.

*Rulemaking Authority 274.02 FS. Law Implemented 274.02 FS. History–New 3-25-08.*

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00000021	0000	03/07/2000	GBC LAMINATOR	EQ	986.79
00000026	0000	07/17/2001	8 PIECE WORKSTATION	EQ	1,157.00
00000032	0000	07/22/2002	SANYO PROJECTOR PLC-XU30	EQ	3,207.00
00000038	0000	09/30/1999	IBM TYPEWRITER	EQ	779.00
00000043	0000	09/30/1999	SOUTHERN REPORTER (163 VOL)	EQ	1,222.00
00000044	0000	09/30/1999	FLORIDA STATUTES ANNOTATED (84 VOL)	EQ	1,200.00
00000046	0000	08/28/1999	SHEPARD'S FLORIDA CITATIONS UPDATE	EQ	860.00
00000047	0000	08/28/1999	SHEPARD'S FLORIDA CITATIONS (9 VOL)	EQ	1,135.68
00000056	0000	03/20/2001	APPX SOFTWARE	EQ	3,000.00
00000059	0000	09/01/1985	METAL COUNTER FOR AERIAL MAPS	EQ	1,363.00
00000063	0000	10/02/1985	MICROFISCHE READER	EQ	1,208.00
00000152	0001	06/22/1999	HARDEE TRAILER	EQ	0.00
00000153	0001	06/22/1999	HARDEE TRAILER	EQ	0.00
00000162	0001	03/07/2000	VECTOR LIGHT BAR	EQ	870.00
00000186	0001	04/23/2002	TRAILER (201328) IMP STERLING T31	EQ	0.00
00000198	0000	09/29/1989	DESK	EQ	1,010.34
00000206	0000	09/28/1995	LOCKING LATERAL FILES	EQ	1,144.85
00000207	0000	09/28/1995	LOCKING LATERAL FILES	EQ	1,144.85
00000223	0000	09/30/1975	TRACING TABLE & STOOL	EQ	796.00
00000224	0000	10/11/1999	GATEWAY CP7-600 COMPUTER W/MONITOR	EQ	1,422.50
00000238	0000	10/29/2000	REPRO TECHNOLOGY 5000 BLUEPRINT MACHINE	EQ	4,295.00
00000239	0000	10/29/2000	REPRO TECHNOLOGY CONSOLE	EQ	980.00
00000240	0000	09/30/2001	CANON GP200S COPIER W/FEEDER & SORTER	EQ	2,525.00
00000245	0000	09/26/2002	GBC SHREDMASTER 6020S SHREDDER 16" STRAIGHT CUT	EQ	2,029.30
00000247	0000	09/06/2002	HOWARD DESKTOP COMPUTER W/MITSUBISHI MONITOR	EQ	2,095.00
00000290	0000	04/03/2001	HISTAR VOLUME COUNTER/CLASSIFIER W/COVER	EQ	1,130.00
00000292	0000	06/19/2001	HISTAR VOLUME COUNTER/CLASSIFIER W/COVER	EQ	1,160.00
00000293	0000	06/19/2001	HISTAR VOLUME COUNTER/CLASSIFIER W/COVER	EQ	1,160.00
00000294	0000	06/19/2001	HISTAR VOLUME COUNTER/CLASSIFIER	EQ	995.00
00000295	0000	06/19/2001	HISTAR VOLUM COUNTER	EQ	760.00
00000296	0000	06/19/2001	HISTAR VOLUME COUNTER	EQ	760.00
00000297	0000	06/19/2001	HISTAR VOLUME COUNTER	EQ	760.00
00000298	0000	06/19/2001	HISTAR VOLUME COUNTER	EQ	760.00
00000302	0000	01/23/2002	AUTOCAD CIVIL DESIGN W/MAPPING UPGRADE	EQ	2,963.65
00000304	0000	12/18/1991	TRAFFIC RECORDER	EQ	1,950.00
00000305	0000	09/30/1971	COUNTER TOP ROLLER SHELVES	EQ	1,447.60
00000306	0000	05/12/1977	ROLLER SHELF DESK	EQ	2,389.00
00000307	0000	02/09/1983	MICROFILM CABINET-5 DRAWER	EQ	896.06
00000310	0000	09/30/1985	EXTRA DEPTH ROLLER SHELF	EQ	1,633.90
00000311	0000	07/30/1986	ROLLER SHELVES-8 SHELVES	EQ	899.50
00000312	0000	07/30/1986	ROLLER SHELVES-8 SHELVES	EQ	899.50
00000313	0000	09/30/1987	MICROFILM CABINET	EQ	921.76
00000315	0000	06/12/1995	CANON AUTO CARRIER 100C CASE & ZOOM LENS	EQ	3,587.00
00000344	0000	03/13/2002	UC-2 UNIVERSAL LENS CARRIER FOR MICROFILM READER	EQ	3,166.80



**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00000377	0000	09/20/1985	ROLLER SHELF UNIT	EQ	800.00
00000489	0000	09/30/1999	HEWLETT PACKARD 4050SE LASERJET	EQ	1,149.99
00000492	0000	09/29/2000	HEWLETT PACKARD LASERJET 4050TN	EQ	1,316.00
00000494	0000	04/17/2002	EPS POWERLITE 715C LCD PROJECTOR	EQ	3,428.49
00000529	0000	09/01/1987	UNITEL 121B INTELLIGENCY SYSTEM	EQ	3,476.95
00000540	0000	02/19/1991	KUSTOM SIGNAL-HAWK F RADAR GUN	EQ	2,510.00
00000541	0000	02/19/1991	KUSTOM SIGNAL-HAWK F RADAR GUN	EQ	2,510.00
00000542	0000	02/19/1991	KUSTOM SIGNAL-HAWK F RADAR GUN	EQ	2,510.00
00000543	0000	02/19/1991	KUSTOM SIGNAL-HAWK F RADAR GUN	EQ	2,510.00
00000544	0000	11/07/1995	MIG WELDER W/SPOOL GUN	EQ	2,140.00
00000545	0000	12/18/1990	UNISAN DELTA TILTING ARBER SAW	EQ	2,056.00
00000546	0000	12/18/1990	UNIVERSAL RIDGID PIPE THREADER	EQ	1,447.99
00000554	0000	03/21/1995	12,000 LB ROTARY LIFT	EQ	4,112.67
00000556	0000	11/06/1996	HYPOTHERM PLASMA CUTTER	EQ	1,900.00
00000572	0000	08/20/1991	9000 LB LEAD WRECKING BALL	EQ	3,792.60
00000579	0000	09/09/1992	HONDA GENERATOR W/AIR COOLER	EQ	1,149.95
00000594	0000	04/26/1988	FASCUT REBAR FABRICATOR	EQ	3,157.00
00000598	0000	05/19/1989	ROL AIR 5HP AIR COMPRESSOR	EQ	795.95
00000603	0000	07/18/1989	RYOBI 12" PLANER JOINER	EQ	1,487.00
00000605	0000	08/02/1994	AIR WRENCH (TWO UNITS)	EQ	1,097.97
00000606	0000	04/18/1995	COATS TIRE CHANGER MODEL 4050A	EQ	2,000.00
00000607	0000	07/07/1998	L600 ELECTRONIC LEVEL	EQ	1,332.49
00000620	0000	08/17/1993	#6849 WOOD BUCK ABOUT PLAYGROUNG EQUIPMENT	EQ	990.00
00000626	0000	04/07/1999	22 TON HYDRAULIC FLOOR JACK MODEL 2522	EQ	982.00
00000629	0000	05/04/1999	EXCAVATOR LOADER RAKE (50" WIDTH)	EQ	3,664.00
00000630	0000	05/04/1999	EXCAVATOR LOADER RAKE (72" WIDTH)	EQ	4,600.00
00000631	0000	07/03/1989	POWER DRIVE PIPE THREADER	EQ	1,448.82
00000632	0000	12/19/1995	GROVER GEAR OIL DISPENSER	EQ	786.00
00000642	0000	02/23/2000	AOK ENCLOSED UTILITY TRAILER	EQ	2,235.00
00000643	0000	04/18/2000	TRENCHER	EQ	2,611.00
00000644	0000	08/08/2000	WACKER TRASH PUMP W/8HP HONDA ENGINE	EQ	1,829.78
00000646	0000	08/08/2000	1962 SEMI FLAT LOWBOY TRAILER	EQ	1,850.00
00000650	0000	09/30/2000	AIR COMPRESSOR	EQ	892.00
00000657	0000	03/06/2001	AOK TANDEM AXLE ENCLOSED TRAILER	EQ	3,775.00
00000660	0000	02/20/2001	HONDA PUSH TYPE CONCRETE SAW	EQ	2,344.36
00000661	0000	02/20/2001	JUMPING JACK WACKER PACKER	EQ	2,450.00
00000672	0000	05/22/2001	FORK GRAPPLE	EQ	2,444.72
00000682	0000	04/16/2002	MULTIQUIP GENERATOR GGA-6HZ 6000 WATT	EQ	1,796.40
00000692	0000	09/17/2002	C/P LEVEL, DAVID WHITE TRANSIT, MOD #8871	EQ	900.00
00000700	0000	03/18/1988	LEINBACH LINE DISC HARROW	EQ	750.00
00000707	0000	07/17/1990	PLAYGROUND EQUIPMENT (3 PLACE WOOD SWING)	EQ	783.00
00000718	0000	02/19/1997	AOK TANDEM UTILITY TRAILER 82"X16'	EQ	2,095.00
00000726	0000	05/08/1990	OIL LESS COMPRESS TURBINE INDUSTRIES	EQ	2,525.00
00000727	0000	07/08/1997	MANITOWOC 47.8 CU FT 2 DOOR REFRIGERATOR	EQ	2,138.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00000730	0000	11/21/2000	ANGLE BROOM FOR BOBCAT LOADER 753F	EQ	3,359.00
00000731	0000	03/06/2001	JUGS BASEBALL PITCHING MACHINE	EQ	1,375.00
00000741	0000	09/30/2001	2002 ANDERSON 18' EQUIPMENT TRAILER	EQ	2,300.00
00000742	0000	09/19/2001	60" BRUSHCAT ROTARY CUTTER	EQ	3,626.00
00000761	0000	06/28/2002	HANDICAP SWING-HIDDEN TRAILS	EQ	1,849.33
00000774	0000	09/26/1995	FIREPROOF FILE CABINET	EQ	775.00
00000777	0000	09/03/1997	2 TON BUMIL FIREPROOF SAFE	EQ	2,955.00
00000799	0000	01/01/1901	SANYO PROJECTOR	EQ	3,020.00
00000800	0001	09/30/2010	GEMS PRINTER - LEASE BUYOUT	EQ	2,112.37
00000813	0001	09/06/2000	DUAL FIBER MODULE (3C16971)	EQ	851.00
00000818	0000	07/17/2001	4 PIECE WORKSTATION	EQ	983.50
00000834	0000	09/05/2001	DESK WORKSTATION	EQ	1,191.50
00000835	0000	07/06/1994	SAFE 27W X 19D X 23H GRAY	EQ	770.40
00000864	0000	10/05/1988	SUPREME CONSERV-A-FILE	EQ	4,252.00
00000881	0000	01/17/2001	L600 ELECTRONIC LEVEL W/1215 LASEREYE SN 92418	EQ	1,203.45
00000896	0000	09/30/1993	GE REFRIGERATOR	EQ	879.00
00000906	0000	11/03/1987	CARD CATALOG CABINET (30 TRAY)	EQ	1,736.77
00000908	0000	11/03/1987	1 LOUNGE SECTION	EQ	434.75
00000909	0000	11/03/1987	4 LOUNGE SECTIONS - 37,38,35,36	EQ	971.28
00000911	0000	06/04/1991	5 TRAY SECTION NATURAL OAK CABINET	EQ	1,479.20
00000912	0000	07/26/1993	SHELVING UNIT	EQ	969.59
00000915	0000	07/17/1996	LIBRARY MULTI-USER AUTOMATION SOFTWARE (ON ATHENA)	EQ	3,503.35
00000955	0000	01/12/2000	SIX POSITION COMPUTER ACCESS STATION	EQ	3,673.38
00000956	0000	01/12/2000	(4) D/F 48"W INFO ACCESS STARTER W/WIRE MGMT	EQ	4,089.44
00000962	0000	01/12/2000	5 DRAWER MAP FILE CASE (T#506)	EQ	846.34
00000963	0000	01/12/2000	DRAWER & OPEN SHELF UNIT (SITTING HEIGHT)	EQ	996.40
00000965	0000	01/12/2000	(2) DOUBLE WIDE COMPUTER UNITS (STANDING HEIGHT)	EQ	1,507.04
00000966	0000	01/12/2000	DRAWER & OPEN SHELF UNIT (STANDING HEIGHT)	EQ	1,092.06
00000967	0000	01/12/2000	SINGLE PEDESTAL WORK DESK	EQ	1,145.04
00000968	0000	01/12/2000	CUPBOARD & DRAWER UNIT	EQ	1,336.00
00000969	0000	01/12/2000	SINGLE PEDESTAL WORK DESK	EQ	1,081.75
00000970	0000	01/12/2000	SINGEL PEDESTAL WORK DESK	EQ	1,081.75
00000990	0000	06/07/1989	HONDA GAS GENERATOR 3500SK	EQ	1,561.00
00000994	0000	10/06/1987	MINI RAM (HURST TOOL)	EQ	1,458.81
00001014	0000	08/19/1997	MSA TESTING KIT	EQ	1,224.95
00001020	0000	09/22/1998	LIFEPAK 500	EQ	2,993.40
00001049	0000	05/19/1999	DECK GUN	EQ	1,817.50
00001051	0000	04/20/1999	DECK GUN	EQ	2,006.47
00001063	0000	09/30/1999	REHAB MISTING SYSTEM	EQ	1,050.00
00001065	0000	09/18/1987	STEEL TANK 2'10" X 10'10"(MILITARY TRUCK WOODS 31)	EQ	1,191.40
00001074	0000	05/17/1994	EXTRACTION SET (JAWS OF LIFE)	EQ	2,223.00
00001075	0000	08/16/1985	FOL-DA-TANK YELLOW 1000 GALLON	EQ	800.00
00001076	0000	05/22/1987	HYPALON 1500 GAL FOLD A TANK	EQ	1,115.00
00001077	0000	05/20/1988	FOLD A TANK 1000 GALLON	EQ	820.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00001081	0000	08/07/1990	WATER PUMP 3NPT X 3NPT 18HP	EQ	2,300.00
00001090	0000	06/22/1993	EXTRACTION SET RS10	EQ	2,371.20
00001105	0000	08/08/1995	VALVE FOR HOSES (6" X 2/5" GATED SIAMESE)	EQ	855.93
00001106	0000	08/22/1995	STINGER DECK GUN	EQ	952.33
00001107	0000	12/19/1995	ADULT CPR MANIQUIN	EQ	995.00
00001114	0000	07/22/1998	HP300X 18HP PUMP	EQ	3,300.00
00001115	0000	08/19/1998	18HP PORTABLE PUMP	EQ	3,300.00
00001124	0000	03/07/2000	GATED WYE	EQ	863.00
00001129	0000	07/10/2000	6X14 HAULMARK ENCLOSED CARGO TRAILER	EQ	3,050.00
00001130	0000	09/19/2000	2600 WATT GENERATOR	EQ	1,000.00
00001131	0000	09/19/2000	2600 WATT GENERATOR	EQ	1,000.00
00001150	0000	03/07/2000	VECTOR LIGHT BAR - ENGINE 31	EQ	865.80
00001152	0000	02/19/2002	AKRON APOLLO MONITOR - STYLE 3423	EQ	2,021.00
00001153	0000	02/19/2002	BLACK MAX INTAKE VALVE	EQ	970.00
00001154	0000	02/19/2002	FEDERAL Q23-P SIREN	EQ	1,375.00
00001171	0000	04/23/2002	3000 GALLON HYPALON STEEL TANK	EQ	1,150.00
00001172	0000	04/23/2002	3000 GALLON HYPALON STEEL TANK	EQ	1,150.00
00001174	0000	01/01/1901	SUPERVAC POSITIVE PRESSURE FAN	EQ	0.00
00001175	0000	01/01/1901	HONDA EX5000 GENERATOR	EQ	0.00
00001190	0000	08/05/1996	TUBULAR COMMUNICATIONS TOWER W/MOTOR DRIVE	EQ	3,185.95
00001212	0000	02/02/1993	SG-2000 BASIC SYNTH RADIO	EQ	1,995.00
00001235	0000	08/13/2002	CANON POWERSHOT DIGITAL CAMERA	EQ	775.00
00001254	0000	07/17/1996	FURNO STRETCHER (UNIT 7)	EQ	1,708.00
00001269	0000	09/29/1999	FERNO STRETCHER	EQ	2,200.00
00001286	0000	04/03/2001	BROSELOW BAG (FIRE FLIGHT)	EQ	1,356.00
00001303	0000	02/07/2002	HELMET FOR FLIGHT SUIT	EQ	1,060.59
00001304	0000	02/07/2002	HELMET FOR FLIGHT SUIT	EQ	1,060.58
00001324	0000	05/22/1990	VISUAL BOARD SCREEN 48 X 47	EQ	819.00
00001326	0000	05/22/1990	EXECUTIVE RIGHT L DESKS	EQ	1,199.00
00001334	0000	05/22/1990	(2)TABLES & (4)BENCHES	EQ	4,772.00
00001336	0000	05/22/1990	OPERATIONAL RIGHT L SECRETARIAL DESK	EQ	756.00
00001343	0000	05/22/1990	STORGAE CREDENZA	EQ	765.00
00001344	0000	05/22/1990	STORAGE CREDENZA	EQ	765.00
00001345	0000	12/10/1998	3 TON HEAT PUMP FOR DENTAL OFFICE	EQ	3,275.00
00001353	0000	01/23/1998	HEWLETT PACKARD LASERJET 4000N PRINTER	EQ	1,332.67
00001369	0000	11/20/1987	BOOKSHELFING UNIT W/END & TOP PANELS	EQ	1,418.12
00001371	0000	08/02/2001	DELL FLAT PANEL 17" MONITOR	EQ	840.00
00001374	0000	09/01/2000	FIBER OPTIC DENTAL UNIT	EQ	1,329.00
00001375	0000	09/01/2000	FIBER OPTIC DENTAL UNIT	EQ	1,329.00
00001376	0000	08/01/2001	DELL FLAT PANEL 17" MONITOR	EQ	840.00
00001378	0000	06/01/2000	X-RAY MACHINE	EQ	3,090.00
00001387	0000	08/01/2001	DELL FLAT PANEL 17" MONITOR	EQ	840.00
00001392	0000	05/15/2001	RITTER EXAM TABLE 307	EQ	3,599.00
00001393	0000	05/03/2000	DOPPLER	EQ	1,549.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00001398	0000	01/07/2002	WELCH ALLYN VITAL SUPPORT MONITOR	EQ	1,480.00
00001401	0000	08/01/2001	DELL FLAT PANEL MONITOR	EQ	840.00
00001403	0000	02/18/2000	OAK FILE CABINET	EQ	750.00
00001408	0000	04/15/2000	MICROSCOPE	EQ	850.00
00001427	0000	08/01/2001	DELL FLAT PANEL MONITOR	EQ	840.00
00001429	0000	08/01/2001	DELL FLAT PANEL MONITOR	EQ	840.00
00001432	0000	10/25/2000	PROCURVE SWITCH	EQ	1,900.00
00001444	0000	02/11/2002	DELL OPTIPLEX GX240 W/17" FLAT PANEL MONITOR	EQ	1,602.00
00001449	0000	02/11/2002	DELL OPTIPLEX GX240 W/17" FLAT PANEL MONITOR	EQ	1,602.28
00001452	0000	02/12/2002	DELL OPTIPLEX GX240 W/17" FLAT PANEL	EQ	1,602.28
00001453	0000	02/12/2002	DELL OPTIPLEX GX240 W/17" FLAT PANEL MONITOR	EQ	1,602.00
00001454	0000	01/29/2002	17" FLOOR MACHINE-M172	EQ	1,115.00
00001455	0000	02/12/2002	DELL OPTIPLEX GX240 W/17" FLAT PANEL MONITOR	EQ	1,602.28
00001459	0000	11/05/1997	RADAR GUN	EQ	2,195.00
00001460	0000	12/19/2000	ULTRALYTE 100LR LONG RANGE LASER	EQ	3,505.00
00001461	0000	12/19/2000	GENESIS DUAL K RADAR GUN	EQ	1,875.00
00001462	0000	12/19/2000	GENESIS DUAL K RADAR GUN	EQ	1,875.00
00001463	0000	12/19/2000	GENESIS DUAL K RADAR GUN	EQ	1,875.00
00001466	0000	08/13/2002	CUSTOM LAMINATE CABINETRY	EQ	2,941.00
00001475	0000	07/30/1986	ROLLER SHELVES-8 SHELVES	EQ	899.49
00001476	0000	09/04/1987	ROLLER SHELF SECTION-STEEL FIXTURES	EQ	700.00
00001477	0000	09/04/1987	ROLLER SHELF SECTION-STEEL FIXTURE	EQ	700.00
00001572	0000	09/30/1999	GROVE'S DICTIONARY OF ART	LIB	4,000.00
00001583	0000	06/11/2001	FROM SEA TO SHINING SEA CHILDREN'S BOOK SET	LIB	997.10
00001653	0015	08/04/2014	HVAC UNIT FOR BINGS LANDING BAITSHOP	EQ	1,167.07
00001720	0003	09/27/2010	HVAC UNIT - ST JOHNS COMMUNITY CENTER	EQ	2,308.50
00001731	0006	09/27/2010	HVAC UNIT - HOLDEN HOUSE	EQ	2,148.50
00001748	0002	09/04/2007	SANYO INDOOR/OUTDOOR 16 SEER A/C UNITS	EQ	1,324.87
00001748	0004	09/27/2010	HVAC UNITS - HEALTH DEPARTMENT	EQ	2,358.50
00001748	0005	09/27/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	2,358.50
00001748	0006	09/27/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	2,358.50
00001748	0007	09/27/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	2,358.50
00001748	0008	09/27/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	2,358.50
00001748	0009	09/27/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	2,358.50
00001748	0010	09/27/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	2,148.50
00001748	0011	09/27/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	2,223.50
00001769	0002	11/17/2014	HVAC REPLACEMENT - LEGACY SCHOOL - PRINCESS PLACE	EQ	3,825.92
00001795	0001	07/24/2007	5 TON 13 SEER AIR CONDITIONING UNIT	EQ	4,900.00
00001863	0001	09/30/2013	WATER FOUNTAIN	EQ	1,756.00
00002093	0000	01/01/1901	JOHN DEERE 225G HIGH PRESSURE WASHER	EQ	1,696.00
00002101	0000	05/19/1999	8HP HONDA 3" TRASH PUMP	EQ	1,366.75
00002104	0000	08/08/2000	1967 MILITARY M352A 2 1/2 TON CARGO TRUCK	VH	1,850.00
00002107	0000	06/06/2000	CARGO TRAILER 7X12	EQ	3,040.00
00002110	0000	05/08/2001	500 GALLON DUAL WALL WASTE TANK	EQ	2,477.50

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00002111	0000	05/08/2001	500 GALLON DUAL WALL WASTE TANK	EQ	2,477.50
00002115	0000	03/25/2002	SONY MINI DIGITAL VIDEO CAMCORDER	EQ	1,566.00
00002118	0000	03/17/1999	OIL FILTER CRUSHER	EQ	1,145.00
00002119	0000	03/03/1999	GAS POWERED 5.5 HP AIR COMP-CRUSHER	EQ	946.79
00002165	0000	09/30/1997	TRANSRECEIVER VHF AIR (OFFICE)	EQ	1,467.63
00002177	0000	07/08/2003	AMSEC DEPOSITORY SAFE	EQ	1,573.75
00002181	0000	11/14/2002	PAPER SHREDDER	EQ	811.30
00002184	0000	03/10/2003	4 DRAWER FIRE-PROOF FILE CABINET	EQ	1,859.00
00002203	0000	01/27/2003	HP LASERJET 4200TN	EQ	1,636.00
00002249	0000	08/25/2003	HEAVY DUTY SHREDDER	EQ	1,317.82
00002257	0000	01/15/2003	3D BUST-H KING	EQ	835.25
00002264	0000	01/08/2003	PEDESTAL MOUNT Q2B	EQ	1,300.93
00002265	0000	01/08/2003	BLACKMAX PISTON INTAKE VALVE #088805	EQ	882.05
00002266	0000	03/10/2003	6" SUCTION SIAMESES	EQ	1,047.10
00002289	0000	04/21/2003	2.0 CUBI FT CONSTEMPT CABINET REFRIGERATOR	EQ	914.27
00002290	0000	04/21/2003	2.0 CUBIC FT CONSTEMP CABINET REFRIGERATOR	EQ	914.27
00002291	0000	04/21/2003	2.0 CUBIC FOOT CONSTEMP CABINET REFRIGERATOR	EQ	914.28
00002306	0000	04/21/2003	2.0 CUBIC FOOT CONSTEMP CABINET REFRIGERATOR	EQ	910.75
00002307	0000	04/21/2003	2.0 CUBIC FOOT CONSTEMP CABINET REFRIGERATOR	EQ	910.75
00002308	0000	04/21/2003	2.0 CUBIC FOOT CONSTEMP CABINET REFRIGERATOR	EQ	910.74
00002309	0000	04/21/2003	2.0 CUBIC FOOT CONSTEMP CABINET REFRIGERATOR	EQ	910.74
00002313	0000	03/14/2003	18 X 24 BRONZE CASTING	EQ	983.60
00002327	0000	08/05/2003	TURBIMETER	EQ	1,061.12
00002353	0000	08/12/2003	TOUCH SCREEN MONITOR	EQ	932.00
00002402	0000	03/19/2002	POSITIVE PAY MODULE ADDITION	EQ	1,500.00
00002409	0000	09/30/2003	GBC 17 SHEET CROSS SHREDDER	EQ	1,095.00
00002410	0000	09/30/2003	GENICOM 3880D SERIAL MATRIX PRINTER	EQ	2,864.00
00002411	0000	09/30/2003	GENICOM 3880D SERIAL MATRIX PRINTER	EQ	2,864.00
00002412	0000	09/30/2003	DELL DIMENSION 8300 PC W/MONITOR	EQ	3,217.13
00002414	0000	09/30/2003	DELL INSPIRON 1100 NOTEBOOK COMPUTER	EQ	1,863.79
00002415	0000	09/30/2003	DELL INSPIRON NOTEBOOK	EQ	1,863.79
00002435	0000	09/30/2003	MITSUBISHI ST211D MOBILE SATELLITE TELEPHONE	EQ	3,897.20
00002441	0000	06/10/2003	QREP CATALOGS GMB/PAYROLL-FINANCE	EQ	2,000.00
00002556	0000	08/10/2004	HONDA 13HP PRESSURE WASHER	EQ	1,174.00
00002560	0000	08/20/2004	RANGER 250G WELDER W/ WIRE FEED	EQ	4,072.30
00002561	0000	04/13/2004	2004 7X14 HAULMARK CARGO TRAILER	EQ	4,100.00
00002562	0000	04/13/2004	2004 7X14 LAWN SERVICE TRAILER	EQ	1,530.00
00002568	0000	07/28/2004	FRONT LOAD PEDESTAL BOX	EQ	1,095.00
00002569	0000	08/04/2004	8X20 HAUL TRAILER (BRI-MAR)	EQ	3,850.00
00002577	0001	04/13/2004	LOADER BUCKET	EQ	4,777.20
00002578	0000	08/30/2004	21X7 SOCCER GOAL W/ NETS	EQ	1,499.00
00002587	0000	06/22/2004	ICE MAKER W/ FILTER SYSTEM-WICKLINE	EQ	1,264.45
00002595	0000	05/26/2004	CYLINDER & VALVE ASSY CARBON II, HP	EQ	918.00
00002596	0000	05/26/2004	CYLINDER & VALVE ASSY CARBON II HP	EQ	918.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00002597	0000	05/26/2004	CYLINDER & VALVE ASSY CARBON II, HP	EQ	918.00
00002598	0000	05/26/2004	CYLINDER & VALVE ASSY CARBON II, HP	EQ	918.00
00002599	0000	05/26/2004	CYLINDER & VALVE ASSY CARBON II, HP	EQ	918.00
00002600	0000	05/26/2004	CYLINDER & VALVE ASSY CARBON II, HP	EQ	918.00
00002601	0000	05/26/2004	CYLINDER & VALVE ASY CARBON II, HP	EQ	918.00
00002602	0000	05/26/2004	CYLINDER & VALVE ASSY CARBON II, HP	EQ	918.00
00002603	0000	06/04/2004	MIN CARBON HOSE KIT	EQ	918.00
00002604	0000	06/04/2004	MIN CARBON W/ HOSE KIT	EQ	918.00
00002605	0000	07/28/2004	CBNR MMR HP 45'	EQ	3,500.00
00002606	0000	07/28/2004	CBNR MMR HP 45'CYL	EQ	3,500.00
00002607	0000	07/28/2004	CBNR MMR HP 45' CYL	EQ	3,500.00
00002608	0000	07/28/2004	CBNR MMR HP 45'CYLINDER	EQ	3,500.00
00002611	0000	07/28/2004	CBNR MMR HP 45' CYLINDER	EQ	3,500.00
00002612	0000	07/28/2004	CBNR MMR HP 45' CYLINDER	EQ	3,500.00
00002615	0000	07/28/2004	CBNR MMR HP 45' CYLINDER	EQ	3,500.00
00002616	0000	07/28/2004	CBNR MMR HP 45' CYLINDER	EQ	3,500.00
00002617	0000	07/28/2004	CBNR MMR HP 45' CYLINDER	EQ	3,500.00
00002623	0000	08/30/2004	MOBILE BOOK BROWSER	EQ	3,326.04
00002629	0000	07/21/2004	FUEL PUMP	EQ	3,574.73
00002651	0000	05/26/2004	DELL 24 MODULE NOTEBOOK	EQ	1,693.59
00002652	0000	06/16/2004	LMP PROJECTOR	EQ	3,247.00
00002652	0001	06/16/2004	REMOTE, CASE, LAMP, MODULE IMAGER	EQ	300.00
00002656	0000	09/10/2004	HEAVY DUTY GAS WATT EOC	EQ	1,075.00
00002658	0000	09/29/2004	HONDA 325 GENERATOR	EQ	850.00
00002659	0000	09/29/2004	HONDA 525 GENERATOR	EQ	850.00
00002660	0000	09/29/2004	HONDA 325 GENERATOR	EQ	850.00
00002664	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002670	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002676	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002677	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002687	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002688	0000	07/28/2004	CBNR MMR HP 45'MASK	EQ	3,500.00
00002689	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002690	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002691	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002692	0000	07/28/2004	CBNR MMR HP 45' MASK	EQ	3,500.00
00002694	0000	04/13/2004	7X14 LAWN SERVICE TRAILER	EQ	1,530.00
00002703	0000	06/29/2004	DYNAPAC COMPACTION MODEL LT6000	EQ	1,864.50
00002711	0000	08/04/2004	15 TON S6 EYE&HK	EQ	851.25
00002716	0000	07/28/2004	KAWASAKI SCAG MOWER SW36A-15KA	EQ	2,256.80
00002718	0000	05/26/2004	DESK, BRIDGE, CREDENZA W/ KEYBOARD DRAWER	EQ	750.00
00002728	0000	05/11/2004	BLK ONE BAY TOOL BOX TOPPER	EQ	1,129.00
00002730	0000	05/11/2004	BLK ONE BAY TOOL BOX	EQ	1,469.00
00002804	0000	09/30/2004	21" HONDA BLOWER	EQ	1,650.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00002812	0000	04/06/2004	FABRICATE & INSTALL COMPARTMENT TANKER 815	EQ	3,750.00
00002816	0000	09/30/2004	YAMAHA 3000W GENERATOR	EQ	2,006.50
00002817	0000	09/30/2004	YAMAHA 3000W GENERATOR	EQ	2,006.50
00002822	0000	09/30/2004	LASERJET 4300TN PRINTER	EQ	1,854.95
00002833	0000	02/17/2004	NDI 16' TABLE MAH	EQ	875.00
00002882	0000	02/10/2004	PROLASER III	EQ	3,262.50
00002883	0000	02/10/2004	PROLASER III	EQ	3,262.50
00002884	0000	02/23/2004	RADAR MPH BEE III KA	EQ	2,076.00
00002885	0000	02/23/2004	RADAR-MPH BEE III KA	EQ	2,076.00
00002886	0000	02/23/2004	RADAR-MPH BEE III KA	EQ	2,076.00
00002887	0000	02/23/2004	RADAR-MPH BEE III KA	EQ	2,076.00
00002891	0000	03/02/2004	1 PARTNER RING SAW W/RING BLADE	EQ	2,530.00
00002901	0000	02/23/2004	HP LASERJET 4300TN	EQ	1,741.95
00002903	0000	09/29/2004	HP LJ4200 35 PPM PRINTER	EQ	1,300.00
00002904	0000	09/29/2004	HP LJ4200 35 PPM PRINTER	EQ	1,300.00
00002906	0000	09/29/2004	HP LJ4200 35 PPM PRINTER	EQ	1,300.00
00002910	0000	09/21/2004	DELL 2400, KEYBD & MONITOR	EQ	1,197.76
00002913	0000	09/21/2004	DELL 2400, KEYBD, MONITOR	EQ	1,197.76
00002914	0000	09/21/2004	DELL 2400, KEYBD, MONITOR	EQ	1,197.76
00002917	0000	09/21/2004	DELL 2400, KEYBD, MONITOR	EQ	1,482.80
00002918	0000	09/21/2004	INSPIRON 1150 LAPTOP	EQ	1,003.20
00002919	0000	09/21/2004	INSPIRON 1150 LAPTOP	EQ	1,003.20
00002920	0000	09/21/2004	INSPIRON 1150 LAPTOP	EQ	1,003.20
00002921	0000	09/21/2004	DELL ACCUTOUCH MONITOR	EQ	916.12
00002922	0000	09/21/2004	DELL ACCUTOUCH MONITOR	EQ	916.12
00002923	0000	09/29/2004	7 SHELF LEGAL FILE UNIT	EQ	793.00
00002924	0000	09/29/2004	7 SHELF LEGAL FILE SHELVE UNIT	EQ	793.00
00002925	0000	09/30/2004	CISCO 1711 SECURITY ROUTER	EQ	1,037.00
00002927	0000	02/10/2004	TRENCH BOX 8X20	EQ	3,600.40
00002932	0000	09/30/2004	PEAVEY AMP, MXR, SPKRS STANDS	EQ	2,844.94
00003043	0000	12/29/2004	TANDEM AXLE ENCLOSED TRAILER	VH	4,655.00
00003045	0000	01/12/2005	2005 JOHN DEERE MX6 CUTTER	EQ	1,831.50
00003052	0000	03/08/2005	WORK SQUAD RADIO	EQ	1,259.00
00003059	0000	03/02/2005	SINGLE OVEN-DAYCARE	EQ	4,393.00
00003063	0000	01/24/2005	APOLLO DUAL INLET MONITOR	EQ	2,100.00
00003064	0000	01/24/2005	APOLLO DUAL INLET MONITOR	EQ	2,100.00
00003068	0000	04/21/2005	HEARTSTART FRX DEFIBRILATOR	EQ	1,150.00
00003069	0000	04/21/2005	HEARTSTART FRX DEFIBRILATOR	EQ	1,150.00
00003070	0000	04/21/2005	HEARTSTART FRX DEFIBRILATOR	EQ	1,150.00
00003071	0000	04/21/2005	HEARTSTART FRX DEFIBRILATOR	EQ	1,150.00
00003073	0000	04/21/2005	HEARTSTART FRX DEFIBRILATOR	EQ	1,150.00
00003079	0000	04/21/2005	HEARTSTART FRX DEFIBRILATOR	EQ	1,150.00
00003082	0000	04/21/2005	HEARTSTART FRX DEFIBRILATOR	EQ	1,150.00
00003084	0000	05/11/2005	M12000 WINCH KIT	EQ	1,275.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00003111	0000	02/03/2005	ELECTRONIC LEVEL, HR500 W/ ROD CLAM	EQ	1,695.00
00003138	0000	12/09/2004	MAGNETIC DRILL & ACCESSORIES	EQ	1,709.78
00003156	0000	06/10/2005	MUNI-BALL, 24-48 INCH	EQ	2,786.10
00003170	0000	06/10/2005	KEVLAR AIR BAG SET	EQ	2,697.90
00003171	0000	06/10/2005	KEVLAR AIR BAG SET	EQ	2,697.90
00003172	0000	06/10/2005	KEVLAR AIR BAG SET	EQ	2,697.90
00003173	0000	07/27/2005	PANEL WITH POUCHES FOR THE HELICOPTER	EQ	1,100.00
00003186	0000	04/26/2005	LAPTOP RACK - IN VEHICLE	EQ	964.00
00003187	0000	01/07/2005	PWRTRN 6500WTT GENERATOR	EQ	890.00
00003193	0000	12/20/2004	6FT COMBAT RANDY W/BAG	EQ	770.00
00003216	0000	09/30/2005	HEARTSTART DEFIBRILLATOR	EQ	1,150.00
00003219	0000	09/30/2005	HEARTSTART DEFIBRILLATOR	EQ	1,150.00
00003238	0000	03/23/2005	FUJITSU DU-4120X2	EQ	885.00
00003239	0000	10/01/2004	FELLOWS SCHREDDER	EQ	1,499.99
00003289	0000	09/30/2005	BLACK CASE W/350 WATT P/S INTEL PENT IV3.2	EQ	2,319.80
00003292	0000	09/30/2005	P-4 PROCESSOR 800FSB 3.0GHZ/17"MONITOR	EQ	1,485.00
00003293	0000	09/30/2005	FIJITSU FI 4340C - FLATBED SCANNER	EQ	3,165.00
00003298	0000	09/30/2005	EVID VOTER IDENTIFICATION STATION	EQ	3,616.67
00003299	0000	09/30/2005	EVID VOTER IDENTIFICATION STATION	EQ	3,616.67
00003300	0000	09/30/2005	EVID VOTER IDENTIFICATION STATION	EQ	3,616.66
00003308	0000	10/01/2005	PELTON CRANE TC42B TREAT COLUMN	EQ	3,350.00
00003310	0000	10/01/2005	EXAM TABLE HI/LO W/RECEP	EQ	3,942.00
00003312	0000	10/01/2005	EXAM TABLE HI/LO W/RECEP	EQ	3,942.00
00003313	0000	10/01/2005	NICOLET BAS IMPEX DOPPLER CT23	EQ	1,125.00
00003314	0000	10/01/2005	EXAM TABLE HI/LO W/RECEP	EQ	3,942.00
00003316	0000	10/01/2005	EXAM TABLE HI/LO W RECEP	EQ	3,942.00
00003317	0000	10/01/2005	WELCH ALLYN VITAL SIGN MONITOR/STAND	EQ	1,964.00
00003319	0000	10/01/2005	DELL 3300 MP PROJECTOR	EQ	0.00
00003320	0000	10/01/2005	PANASONIC PT-L76U PROJECTOR	EQ	0.00
00003323	0000	10/01/2005	DELL LATITUDE C840 LAPTOP	EQ	0.00
00003324	0000	10/01/2005	DELL POWER EDGE 2600	EQ	4,089.00
00003964	0000	11/09/2005	MONITOR/ BRKT/SM BORE/STRM SHAPER/FOG NOZZLE	EQ	1,934.00
00003965	0000	11/09/2005	MONITOR/ BRKT/SM BORE/STRM SHAPER/FOG NOZZLE	EQ	1,934.00
00003966	0000	11/09/2005	MONITOR/ BRKT/SM BORE/STRM SHAPER/FOG NOZZLE#593	EQ	1,934.00
00003990	0000	02/22/2006	21,000 PUMP W/ 8HP HONDA PUMPS & GENERATORS	EQ	2,383.00
00003991	0000	02/22/2006	21,000 PUMP W/ 8HP HONDA PUMPS & GENERATORS	EQ	2,383.00
00003992	0000	02/22/2006	21,000 PUMP W/ 8HP HONDA PUMPS & GENERATORS	EQ	2,383.00
00003993	0000	02/22/2006	21,000 PUMP W/ 8HP HONDA PUMPS & GENERATORS	EQ	2,383.00
00003994	0000	03/29/2006	LGHTBRS,SROBES,SLMLGHT,SREN CNTRL,SPKR/BRCKT,ARMRI	EQ	2,802.67
00003995	0000	03/29/2006	LGHTBRS,SROBES,SLMLGHT,SREN CNTRL,SPKR/BRCKT,ARMRI	EQ	2,802.67
00003996	0000	03/29/2006	LGHTBRS,SROBES,SLMLGHT,SREN CNTRL,SPKR/BRCKT,ARMRI	EQ	2,802.66
00003999	0001	08/22/2011	MED VAULT KEY SECURE 3B KNOX BOX	EQ	1,578.00
00004008	0000	01/25/2006	LAW ENFRCMNT EMER PAC LIFE RAFT	EQ	1,800.00
00004009	0000	06/13/2006	BAMBI BUCKET/SACKSAFOAM	EQ	4,329.67



**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004010	0000	06/13/2006	BAMBI BUCKET/SACKSAFOAM	EQ	4,329.67
00004011	0000	06/13/2006	BAMBI BUCKET/SACKSAFOAM	EQ	4,329.66
00004014	0000	02/15/2006	COIL PUNCH AND INSERTER	EQ	1,649.00
00004035	0000	06/14/2006	6 SHELF LGL FILE & ADD ON LGL FILES	EQ	2,070.70
00004043	0000	03/15/2006	DELL D810 PENTIUM LAPTOP/MOUSE	EQ	2,454.51
00004102	0000	08/08/2006	VALCOM SPEAKER SYSTEM	EQ	2,423.65
00004104	0000	08/01/2006	REFURBISHED ELECTRIC GOLF CAR	EQ	3,375.00
00004111	0000	09/19/2006	2006 FLAT BOW 12' JON BOAT W/ 8HP MANUAL MOTOR	VH	1,999.00
00004117	0000	09/30/2006	42" TELESCOPING RAM	EQ	3,231.30
00004118	0000	09/30/2006	42" TELESCOPING RAM	EQ	3,231.30
00004121	0000	09/30/2006	RESCUE SAW	EQ	1,143.75
00004122	0000	09/30/2006	RESCUE SAW	EQ	1,143.75
00004149	0000	09/30/2006	DRAFTING TABLE/DRAWING BASE/SHELF FILES	EQ	2,651.00
00004155	0000	08/08/2006	SHUTTLE CASE P4 PRESCOTT 800 FSB 8X	EQ	1,485.00
00004159	0000	09/29/2006	14' CONFERENCE TABLE	EQ	3,300.00
00004160	0000	09/29/2006	BUFFET CREDENZA	EQ	2,100.00
00004169	0000	09/30/2006	INFANT/CHILD HEARTSTART DEFIBRILLATOR W/CASE	EQ	1,150.00
00004170	0000	09/30/2006	INFANT/CHILD HEARTSTART DEFIBRILLATOR W/CASE	EQ	1,150.00
00004173	0000	09/30/2006	INFANT/CHILD HEARTSTART DEFIBRILLATOR W/CASE	EQ	1,150.00
00004177	0000	09/30/2006	INFANT/CHILD HEARTSTART DEFIBRILLATOR W/CASE	EQ	1,150.00
00004178	0000	09/30/2006	INFANT/CHILD HEARTSTART DEFIBRILLATOR W/CASE	EQ	1,150.00
00004189	0001	07/18/2011	INDUSTRIAL CURTAIN CLEAR - 16 MIL	FUR	3,120.00
00004201	0000	08/22/2006	RJ 15 ROLLING JACK-MAINTENANCE SHOP (2)	EQ	3,958.00
00004206	0000	03/21/2006	FREEZER 2 DOOR REACH IN	EQ	2,975.00
00004207	0000	03/21/2006	REFRIGERATOR 2 DOOR REACH-IN	EQ	2,250.00
00004208	0000	03/21/2006	DISHWASHER	EQ	4,550.00
00004209	0000	03/21/2006	ICE MAKER W/BIN & FILTER	EQ	2,375.00
00004214	0000	05/23/2006	NUTCRACKER TABLE	EQ	1,940.00
00004239	0000	06/13/2006	APC SMART-UPS 3000VA	EQ	1,211.00
00004242	0000	06/13/2006	APC SMART-UPS 3000VA	EQ	1,211.00
00004243	0000	06/28/2006	4 INPUT SWITCHER W/INTEGRATED SCALER	EQ	3,598.00
00004244	0000	07/25/2006	DELFIELD HEATED 2 WELL HOT FOOD UNIT	EQ	1,944.40
00004249	0000	09/05/2006	PANEL ENCLOSURE SYSTEM	EQ	1,553.00
00004251	0000	09/30/2006	32" MAGNAVOX LCD HDTV	EQ	1,051.66
00004254	0000	05/23/2006	COUCH	EQ	1,737.42
00004255	0000	05/23/2006	COUCH	EQ	1,737.42
00004256	0000	08/15/2006	WORKSTATION 72"X18"	EQ	1,294.11
00004257	0000	08/15/2006	WORKSTATION 72"X18"	EQ	1,294.11
00004271	0000	09/29/2006	EPSON TM6000II SCANNERS	EQ	1,350.00
00004272	0000	09/29/2006	EPSON TM6000II SCANNERS	EQ	1,350.00
00004273	0000	09/29/2006	EPSON TM6000II SCANNERS	EQ	1,350.00
00004274	0000	09/29/2006	EPSON TM6000II SCANNER	EQ	1,350.00
00004275	0000	09/29/2006	EPSON TM6000II SCANNER	EQ	1,350.00
00004276	0000	09/29/2006	EPSON TM6000II SCANNER	EQ	1,350.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004277	0000	09/29/2006	FUJI FINEPIX A500/FI512OC SCANPARTNER	EQ	1,160.14
00004283	0000	11/06/2006	2007 BRI-MAR 8'X 20' EQUIPMENT TRAILER	EQ	4,758.75
00004287	0000	01/23/2007	JOHN DEERE 522 STANDARD LOADER W/ REAR BLADE	EQ	4,575.16
00004288	0000	12/04/2006	FULL CUBE ICE MACHINE W/STORAGE BINS	EQ	1,843.26
00004294	0000	03/13/2007	3/8"SOCKET SET - 92 PIECE	EQ	1,478.06
00004295	0000	03/13/2007	SNAP ON PULLER SET	EQ	2,902.45
00004296	0000	03/27/2007	HEAVY DUTY TRANSMISSION FLUID X CHANGER	EQ	3,445.50
00004299	0000	03/27/2007	10 HP SUBMERSIBLE PUMP	EQ	4,725.00
00004367	0000	04/10/2007	UNDERCOU CUBE ICE MAKER	EQ	1,215.45
00004368	0000	04/17/2007	WHELAN HEADLGHT/GRILLE LGHT FLASH/LGHTBAR	EQ	2,790.60
00004369	0000	04/17/2007	EXTRACTOR PRO MODEL PWC RESCUE SLED	EQ	1,400.00
00004370	0000	04/17/2007	TELESTAFF COMPUTER HARDWARE (TELEPHONE CARD)	EQ	2,210.00
00004393	0000	05/15/2007	APS SMART UPS 3000VA	EQ	1,141.00
00004395	0000	05/29/2007	3M COMTECH SATELLITE DISH	EQ	2,550.00
00004399	0000	05/21/2007	CMC RESCUE HARNESS	EQ	1,065.00
00004400	0000	05/15/2007	HELICOPTER YOKE BANK CARGO HOOK BACKUP	EQ	1,995.00
00004401	0000	05/08/2007	CHILD CRISIS MANIKIN	EQ	2,753.95
00004402	0000	05/08/2007	ANATOMICAL AIRWAY MGMT TRAINER	EQ	1,086.64
00004403	0000	05/08/2007	ANATOMICAL AIRWAY MGMT TRAINER	EQ	1,086.64
00004438	0000	06/12/2007	STAT MANIKIN W/ECG SIMULATOR	EQ	3,862.81
00004449	0000	07/03/2007	HEARTSTART FRX DEFIBRILLATOR	EQ	1,150.00
00004450	0000	07/03/2007	HEARTSTART FRX DEFIBRILLATOR	EQ	1,150.00
00004451	0000	07/03/2007	HEARTSTART FRX DEFIBRILLATOR	EQ	1,150.00
00004452	0000	07/24/2007	STAT BABY	EQ	2,715.00
00004466	0000	04/11/2007	GBC 5500X SHREDDER CROSS CUT	EQ	1,632.99
00004467	0000	04/11/2007	GBC 5500X SHREDDER CROSS CUT	EQ	1,645.30
00004468	0000	04/11/2007	GBC 5500X SHREDDER CROSS CUT	EQ	1,645.31
00004469	0000	04/11/2007	GBC SHREDMASTER 6550X CONFETTI SHREDDER	EQ	2,166.45
00004490	0000	12/04/2006	CHATSWORTH CABINET	EQ	1,231.23
00004491	0000	12/04/2006	CHATSWORTH CO LOCATION SYSTEM	EQ	2,901.06
00004492	0000	12/04/2006	CHATSWORTH CO LOCATION SYSTEM	EQ	2,901.06
00004493	0000	03/20/2007	8 FT CONFERENCE TABLE	FUR	1,026.48
00004494	0000	03/20/2007	24X72 CREDENZA	FUR	1,045.75
00004495	0000	03/20/2007	36X72 DESK	FUR	1,465.93
00004496	0000	03/20/2007	OVERHEAD STORAGE	FUR	1,137.40
00004497	0000	03/20/2007	RIGHT PEDSTAL DESK RECTANGLE	FUR	1,056.56
00004498	0000	03/20/2007	UPS BACKUP OFFICE SYSTEM FOR SERVERS	EQ	2,200.00
00004499	0000	05/15/2007	CUMMINS POWER GENERATOR	EQ	3,215.00
00004514	0005	07/30/2007	LIGHT KIT	EQ	2,180.00
00004514	0007	07/30/2007	MICROPHONE SYSTEM	EQ	1,556.00
00004517	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004518	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004519	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004520	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004521	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004522	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004523	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004524	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004525	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004526	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004527	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004528	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004529	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004530	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004531	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004532	0000	08/20/2007	TEKNION SYSTEM 8X8	FUR	2,878.35
00004533	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004534	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004535	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004536	0000	08/20/2007	TEKNION SYSTEMS 8X10	FUR	2,878.35
00004537	0000	09/30/2007	TEKNION HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81
00004538	0000	08/20/2007	FLAT FILES (MAPS)	FUR	1,415.50
00004539	0000	09/30/2007	FLAT FILES (MAPS)	FUR	1,415.50
00004540	0000	08/20/2007	FLAT FILES (MAPS)	FUR	1,415.50
00004541	0000	08/20/2007	FLAT FILES (MAPS)	FUR	1,415.50
00004542	0000	09/30/2007	FLAT FILES (MAPS)	FUR	1,415.50
00004543	0000	09/30/2007	FLAT FILES (MAPS)	FUR	1,415.50
00004544	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR	FUR	1,210.81
00004545	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004546	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004547	0000	09/30/2007	TEKNION HOSTA LEATHER LOVE SEAT	FUR	1,435.99
00004548	0000	09/30/2007	CONFERENCE TABLE 10' LONG (CHIEF DEPUTY)	FUR	2,924.07
00004549	0000	09/30/2007	CONFERENCE ROOM TABLE (DOMESTIC VIOLENCE)	FUR	1,027.61
00004550	0000	09/30/2007	CONFERENCE ROOM TABLE (DOMESTIC VIOLENCE)	FUR	1,027.61
00004551	0000	09/30/2007	CREDENZA D-4 CASEGOOD COORDINATE	FUR	4,975.90
00004552	0000	09/30/2007	CREDENZA D-4 CASEGOOD COORDINATE	FUR	4,975.90
00004553	0000	09/30/2007	CREDENZA D-4 CASEGOOD COORDINATE	FUR	4,975.90
00004554	0000	09/30/2007	CREDENZA D-4 CASEGOOD COORDINATE	FUR	4,855.30
00004555	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004556	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004557	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004558	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004559	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004560	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004561	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004562	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004563	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004564	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004565	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004566	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004567	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004568	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004569	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004570	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004571	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004572	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004573	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004574	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004575	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004576	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004577	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004578	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004579	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004580	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004581	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004582	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004583	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004584	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004585	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004586	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004587	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004588	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004589	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004590	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004591	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004592	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004593	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004594	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004595	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004596	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004597	0000	08/20/2007	TEKNION SYSTEMS 8X8	FUR	2,878.35
00004598	0000	08/20/2007	TEKNION SYSTEMS 8X10	FUR	2,878.35
00004599	0000	08/20/2007	TEKNION SYSTEMS 8X10	FUR	2,878.35
00004600	0000	08/20/2007	TEKNION SYSTEMS 8X10	FUR	2,878.35
00004601	0000	08/20/2007	TEKNION SYSTEMS OFFICE CEILING HEIGHT PANEL	FUR	2,878.35
00004602	0000	08/20/2007	TEKNION SYSTEMS W/TRANSACTION TOP	FUR	2,878.35
00004603	0000	08/20/2007	TEKNION SYSTEMS W/TRANSACTION TOP	FUR	2,878.35
00004604	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81
00004605	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81
00004606	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004607	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004608	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004609	0000	08/20/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81
00004610	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81
00004611	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81
00004612	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR	FUR	1,210.81
00004613	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004614	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004615	0000	09/30/2007	TEKNION-HARRINGTON HIGHBACK LEATHER CHAIR (JUDGE)	FUR	1,210.81
00004616	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004617	0000	09/30/2007	HEARING ROOM TABLE	FUR	1,695.15
00004618	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004619	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004620	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004621	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004622	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004623	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004624	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004625	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004626	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004627	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004628	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004629	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004630	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004631	0000	09/30/2007	GENERAL DESK CASEGOOD (1-097)	FUR	2,437.54
00004632	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004633	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004634	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004635	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004636	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004637	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004638	0000	09/30/2007	CONFERENCE TABLE	FUR	1,586.33
00004639	0000	09/30/2007	CONFERENCE TABLE	FUR	1,586.33
00004640	0000	09/30/2007	CONFERENCE TABLE	FUR	1,854.89
00004641	0000	09/30/2007	GUNLOCKE WAITING CHAIR	FUR	1,333.79
00004642	0000	09/30/2007	GUNLOCKE WAITING CHAIR	FUR	1,333.80
00004643	0000	09/30/2007	CONFERENCE TABLE	FUR	1,586.33
00004644	0000	09/30/2007	CONFERENCE TABLE	FUR	1,586.33
00004645	0000	09/30/2007	CONFERENCE TABLE 10'	FUR	2,539.25
00004646	0000	09/30/2007	CREDENZA CONFERENCE ROOM	FUR	1,943.36
00004647	0000	09/30/2007	GUNLOCKE MEDLEY DESK (BOW OVERHANG)	FUR	1,611.08
00004648	0000	09/30/2007	LIBRARY/CONFERENCE BOOKCASE	FUR	3,256.92
00004649	0000	09/30/2007	LIBRARY/CONFERENCE BOOKCASE	FUR	3,256.92
00004650	0000	09/30/2007	CONFERENCE TABLE 10'	FUR	2,539.25
00004651	0000	09/30/2007	CREDENZA CONFERENCE ROOM	FUR	1,943.36
00004652	0000	09/30/2007	GUNLOCKE MEDLEY DESK (BOW OVERHANG)	FUR	1,611.08

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004653	0000	09/30/2007	CREDENZA CONFERENCE ROOM	FUR	1,943.36
00004654	0000	09/30/2007	GUNLOCKE MEDLEY DESK (BOW OVERHANG)	FUR	1,611.08
00004655	0000	09/30/2007	GUNLOCKE MEDLEY DESK (BOW OVERHANG)	FUR	1,611.08
00004656	0000	09/30/2007	GENERAL DESK CASEGOOD (2-094)	FUR	1,846.42
00004657	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004658	0000	09/30/2007	GENERAL DESK CASEGOOD (2-096)	FUR	2,274.82
00004659	0000	09/30/2007	GUNLOCKE MEDLEY DESK (STRAIGHT OVERHANG)	FUR	2,198.08
00004660	0000	09/30/2007	CREDENZA D-5 CASEGOOD COORDINATE	FUR	1,365.92
00004661	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004662	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004663	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004664	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004665	0000	09/30/2007	GENERAL DESK CASEGOOD	FUR	2,262.22
00004666	0000	09/30/2007	CONFERENCE TABLE 10'	FUR	2,539.25
00004667	0000	09/30/2007	CREDENZA CONFERENCE ROOM	FUR	1,943.36
00004668	0000	09/30/2007	CREDENZA CONFERENCE ROOM	FUR	1,943.36
00004669	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004670	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004671	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004672	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004673	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004674	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004675	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004676	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004677	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004678	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004679	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004680	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004681	0000	09/30/2007	CONFERENCE TABLE 8'	FUR	1,854.89
00004682	0000	09/30/2007	CONFERENCE TABLE 8'	FUR	1,854.89
00004683	0000	09/30/2007	CONFERENCE TABLE 10'	FUR	2,539.25
00004684	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004685	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004686	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004687	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004688	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004689	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004690	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004691	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004692	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004693	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004694	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004695	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004696	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004697	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004698	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004699	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004700	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004701	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004702	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004703	0000	09/30/2007	CABBOT WREN BENCH 6'-0"	FUR	2,785.85
00004704	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004705	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004706	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004707	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004708	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004709	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004710	0000	09/30/2007	CONFERENCE TABLE 10'	FUR	2,523.77
00004711	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004712	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004713	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004714	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004715	0000	09/30/2007	CONFERENCE TABLE 12'	FUR	2,939.57
00004716	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004717	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004718	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004719	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004720	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004721	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004722	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004723	0000	09/30/2007	COURTROOM TABLE	FUR	2,833.22
00004724	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004725	0000	09/30/2007	CONFERENCE TABLE 6'	FUR	1,586.33
00004726	0000	09/30/2007	CONFERENCE TABLE 10'	FUR	2,523.77
00004735	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004736	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004737	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004738	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004739	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004741	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004742	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004743	0000	09/30/2007	MSA SCBA W/4500 PSI	EQ	4,599.70
00004746	0000	03/27/2007	HON 10' CONFERENCE TABLE	FUR	1,264.77
00004752	0022	12/30/2006	APC SMARTUPS 3000	EQ	1,141.00
00004752	0023	12/30/2006	APC SMARTUPS 3000	EQ	1,141.00
00004755	0000	09/30/2007	35A X-FRAME TRANSPORT COT	EQ	2,146.40
00004757	0000	09/30/2007	35A X-FRAME TRANSPORT COT	EQ	2,146.40
00004759	0000	09/30/2007	NOMAD PS3000 SYSTEM-UPGRADE	EQ	2,443.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004784	0007	05/18/2010	17LCD, 17" LCD SECURITY MONITOR	EQ	314.00
00004842	0000	05/09/2007	FUJITSU NOTEBOOK COMPUTER	EQ	3,685.08
00004844	0000	05/09/2007	FUJITSU NOTEBOOK COMPUTER	EQ	3,685.08
00004850	0000	09/30/2007	EVID VOTER STATION	EQ	3,616.00
00004851	0000	09/30/2007	EVID VOTER STATION	EQ	3,616.00
00004852	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004853	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004854	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004855	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004857	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004858	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004859	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004860	0000	11/20/2006	ESPON SCANNER	EQ	1,325.00
00004861	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004862	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004863	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004864	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004865	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004866	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004867	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004868	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004869	0000	11/20/2006	EPSON SCANNER	EQ	1,325.00
00004870	0000	11/20/2006	USB PORTABLE HARD DRIVE SERVER	EQ	4,531.80
00004871	0000	01/20/2007	SECURITY SYSTEM	EQ	3,717.00
00004872	0000	06/07/2007	CROWD CONTROL BELTS	EQ	1,096.00
00004881	0000	03/04/2008	ICEU 220 SERIES CUBE ICE MAKER	EQ	1,215.45
00004889	0000	04/21/2008	AQUATAP DRILLING MACHINE W/CASE	EQ	2,028.00
00004891	0000	05/13/2008	HIGH-SPEED ELECTRIC BURNISHER	EQ	1,007.04
00004892	0000	05/13/2008	EZ FLOORKEEPER AUTOMATIC SCRUBBER	EQ	3,397.00
00004893	0000	05/13/2008	MARATHON 1200 CARPET EXTRACTION	EQ	1,659.00
00004894	0000	05/13/2008	DESKTOP/PORTABLE UHF REPEATER & DUPLEXER FOR GMRS	EQ	1,250.00
00004895	0000	10/01/2007	1997 PACE 5500 AMERICAN TRAILER	EQ	3,900.00
00004928	0000	08/19/2008	PRINT DISPENSER VENDING UNIT	EQ	3,807.46
00004939	0000	09/30/2008	EMERGENCY LOCATION TRANSMITER - HELICOPTER	EQ	3,498.00
00004940	0000	09/30/2008	HONDA WACKER PUMP PDT 3A	EQ	1,353.00
00004946	0000	07/08/2008	AMBULANCE COT TRIAL MODEL 6082 MX-PRO	EQ	3,815.35
00004947	0000	07/22/2008	AMBULANCE COT TRIAL MODEL 6082 MX-PRO	EQ	3,430.35
00004948	0000	07/22/2008	AMBULANCE COT TRIAL MODEL 6082 MX-PRO	EQ	3,430.35
00004949	0000	07/22/2008	AMBULANCE COT TRIAL MODEL 6082 MX-PRO	EQ	3,430.35
00004950	0000	07/22/2008	AMBULANCE COT TRIAL MODEL 6082 MX-PRO	EQ	3,430.35
00004951	0000	07/22/2008	AMBULANCE COT TRIAL MODEL 6082 MX-PRO	EQ	3,430.35
00004952	0000	07/22/2008	AMBULANCE COT TRIAL MODEL 6082 MX-PRO	EQ	3,430.35
00004953	0000	07/29/2008	FREEDOM Z, 48" CUTTER DECK, 19HP KAWASAKI TWIN	EQ	4,293.00
00004955	0000	09/30/2008	MONITOR, (3)2.5" INLETS, PART # ELK-8287	EQ	2,103.00



**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00004958	0000	09/30/2008	EVID VOTER STATION	EQ	3,616.67
00004959	0000	09/30/2008	EVID VOTER STATION	EQ	3,616.67
00004961	0000	04/15/2008	EPSON TRASCAN	EQ	1,155.00
00004962	0000	04/15/2008	EPSON TRASCAN	EQ	1,155.00
00004963	0000	09/30/2008	APC SMARTUOS	EQ	1,250.00
00004965	0000	09/25/2008	BLACK MACASE SERVER CASE COMPUTER	EQ	2,329.00
00004967	0000	09/30/2008	TIME CLOCK PLUS - SOFTWARE	EQ	1,049.00
00004968	0000	03/05/2008	DELL 1900 SERVER AND MONITOR	EQ	2,672.00
00004978	0004	04/06/2015	SPEAKER SYSTEM	EQ	4,029.12
00004994	0000	09/30/2008	NUMARA SOFTWARE - TRACK IT	EQ	3,949.79
00004995	0000	09/30/2008	PHYSION CNTRL SITE LICENSE FOR AMBULANCE SVC-SFT	EQ	4,500.00
00004998	0012	07/02/2012	HVAC UNIT - FISH CAMP	EQ	2,657.00
00004998	0013	07/02/2012	HVAC UNIT - FISH CAMP	EQ	1,888.00
00004998	0014	07/14/2014	CONDENSER AND EVAPORATOR FOR BULLCREEK BAIT SHOP	EQ	1,201.46
00005041	0000	04/21/2009	CO2 MONITORS, RAD-57 HANDHELD	EQ	3,358.82
00005042	0000	04/21/2009	CO2 MONITORS, RAD-57 HANDHELD	EQ	3,358.82
00005043	0000	04/21/2009	CO2 MONITORS, RAD-57 HANDHELD	EQ	3,358.82
00005044	0000	04/21/2009	CO2 MONITORS, RAD-57 HANDHELD	EQ	3,358.82
00005045	0000	04/21/2009	CO2 MONITORS, RAD-57 HANDHELD	EQ	3,358.82
00005046	0000	04/21/2009	CO2 MONITOR, RAD-57 HANDHELD	EQ	3,358.82
00005049	0000	04/21/2009	HALE SUPER CHIEF FLOATING PUMP, 2.5" MNST OUTLET	EQ	2,245.00
00005050	0000	04/21/2009	HALE SUPER CHIEF FLOATING PUMP, 2.5" MNST OUTLET	EQ	2,245.00
00005051	0000	04/21/2009	HALE SUPER CHIEF FLOATING PUMP, 2.5" MNST OUTLET	EQ	2,245.00
00005052	0000	04/21/2009	TILLER MODEL PT160 D&G W/ SLIP CLUTCH	EQ	1,600.00
00005053	0001	04/21/2009	6X12 ANDERSON TRAILER WITH GATE	EQ	1,150.00
00005057	0000	05/19/2009	BOBCAT 72" BRUSHCAT ROTARY CUTTER	EQ	4,141.00
00005059	0000	05/26/2009	GARRETT MAGNASCANNER CS5000 - XRAY MACHINE	EQ	2,600.00
00005063	0001	07/17/2006	WORK SQUAD RADIO	EQ	4,169.00
00005064	0000	06/30/2009	VEHICLE MOUNTED RADIO	EQ	4,414.00
00005065	0000	06/15/2009	BUSH HOG RTH88-03 ROTARY	EQ	4,500.00
00005067	0000	05/22/1990	4 SHELF BOOK CASES	FUR	1,240.00
00005068	0000	05/23/1990	4 SHELF BOOK CASES	FUR	1,240.00
00005069	0000	05/22/1990	4 SHELF BOOK CASES	FUR	1,240.00
00005071	0000	05/22/1990	WOOD CONSOLE CREDENZA	FUR	616.00
00005072	0000	10/18/2002	PELTON CRANE FLEX WORKSTATION	EQ	4,801.00
00005073	0000	10/18/2002	PELTON CRANEFLEX DEL. 12:00	EQ	3,587.00
00005074	0000	10/18/2002	PELTON CRANE DENTAL CHAIR W/ NARROW BK	EQ	4,722.00
00005075	0000	08/22/2001	WELCH ALLEN AUDIO PATH	EQ	3,190.00
00005077	0000	06/02/2004	SATELLITE RECEIVER	EQ	799.95
00005079	0000	10/21/2005	DELL OPTIPLEX GX620	EQ	1,470.71
00005080	0000	06/02/2005	SWEEPZONE AG310 ULTRASONIC	EQ	1,045.19
00005082	0000	07/12/2005	SYSTEM FURNITURE	FUR	4,670.48
00005085	0000	07/12/2005	SYSTEM FURNITURE	FUR	4,680.00
00005087	0000	07/12/2005	SYSTEM FURNITURE	FUR	3,592.70

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005089	0000	03/16/2006	PELTON CRANE SLATE BLUE CHAIR	EQ	4,370.00
00005090	0000	03/16/2006	PELTON CRANE POST MOUNT LIGHT	EQ	1,015.00
00005092	0000	03/16/2006	ULTRAVAC ACA95911	EQ	3,349.00
00005093	0000	03/16/2006	KAVO QUATROCARE HANDPIECE MAINT SYS	EQ	2,627.00
00005094	0000	10/01/2006	DEFIBRILLATOR	EQ	1,150.00
00005095	0000	10/01/2006	AIR TECHNIQUE PERI PRO I PROCESSOR	EQ	1,656.88
00005097	0000	12/20/2005	PROVIDER'S SYSTEMS FURNITURE	FUR	4,675.20
00005099	0000	12/20/2005	LAB'S SYSTEMS FURNITURE	FUR	1,792.16
00005102	0000	06/23/2006	IMMUNIZATION SYSTEM FURNITURE	FUR	2,469.00
00005108	0000	03/23/2007	HP PROCURVE SWITCH	EQ	1,622.13
00005109	0000	04/05/2007	HON 600 WIDE LATERAL FILE 5 DRAWER	FUR	1,023.60
00005110	0000	04/05/2007	HON 600 WIDE LATERAL FILE 5 DRAWER	FUR	1,023.60
00005113	0000	06/08/2007	HON 600 WIDE LATERAL FILE 5 DRAWER	FUR	1,023.30
00005119	0000	09/06/2006	SANYO REFRIGERATOR	EQ	2,978.00
00005120	0000	09/06/2006	SANYO REFRIGERATOR	EQ	2,978.00
00005131	0000	06/07/2007	OPTIPLEX 745 ULTRA SMALL PENTIUM D	EQ	1,147.70
00005148	0000	06/18/2008	ROTARY FILE CABINET	FUR	3,538.71
00005150	0000	06/19/2008	LATITUDE D830 NOTEBOOK	EQ	1,214.40
00005158	0000	06/06/2008	DENTAL LIGHT CHAIR MOUNTED	EQ	1,463.00
00005160	0000	06/07/2008	DENTSPLY NOR CAVITRON SELECT SCALER	EQ	2,235.00
00005161	0000	06/06/2008	ROYAL DENTAL CHAIR	EQ	4,033.00
00005164	0000	06/07/2008	DENTSPLY NOR CAVITRON SELECT SPS SCALER	EQ	2,235.00
00005165	0000	06/07/2008	INSTRUMENTAL FOCUS 85 IN ARM REACH	EQ	4,383.00
00005166	0000	06/07/2008	PELTON CRANE CRA DELTA STERILLIZER	EQ	4,569.00
00005177	0000	06/30/2009	HEAT PUMP - 13S HP R22 208/230-1	EQ	1,139.00
00005178	0000	06/30/2009	AC UNITS	EQ	1,723.00
00005179	0000	06/30/2009	AC UNITS	EQ	1,723.00
00005180	0000	06/30/2009	AC UNITS	EQ	1,723.00
00005181	0000	06/30/2009	AIR CONDITIONER UNIT	EQ	1,200.00
00005186	0000	08/25/2009	37" SHARP AQUOS 1080P LCD & BLUE-RAY HDTV COMBO	EQ	1,098.00
00005187	0000	08/25/2009	37" SHARP AQUOS 1080P LCD & BLUE-RAY HDTV COMBO	EQ	1,098.00
00005188	0000	08/25/2009	EHP SYSTEM II E SWING - ARM, HIGH PERFORMANCE TIRE	EQ	4,102.66
00005189	0000	08/25/2009	HEAT PUMP 2-1/2 TON R22	EQ	1,277.98
00005196	0000	09/08/2009	BUFFALO LINKSTATION QUAD 8TB NAS;LS-Q8.0TL/R5	EQ	1,475.00
00005197	0000	09/15/2009	NEGATIVE VACUUM BULB CRUSHER	EQ	4,612.08
00005198	0000	09/30/2009	KEISER FORCE MACHINE, MODEL # 006070	EQ	3,147.32
00005206	0000	09/30/2009	VERTEX VXR-9000 VHF REPEATER, 50 WATT,	EQ	1,199.44
00005208	0000	12/09/2008	AIRPORT 12" UNLIT WIND CONE	EQ	2,489.53
00005209	0000	10/01/2009	2005 PETERBUILT 330 WATER TRUCK (4500 GAL CAP)	EQ	0.00
00005243	0000	12/30/2008	ROUTER/HUB	EQ	2,100.00
00005245	0000	08/18/2009	AS/400 ULTRIUM II TAPE DRIVE (INTERNAL DRIVE)	EQ	2,100.00
00005246	0000	08/18/2009	ULTRIUM TAPE DRIVE FOR IMAGE SERVER (INTERNAL DR)	EQ	1,500.00
00005247	0000	08/18/2009	BACKUP EXEC W/SQL - SOFTWARE	EQ	1,650.00
00005248	0000	02/02/2009	OMATION ENVELOPER (LETTER OPENER) MODEL# 2100	EQ	3,164.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005250	0000	09/30/2009	MBM FOLDING MACHINE	EQ	4,057.10
00005251	0000	09/30/2009	HP LJ P4015X PRINTER	EQ	1,910.00
00005253	0000	04/14/2009	UE MASTER COLLECTION CS4 - ADOBE SOFTWARE	EQ	2,309.37
00005254	0000	04/14/2009	GOVT AOO CS4 DESIGN PREMIUM - ADOBE SOFTWARE	EQ	1,670.45
00005261	0000	09/30/2009	SHELVING UNITS - FY 2009	FUR	3,271.95
00005262	0000	09/30/2009	SHELVING UNITS - FY 2009	FUR	3,271.95
00005263	0000	09/30/2009	SHELVING UNITS - FY 2009	FUR	3,271.95
00005274	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	1,871.50
00005275	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	1,706.50
00005276	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,561.50
00005277	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,561.50
00005278	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,561.50
00005279	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,561.50
00005280	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,267.50
00005281	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,163.50
00005282	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,163.50
00005283	0000	12/21/2009	CLIMATE CONTROL UNIT	EQ	2,163.50
00005309	0000	03/09/2010	ITEC TANK BOSS H-TANK CARTLIFT	EQ	1,825.00
00005315	0000	01/12/2010	2009 TRIPLE CROWN 6X16 UTILITY TANDEM	VH	1,764.00
00005317	0000	05/11/2010	OPTIMUX-106 4 CHANNEL T1 FIBER MULTIPLEXER	EQ	1,561.68
00005318	0000	05/11/2010	OPTIMUX-106 4 CHANNEL T1 FIBER MULTIPLEX	EQ	1,561.68
00005322	0000	01/12/2010	82" ROOT GRAPPLE - BOBCAT	EQ	2,460.00
00005323	0000	01/05/2010	2009 TRIPLE CROWN 7X20 EQUIPMENT 14K	VH	3,550.00
00005342	0000	06/29/2010	EARLY LITERACY STATION W/ PRINTERS	EQ	2,800.00
00005343	0000	06/29/2010	SHELVING FOR CHILDRENS DEPT	FUR	4,609.60
00005345	0000	07/26/2010	DELL OPTIPLEX 960 - CIRCUIT 7	EQ	1,176.72
00005351	0000	09/21/2010	DELL LATITUDE E6510 NOTEBOOK - PUBLIC DEFENDER	EQ	1,157.52
00005352	0000	09/21/2010	DELL LATITUDE E6510 NOTEBOOK - PUBLIC DEFENDER	EQ	1,157.52
00005357	0000	07/22/2010	HVAC 15S HP GRILLE R410 3T	EQ	1,792.00
00005365	0000	09/30/2010	NIKON USA D5000 DIGITAL SLR CAMERA BODY	EQ	1,037.00
00005366	0000	09/28/2010	SVR-250 800MHZ VEHICULAR REPEATER	EQ	1,928.83
00005367	0000	09/28/2010	SVR-250 800MHZ VEHICULAR REPEATER	EQ	1,928.83
00005368	0000	09/28/2010	SVR-250 800MHZ VEHICULAR REPEATER	EQ	1,928.84
00005370	0000	09/21/2010	APOLLYON 2RT TRAFFIC COUNTERS	EQ	1,195.00
00005371	0000	09/21/2010	APOLLYON 2RT TRAFFIC COUNTERS	EQ	1,195.00
00005372	0000	09/21/2010	APOLLYON 2RT TRAFFIC COUNTERS	EQ	1,195.00
00005373	0000	09/24/2010	20' CARGO CONTAINER, "NEW"/ONE-TRIP	EQ	3,475.00
00005374	0000	09/24/2010	20' CARGO CONTAINER, USED.	EQ	2,175.00
00005375	0000	09/30/2010	CAP PALLET RACK SYSTEMT	FUR	3,948.14
00005383	0000	09/30/2010	BRODART 73-015-S00 (089 NATURAL OAK WOOD STAIN)	FUR	1,195.14
00005384	0000	09/30/2010	BRODART 73-015-S00 (089 NATURAL OAK WOOD STAIN)	FUR	1,195.14
00005385	0000	09/30/2010	HVAC UNIT - CARVER GYM	EQ	3,150.00
00005385	0001	09/30/2010	HVAC CONDENSING UNIT - CARVER GYM	EQ	2,083.50
00005386	0000	09/30/2010	HVAC UNIT - CARVER GYM	EQ	3,150.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005386	0001	09/30/2010	HVAC CONDENSOR - CARVER GYM	EQ	2,083.50
00005387	0000	09/28/2010	HVAC UNIT - HEALTH DEPT	EQ	1,303.00
00005387	0001	09/28/2010	HVAC CONDENSOR - HEALTH DEPT	EQ	862.00
00005388	0000	09/28/2010	HVAC UNIT - HEALTH DEPT	EQ	1,303.00
00005388	0001	09/28/2010	HVAC CONDENSOR - HEALTH DEPT	EQ	862.00
00005418	0000	03/29/2010	YOUNG ADULT SHELVING FICTION(A-G)	FUR	3,533.08
00005419	0000	09/29/2010	YOUNG ADFULT SHELVING FICTION(G-L)	FUR	3,533.08
00005420	0000	09/30/2010	OMATION LETTER OPENER	EQ	3,164.00
00005421	0000	09/30/2010	SANYO XGA LCD 3500 LUM	EQ	1,060.35
00005422	0000	09/30/2010	DELL OPTIPLEX 780 COMPUTER	EQ	1,076.34
00005423	0000	09/30/2010	DELL OPTIPLEX 780 COMPUTER	EQ	1,138.60
00005424	0000	09/30/2010	DELL PRECISION T3500	EQ	1,854.00
00005425	0000	09/30/2010	DELL PRECISION T3500	EQ	1,854.00
00005426	0000	01/29/2010	CA THREAT MANAGER SOFTWARE	EQ	1,062.36
00005427	0000	06/17/2010	APC 2200XL SMART UPS	EQ	1,070.00
00005428	0000	09/29/2010	WATCHGUARD FIREWALL X550E	EQ	2,245.00
00005429	0000	09/29/2010	HP PRO 3130-I3-540 PC	EQ	1,287.00
00005431	0000	09/29/2010	HP PRO 3130-I3-540 PC	EQ	1,287.00
00005432	0000	09/29/2010	HP PRO 3130-I3-540 PC	EQ	1,287.00
00005433	0000	09/30/2010	MICROSOFT SQL 2008 UPGRADE	EQ	1,954.00
00005435	0000	09/29/2010	TANDBERG OTO-2 200/400 GIG TAPEDRIVE	EQ	1,900.00
00005436	0000	09/29/2010	SYMMANTEC BACKUPEXEC WITH SQL AGENT	EQ	1,530.00
00005437	0000	09/29/2010	SYMANTEC BE UPGRADE FOR EXISTING SERVER	EQ	1,060.00
00005438	0000	09/29/2010	MICROSOFT SQL SERVER WITH 5 CAL'S	EQ	1,954.00
00005440	0000	04/22/2010	SCALE COMPUTING SN1000/STORAGE DEVICE	EQ	3,800.34
00005441	0000	04/22/2010	SCALE COMPUTING SN1000/STORAGE DEVICE	EQ	3,800.33
00005442	0000	04/22/2010	SCALE COMPUTING SN1000/STORAGE DEVICE	EQ	3,800.33
00005444	0000	09/30/2010	IKON SP 4210 MICR PRINTER/CHECK SIGNER	EQ	1,312.94
00005445	0000	09/30/2010	LENOVO LAPTOP/DOCKING STATION AND MONITORS	EQ	1,464.00
00005445	0001	09/30/2010	RECORDING SOFTWARE AND EQUIPEMENT	EQ	2,691.66
00005447	0001	09/30/2010	RECORDING SOFTWARE AND EQUIPMENT	EQ	2,691.67
00005451	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005452	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005453	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005454	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005455	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005456	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005457	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005458	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005459	0000	09/30/2010	FUJITSU FI-6140 SCANNER	EQ	1,369.20
00005481	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-ENGINE 16	EQ	3,750.00
00005482	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-ENGINE 92	EQ	3,750.00
00005483	0000	02/08/2011	OPTICOM GPS PREEEMPTION VEH KIT-ENGINE 41	EQ	3,750.00
00005484	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-BAT CHIEF	EQ	3,750.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005485	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-RESCUE 11 MM	EQ	3,750.00
00005486	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-RESCUE 41 MM	EQ	3,750.00
00005487	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-RESCUE 21 MEDTEC	EQ	3,750.00
00005488	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-RESCUE 22 MEDTEC	EQ	3,750.00
00005489	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-RESCUE 92 BRAUN	EQ	3,750.00
00005490	0000	02/08/2011	OPTICOM GPS PREEMPTION VEH KIT-RESCUE 21 BRAUN	EQ	3,750.00
00005494	0000	03/08/2011	20' CARGO CONTAINER	EQ	3,950.00
00005496	0000	03/14/2011	HVAC UNIT - CARVER GYM	EQ	1,727.00
00005496	0001	01/11/2011	DUCTWORK FOR HVAC SYSTEM	EQ	754.37
00005497	0000	03/14/2011	HVAC UNIT - CARVER GYM	EQ	1,727.00
00005497	0001	01/11/2011	DUCTWORK FOR HVAC SYSTEM	EQ	754.38
00005499	0000	03/21/2011	LENOVO THINKPAD T510 4314 LAPTOP	EQ	1,050.00
00005501	0000	03/21/2011	DEFIBRILLATOR FOR HEALTH CLINIC	EQ	1,602.25
00005502	0000	11/29/2010	HVAC UNIT - HEALTH DEPARTMENT	EQ	3,082.00
00005503	0000	05/09/2011	ECG ATRIA 3100 MACHINE	EQ	3,358.00
00005506	0000	01/11/2011	HVAC UNIT - HEALTH DEPARTMENT	EQ	1,122.00
00005512	0000	01/04/2011	LIBRARY SHELVING AND FURNITURE	FUR	2,347.36
00005513	0000	01/04/2011	LIBRARY SHELVING AND FURNITURE	FUR	2,347.36
00005514	0000	01/04/2011	LIBRARY SHELVING AND FURNITURE	FUR	2,347.37
00005515	0000	01/04/2011	LIBRARY SHELVING AND FURNITURE	FUR	2,347.37
00005516	0000	01/04/2011	LIBRARY SHELVING AND FURNITURE	FUR	2,347.37
00005517	0000	01/04/2011	LIBRARY SHELVING AND FURNITURE	FUR	2,347.37
00005520	0000	01/23/2009	SWEEPZONE AG310R CLEANER	EQ	2,495.00
00005521	0000	01/23/2009	PROGENY INC XRAY JB70 76" ARM	EQ	3,492.00
00005523	0000	02/22/2006	HP LASERJET 4250N PRINTER	EQ	1,148.00
00005525	0000	01/26/2009	RITTER 2222 EXAM TABLE	EQ	4,082.92
00005527	0000	05/12/2009	LACASSE MOBILE SERVING CART	EQ	1,128.00
00005528	0000	10/01/2009	VITAL SIGNS MONITOR	EQ	1,997.00
00005534	0000	06/01/2010	DENTAL RECORD FILING CABINET	FUR	1,466.08
00005536	0000	05/12/2010	RITTER POWER EXAM TABLE	EQ	4,235.00
00005537	0000	01/26/2010	HP COLOR LASER JET CP3525X	EQ	1,194.00
00005546	0000	06/06/2011	CV3000 VENTILATOR	EQ	1,475.00
00005547	0000	06/06/2011	CV3000 VENTILATOR	EQ	1,475.00
00005550	0000	06/20/2011	TRIPLE CROWN 6' X 12' UTILITY TRAILER	VH	1,289.00
00005556	0000	08/08/2011	LENOVO THINKPAD T520 LAPTOP	EQ	1,019.40
00005558	0000	08/15/2011	ELO TOUCHSCREEN DVR	EQ	1,065.86
00005561	0000	07/26/2011	EDI SECURE DCP240+ DIRECT CARD PRINTER	EQ	3,800.25
00005564	0000	02/07/2011	LIVE SCAN LAPTOP	EQ	2,835.00
00005565	0000	03/03/2011	AED MACHINE	EQ	1,369.00
00005567	0000	05/02/2011	DELL MOBILE PRECISION M6500 CARBIDE SILVER	EQ	2,310.48
00005568	0000	05/05/2011	AUTO LOCKING CART	FUR	2,497.60
00005573	0000	09/30/2011	HIVEMANAGER VIRTUAL APPLIANCE	EQ	1,785.73
00005581	0000	09/30/2011	CV3000 VENTILATOR	EQ	1,475.00
00005582	0000	09/30/2011	CV3000 VENTILATOR	EQ	1,475.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005589	0000	02/16/2011	FUJITSU 6130 SCANNER	EQ	1,000.00
00005590	0000	02/16/2011	FUJITSU 6130 SCANNER	EQ	1,000.00
00005594	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005595	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005596	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005597	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005598	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005599	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005600	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005601	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005602	0000	09/30/2011	HP 500MT PC	EQ	999.00
00005603	0000	09/30/2011	SQL 2008 SERVER FOR GIS SERVER	EQ	1,955.00
00005606	0000	09/08/2011	HP DESIGNJET T790 44IN EPRINTER	EQ	4,547.49
00005607	0000	09/08/2011	DELL PRESSION T3500	EQ	2,696.48
00005608	0000	09/13/2011	HP LI P4015X	EQ	1,670.00
00005609	0000	09/26/2011	ABM AKILES SEMI AUTOMATIC BOOKLET MAKER	EQ	1,873.70
00005611	0000	08/29/2011	STAPLEX TBS-1.5 TABSTER ELECTRIC WAFER TABBER	EQ	1,126.36
00005613	0000	09/23/2011	BALLOT SORTING STATION	FUR	1,945.00
00005614	0000	09/28/2011	CUSTOM CABINETS W/ DOORS AND WHEELCHAIR ACCESS 17'	FUR	3,495.00
00005617	0000	06/13/2011	ESRI ARCHVIEW 10.X SINGLE USE LICENSE	EQ	1,290.00
00005651	0000	01/30/2012	CV3000 VENTILATOR	EQ	1,421.00
00005652	0000	01/30/2012	CV3000 VENTILATOR	EQ	1,421.00
00005653	0000	01/30/2012	CV3000 VENTILATOR	EQ	1,421.00
00005654	0000	01/30/2012	CV3000 VENTILATOR	EQ	1,421.00
00005659	0000	03/26/2012	DELL POWEREDGE R510 SERVER	EQ	4,098.64
00005660	0000	03/26/2012	SHELVING UNITS FOR VEHICLE STORAGE BLDG# 8	FUR	4,684.18
00005669	0000	02/20/2012	HVAC SYSTEM - ESPANOLA COMMUNITY CENTER	EQ	2,895.50
00005670	0000	02/20/2012	HVAC SYSTEM - ESPANOLA COMMUNITY CENTER	EQ	2,895.50
00005671	0000	02/20/2012	HVAC SYSTEM - ESPANOLA STATION 51	EQ	2,895.50
00005673	0000	02/20/2012	HVAC SYSTEM - MARINELAND	EQ	2,287.50
00005674	0000	02/20/2012	HVAC UNIT - HOLDEN HOUSE	EQ	1,659.50
00005677	0000	05/01/2012	RESPIREX EASY ONE SPIROMETER WITH CRADLE	EQ	1,392.41
00005678	0000	05/21/2012	DELL OPTIPLEX 790 MINITOWER	EQ	1,156.62
00005697	0000	06/18/2012	LP15 AC POWER SUPPLY - R92	EQ	1,185.75
00005698	0000	06/18/2012	LP15 AC POWER SUPPLY - E92	EQ	1,185.75
00005699	0000	06/18/2012	LP15 AC POWER SUPPLY - R51	EQ	1,185.75
00005700	0000	06/18/2012	LP15 AC POWER SUPPLY - R11	EQ	1,185.75
00005701	0000	06/18/2012	LP15 AC POWER SUPPLY - R22	EQ	1,185.75
00005702	0000	06/18/2012	LP15 AC POWER SUPPLY - R21	EQ	1,185.75
00005703	0000	06/18/2012	LP15 AC POWER SUPPLY - R41	EQ	1,185.75
00005704	0000	06/18/2012	LP15 AC POWER SUPPLY - E41	EQ	1,185.75
00005705	0000	06/18/2012	LP15 AC POWER SUPPLY - FIREFLIGHT	EQ	1,185.75
00005706	0000	06/18/2012	LP15 AC POWER SUPPLY - E-16	EQ	1,185.75
00005707	0000	06/18/2012	LP15 AC POWER SUPPLY - R-SPARE 1	EQ	1,185.75

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005708	0000	06/18/2012	LP15 AC POWER SUPPLY - R-SPARE 2	EQ	1,185.75
00005709	0000	06/18/2012	LP15 AC POWER SUPPLY - R-SPARE 3	EQ	1,185.75
00005710	0000	06/18/2012	LP15 AC POWER SUPPLY - R-SPARE 4	EQ	1,185.75
00005711	0000	06/18/2012	LP15 AC POWER SUPPLY - R-SPARE 5	EQ	1,185.75
00005712	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 92	EQ	3,203.65
00005713	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 92	EQ	3,203.65
00005714	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 51	EQ	3,203.65
00005715	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 11	EQ	3,203.65
00005716	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 22	EQ	3,203.65
00005717	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 21	EQ	3,203.65
00005718	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 41	EQ	3,203.65
00005719	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 41	EQ	3,203.65
00005720	0000	06/18/2012	LP15 STATION BATTERY CHARGER - STA 16	EQ	3,203.65
00005721	0000	06/18/2012	LP15 STATION BATTERY CHARGER - R-SPARE 6 -TRAINING	EQ	3,203.65
00005728	0000	07/02/2012	PRINCESS PLACE PRESERVE - HVAC UNIT	EQ	2,297.00
00005729	0000	07/02/2012	PRINCESS PLACE PRESERVE - HVAC UNIT	EQ	2,062.00
00005730	0000	07/02/2012	HVAC UNIT - VETERANS	EQ	1,581.00
00005731	0000	07/02/2012	HVAC - FOOD PANTRY	EQ	2,657.00
00005732	0000	07/16/2012	DELL LATITUDE E6520 LAPTOP	EQ	1,066.16
00005737	0000	07/16/2012	DELL LATITUDE E6520 LAPTOP	EQ	1,066.16
00005739	0000	07/16/2012	DELL LATITUDE E6520 LAPTOP	EQ	1,066.16
00005748	0000	07/16/2012	DELL LATITUDE E6520 LAPTOP	EQ	1,066.16
00005759	0000	08/20/2012	APC SUA3000XL UPS	EQ	1,220.00
00005760	0000	08/20/2012	APC SUA3000XL UPS	EQ	1,220.00
00005762	0000	03/29/2012	LENOVO T420S LAPTOP AND DOCKING STATION	EQ	1,795.00
00005763	0000	03/29/2012	LENOVO T420S LAPTOP AND DOCKING STATION	EQ	1,795.00
00005767	0000	08/31/2012	APC NETSHELTER SX 42U	EQ	1,975.00
00005774	0000	08/28/2012	LENOVO T420 LAPTOP WITH DOCKING STATION	EQ	1,362.28
00005776	0000	08/27/2012	PRESSURE WASHER PRO MODEL E4040HGI HEAVY DUTY	EQ	1,285.99
00005777	0000	09/24/2012	FIELD SCOUT EC110 METER	EQ	1,188.50
00005784	0000	09/17/2012	APC SMART UPS 3000RM	EQ	1,222.00
00005804	0000	09/26/2012	AIR CART, TECHNICAL RESCUE TEAM	EQ	4,435.00
00005816	0000	09/28/2012	HVAC UNIT JC DATA ROOM	EQ	3,501.00
00005817	0000	09/14/2012	HVAC UNIT - PPP	EQ	1,627.00
00005818	0000	09/14/2012	HVAC - STATION 92	EQ	1,627.00
00005827	0000	07/27/2012	VAV BOX FOR EOC	EQ	1,021.00
00005840	0000	06/18/2012	LIFEPACK 1000 AED	EQ	2,084.53
00005841	0000	06/18/2012	LIFEPACK 1000 AED	EQ	2,084.53
00005842	0000	06/18/2012	LIFEPACK 1000 AED	EQ	2,084.53
00005843	0000	06/18/2012	LIFEPACK 1000 AED	EQ	2,084.52
00005844	0000	06/18/2012	LIFEPACK 1000 AED	EQ	2,084.52
00005845	0000	06/18/2012	LIFEPACK 1000 AED	EQ	2,084.52
00005846	0000	06/18/2012	LIFEPACK 1000 AED	EQ	2,084.52
00005847	0000	09/30/2012	18 EVID STATION - LOT 8	EQ	0.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005847	0001	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0002	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0003	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0004	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0005	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0006	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0007	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0008	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0009	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0010	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0011	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0012	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0013	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0014	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0015	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0016	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0017	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005847	0018	09/30/2012	EVID STATION - LOT 8	EQ	2,995.00
00005848	0000	10/31/2011	CURRENCY DISCRIMINATOR	EQ	2,695.00
00005855	0000	07/02/2012	REDBEAM ASSET TRACKING SOFTWARE	EQ	1,015.00
00005858	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005859	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005860	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005861	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005862	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005863	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005864	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005865	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005866	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005867	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005868	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005869	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005870	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005871	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005872	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005873	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005874	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005875	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005876	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005877	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005878	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005879	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005880	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005881	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00



**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

<b>Asset #</b>	<b>Imp #</b>	<b>Acquisition Date</b>	<b>Item Description</b>	<b>Type Code</b>	<b>Purchase Cost</b>
00005882	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005883	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005884	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005885	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005886	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005887	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005888	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005889	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005890	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005891	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005892	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005893	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005894	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005895	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005896	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005897	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005898	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005899	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005900	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005901	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005902	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005903	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005904	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005905	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005906	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005907	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005908	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005909	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005910	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005911	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005912	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005913	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005914	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005915	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005916	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005917	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005918	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005919	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005920	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005921	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005922	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005923	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005924	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00
00005925	0000	11/13/2012	FIREHAWK M7 MSA HARNESS	EQ	3,375.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00005926	0000	11/13/2012	PREMAIRE CADET ESCAPE PACK	EQ	1,050.00
00005927	0000	11/13/2012	PREMAIRE CADET ESCAPE PACK	EQ	1,050.00
00005928	0000	11/13/2012	PREMAIRE CADET ESCAPE PACK	EQ	1,050.00
00005930	0000	12/26/2012	OPTIPLEX 390 MINITOWER	EQ	1,069.98
00005931	0000	02/25/2013	DESK BOW TOP DESK AND CREDENZA	FUR	2,248.87
00005935	0000	03/11/2013	AXIS P1346-E NETWORK CAMERA	EQ	1,317.00
00005948	0000	04/22/2013	AXIS P1346-E OUTDOOR NETWORK CAMERA	EQ	1,317.00
00005949	0000	04/15/2013	AXIS P1346-E OUTDOOR NETWORK CAMERA	EQ	1,317.00
00005950	0000	04/15/2013	ZOELLER WD7010 2HP 230V GRINDER PUMP	EQ	1,098.00
00005951	0000	04/15/2013	ZOELLER WD7010, 2HP 230V GRINDER PUMP	EQ	1,098.00
00005952	0000	04/15/2013	ZOELLER WD7010, 2HP 230V GRINDER PUMP	EQ	1,098.00
00005953	0000	04/15/2013	ZOELLER WD7010, 2HP 230V GRINDER PUMPS	EQ	1,098.00
00005956	0000	12/17/2012	30" BEIGE AUTO LOCK CART	EQ	1,655.00
00005957	0000	12/17/2012	30" BEIGE AUTO LOCK CART	EQ	1,655.00
00005963	0000	10/01/2012	DELL LATITUDE E5420	EQ	1,086.60
00006017	0000	07/01/2013	CANNON IMAGE FORMULA DR-6010C SCANNER	EQ	2,080.00
00006018	0000	07/01/2013	CANNON IMAGE FORMULA DR-6010C SCANNER	EQ	2,080.00
00006019	0000	07/01/2013	CANNON IMAGE FORMULA DR-6010C SCANNER	EQ	2,080.00
00006020	0000	07/01/2013	CANNON IMAGE FORMULA DR-6010C SCANNER	EQ	2,080.00
00006021	0000	07/01/2013	CANNON IMAGE FORMULA DR-6010C SCANNER	EQ	2,080.00
00006022	0000	07/01/2013	CANNON IMAGE FORMULA DR-6010C SCANNER	EQ	2,080.00
00006023	0000	07/01/2013	LENOVO THINKPAD T530 LAPTOP	EQ	1,257.00
00006024	0000	07/01/2013	LENOVO THINKPAD T530 LAPTOP	EQ	1,257.00
00006027	0000	05/20/2013	SHELVING UNIT FOR THE HANGAR - MEDICAL SUPPLIES	FUR	1,275.00
00006029	0000	05/20/2013	XG-75,764-870 MHZ RADIOS	EQ	2,860.79
00006030	0000	05/20/2013	XG-75,764-870 MHZ RADIO	EQ	2,860.79
00006031	0000	05/20/2013	XG-75,764-870 MHZ RADIO	EQ	2,860.79
00006032	0000	05/20/2013	XG-75,764-870 MHZ RADIO	EQ	2,860.80
00006033	0000	05/20/2013	XG-75,764-870 MHZ RADIO	EQ	2,860.80
00006034	0000	05/20/2013	XG-75,764-870 MHZ RADIO	EQ	2,860.80
00006035	0000	05/20/2013	XG-75,764-870 MHZ RADIO	EQ	2,860.80
00006036	0000	05/13/2013	XG-75,764-870 MHZ RADIO	EQ	2,863.18
00006037	0000	05/13/2013	XG-75,764-870 MHZ RADIO	EQ	2,863.18
00006038	0000	05/13/2013	XG-75,764-870 MHZ RADIO	EQ	2,863.18
00006039	0000	05/13/2013	XG-75,764-870 MHZ RADIO	EQ	2,863.18
00006040	0000	05/13/2013	XG-75,764-870 MHZ RADIO	EQ	2,863.17
00006041	0000	05/13/2013	XG-75,764-870 MHZ RADIO	EQ	2,863.17
00006044	0000	05/28/2013	STINGER 2.0 DECK GUN - T16	EQ	1,100.88
00006045	0000	05/28/2013	RAM RAPID ATTACK MONITOR - T16	EQ	1,600.00
00006046	0000	05/28/2013	RAM RAPID ATTACK MONITOR	EQ	1,600.00
00006047	0000	05/28/2013	STINGER 2.0 DECK GUN	EQ	1,100.88
00006048	0000	05/28/2013	2013 FREEDOM TRAILER	VH	3,552.00
00006054	0000	08/05/2013	FIELD MASTER INFIELD GROOMER (MODEL FM61)	EQ	3,474.15
00006086	0000	08/19/2013	HUSQVARNA K970 RESCUE SAW, 14" BLADE	EQ	1,080.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006088	0000	08/15/2013	3 TON HVAC UNIT - 2ND FLOOR JC UPS ROOM	EQ	4,100.39
00006091	0000	09/30/2013	HYDRAULIC CLAMP	EQ	1,547.40
00006092	0000	09/30/2013	AXIS P1357-E OUTDOOR CAMERA	EQ	1,231.12
00006093	0000	09/30/2013	AXIS P1357-E OUTDOOR CAMERA	EQ	1,231.12
00006094	0000	09/30/2013	AXIS P1357-E OUTDOOR CAMERA	EQ	1,231.12
00006095	0000	09/30/2013	AXIS P1357-E OUTDOOR CAMERA	EQ	1,231.12
00006097	0000	09/30/2013	PROXIM WIRELESS TSUNAMI QB-8250 LINK	EQ	2,249.25
00006099	0000	09/30/2013	PROXIM WIRELESS TSUNAMI QB-8250 LINK	EQ	2,249.25
00006100	0000	09/30/2013	AXIS P1357-E OUTDOOR	EQ	1,231.12
00006106	0000	09/30/2013	ICE MACHINE FOR PARKS SHOP	EQ	2,742.18
00006108	0000	09/30/2013	FIRE HOSE TESTING PUMP	EQ	2,224.00
00006110	0000	06/03/2013	HVAC UNIT FOR CIVIC ARENA RESTROOMS	EQ	1,167.07
00006111	0000	06/03/2013	HVAC UNIT FOR CIVIC ARENA RESTROOMS	EQ	1,167.07
00006112	0000	08/19/2013	P25 MOBILE M7300 RADIO	EQ	3,776.52
00006113	0000	08/19/2013	P25 MOBILE M7300 RADIO	EQ	3,776.52
00006114	0000	07/01/2013	SURFACE WIN8 PRO 128GB TABLET	EQ	1,095.98
00006119	0000	09/30/2013	LENOVO THINKPAD T530 LAPTOP	EQ	1,257.00
00006120	0000	09/30/2013	LENOVO THINKPAD T530 LAPTOPS	EQ	1,257.00
00006121	0000	09/30/2013	LENOVO THINKPAD T530 LAPTOP	EQ	1,257.00
00006122	0000	09/30/2013	LENOVO THINKPAD T530 LAPTOP	EQ	1,257.00
00006127	0000	09/30/2013	LENOVO THINKPAD T530 LAPTOP	EQ	1,257.00
00006130	0000	09/30/2013	FUJITSU FI-6140 SCANNER	EQ	1,300.00
00006131	0000	09/30/2013	FUJITSU FI-6140 SCANNER	EQ	1,300.00
00006132	0000	09/30/2013	FUJITSU FI-6140 SCANNER	EQ	1,300.00
00006133	0000	09/30/2013	FUJITSU FI-6140 SCANNER	EQ	1,300.00
00006134	0000	08/05/2013	HVAC UNIT FOR HAMMOCK COMMUNITY CENTER	EQ	2,559.50
00006135	0000	08/05/2013	HVAC UNIT FOR HAMMOCK COMMUNITY CENTER	EQ	2,559.50
00006140	0000	09/23/2013	HVAC UNIT	EQ	1,167.07
00006141	0000	09/23/2013	HVAC UNIT	EQ	1,167.07
00006144	0000	09/30/2013	MAGICARD RIO BADGE PRINTER	EQ	2,100.00
00006145	0000	09/16/2013	SECURITY CAMERA	EQ	1,225.00
00006153	0000	09/30/2013	LENOVO M29P COMPUTER WORKSTATION	EQ	1,013.38
00006155	0000	09/30/2013	LENOVO M29P COMPUTER WORKSTATION	EQ	1,013.38
00006157	0000	09/30/2013	LENOVO M29P COMPUTER WORKSTATION	EQ	1,013.38
00006158	0000	09/30/2013	IBM SERVER X3250	EQ	1,828.00
00006159	0000	09/30/2013	IBM SERVER X3250	EQ	1,828.00
00006160	0000	09/30/2013	SSL VPN APPLIANCE	EQ	2,987.80
00006162	0000	09/30/2013	SHARP PRESENTATION SYSTEM TV	EQ	3,650.00
00006166	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00
00006167	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00
00006168	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00
00006169	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00
00006170	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00
00006171	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006172	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00
00006173	0000	09/27/2013	HP PRO 3500 PC	EQ	1,044.00
00006174	0000	09/30/2013	DELL COMPUTER T3600	EQ	1,250.75
00006175	0000	09/30/2013	DELL COMPUTER T3600	EQ	1,250.75
00006176	0000	09/30/2013	DELL COMPUTER T3600	EQ	1,250.75
00006177	0000	09/30/2013	DELL COMPUTER T3600	EQ	1,250.75
00006178	0000	09/30/2013	DELL COMPUTER T3600	EQ	1,250.75
00006179	0000	01/25/2013	HVAC UNIT JUSTICE CENTER	EQ	1,745.00
00006180	0000	08/19/2011	EVAPORATIVE COOLING UNIT	EQ	2,249.00
00006181	0000	09/03/2010	TRANSMISSION FLUID EXCHANGER	EQ	3,350.00
00006182	0000	09/30/2009	12'X24' STORAGE SHED	EQ	4,100.00
00006183	0000	09/18/2009	COMPUTERIZED KEY MACHINE	EQ	3,550.00
00006185	0000	09/25/2007	WHEEL BALANCER	EQ	3,982.00
00006186	0000	09/25/2007	TIRE MACHINE	EQ	4,001.80
00006191	0000	09/25/2007	SET OF 4 WHEEL CLAMPS AND TARGETS	EQ	3,300.00
00006192	0000	09/07/2007	AUTO LIFT; TWIN POST 10,000 LBS	EQ	3,495.95
00006193	0000	04/25/2005	12'X 24' STORAGE SHED	EQ	3,500.00
00006194	0000	09/30/2000	DIGITAL CAMERA	EQ	1,639.97
00006195	0000	09/09/2007	5 HP SHOP AIR COMPRESSOR	EQ	1,295.00
00006196	0000	09/26/2007	HILIFT TRANSMISSION JACK; 10,000 LBS	EQ	1,430.50
00006197	0000	09/26/2007	BATTERY AND CHARGING SYSTEM TESTER	EQ	1,550.00
00006214	0000	01/06/2014	HVAC UNIT FOR HELICOPTER HANGAR	EQ	1,706.31
00006215	0000	01/06/2014	HVAC UNIT FOR LANDFILL	EQ	1,897.89
00006220	0000	01/27/2014	SHELVING UNIT FOR PURCHASING	FUR	1,533.77
00006240	0000	02/10/2014	STORAGE SHED W/ GARAGE DOOR	EQ	4,386.00
00006242	0000	03/17/2014	HP LASERJET 600 M602	EQ	1,387.40
00006243	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006244	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006245	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006246	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006247	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006248	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006249	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006250	0000	01/13/2014	DELL ULTRASHARP U3014 MONITOR	EQ	1,913.77
00006257	0000	04/07/2014	VMI HYBRID DISC BUFFING UNIT	EQ	1,673.99
00006272	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006273	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006274	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006275	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006276	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006277	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006278	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006279	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006280	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006281	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006282	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006283	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006284	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006285	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006286	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006287	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006288	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006289	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006290	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006291	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006292	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006293	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006294	0000	06/09/2014	BUNKER GEAR SET (COAT AND PANTS)	EQ	1,585.45
00006295	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006296	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006297	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006298	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006299	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006300	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006301	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006302	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006303	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006304	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006305	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006306	0000	07/07/2014	DELL ULTRASHARP 30 PREMIER COLOR MONITOR U 3014	EQ	1,308.84
00006308	0000	07/07/2014	HVAC UNIT FOR STATION 71	EQ	1,646.77
00006309	0000	07/07/2014	POWERCONNECT 6224, 24 GBE SWITCH	EQ	1,780.59
00006312	0000	06/09/2014	HVAC UNIT - JOHN ANDERSON TOWER	EQ	2,646.29
00006313	0000	06/09/2014	HVAC UNIT - JOHN ANDERSON TOWER	EQ	2,646.29
00006321	0000	07/14/2014	DELL LATITUDE E5440 LAPTOP	EQ	1,126.69
00006323	0000	07/28/2014	OPTIPLEX 3020 SMALL FORM FACTORTX BASE	EQ	1,069.98
00006324	0000	07/28/2014	OPTIPLEX 3020 SMALL FORM FACTORTX BASE	EQ	1,069.98
00006325	0000	07/28/2014	OPTIPLEX 3020 SMALL FORM FACTORTX BASE	EQ	1,069.98
00006326	0000	07/28/2014	DELL LATITUDE 15 5000 SERIES	EQ	1,467.40
00006327	0000	07/28/2014	DELL LATITUDE 15 5000 SERIES	EQ	1,467.40
00006328	0000	07/28/2014	DELL LATITUDE 15 5000 SERIES	EQ	1,467.40
00006329	0000	08/04/2014	ICE MAKER FOR FACILITIES SHOP	EQ	3,222.45
00006330	0000	08/11/2014	STORAGE RACKING	FUR	1,078.31
00006331	0000	08/11/2014	STORAGE RACKING - CENTRAL STORES	FUR	1,078.31
00006332	0000	09/02/2014	STORAGE RACKING - FACILITIES	FUR	1,078.31
00006333	0000	09/02/2014	STORAGE RACKING - CENTRAL STORES	FUR	1,078.31
00006334	0000	09/02/2014	STORAGE RACKING - CENTRAL STORES	FUR	1,078.31
00006335	0000	09/02/2014	STORAGE RACKING - CENTRAL STORES	FUR	1,078.31

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006336	0000	09/02/2014	STORAGE RACKING - CENTRAL STORES	FUR	1,078.31
00006339	0000	09/02/2014	STORAGE RACKING - CENTRAL STORES	FUR	1,078.31
00006347	0000	09/15/2014	ICE MACHINE AT STATION 92	EQ	3,192.45
00006348	0000	08/11/2014	HVAC UNIT EMPLOYEE HEALTH CLINIC	EQ	1,908.99
00006349	0000	08/11/2014	HVAC UNIT - EMPLOYEE HEALTH CLINIC	EQ	2,237.53
00006357	0000	09/30/2014	PROJECTOR FOR THE OPS ROOM	EQ	3,351.19
00006358	0000	09/30/2014	PROJECTOR FOR THE OPS ROOM	EQ	3,351.19
00006359	0000	09/30/2014	PROJECTOR FOR THE OPS ROOM	EQ	3,351.19
00006360	0000	09/30/2014	PROJECTOR FOR THE OPS ROOM	EQ	3,351.19
00006362	0000	09/30/2014	TRIPP LITE 16PT KVM SWITCH	EQ	1,075.00
00006363	0000	09/30/2014	MEDVAULT 2 WITH AUDIT TRAIL, STD DOOR,	EQ	1,204.50
00006364	0000	09/30/2014	MOBILE, M7300, 800MHZ RADIO	EQ	4,379.42
00006368	0000	09/29/2014	PRESSURE PRO AST050	EQ	2,275.00
00006369	0000	09/29/2014	PRESSURE PRO AST 200 CHEMICAL SPRAY	EQ	2,850.00
00006371	0000	09/18/2014	DELL NETWORKING N3024	EQ	1,747.30
00006372	0000	10/01/2013	PANASONIC LUMIX CAMERA	EQ	1,100.00
00006374	0000	04/08/2014	DIGITAL COMP WIFI KIT SCHICK	EQ	3,562.00
00006375	0000	07/28/2014	OPTIPLEX 7010 DT	EQ	1,083.62
00006378	0000	10/01/2013	AUTO LOCK CART	EQ	1,756.00
00006381	0000	07/23/2014	POWER CONNECT 5548	EQ	2,654.05
00006385	0000	10/01/2013	DELL FORCE 10 S55 SWITCH 48 PORT	EQ	4,505.50
00006386	0000	10/01/2013	DELL FORCE 10 S55 SWITCH 48 PORT	EQ	4,505.50
00006387	0000	10/01/2013	DELL 4220 42U RACK	EQ	1,169.10
00006388	0000	10/01/2013	DELL UPS RACK TOWER	EQ	1,618.56
00006390	0000	10/01/2013	PANASONIC TOUGHBOOK SERVER ROOM	EQ	1,899.00
00006391	0000	10/01/2013	PEDIATRIC EXAM TABLE WITH DIGITAL SCALE	FUR	2,443.00
00006394	0000	09/14/2014	XPS TABLET LAPTOP	EQ	1,488.75
00006396	0000	07/23/2014	POWER CONNECT 5524	EQ	2,196.78
00006402	0000	01/08/2014	LENOVO LAPTOP	EQ	1,565.00
00006403	0000	09/25/2014	HP COLOR LASERJET	EQ	1,281.55
00006405	0000	12/18/2013	HON895 DRAWER CABINET	FUR	1,018.50
00006406	0000	06/30/2014	BTO APPLE MM COMPUTER	EQ	1,469.00
00006408	0000	09/30/2014	HP ELITE 800 COMPUTER	EQ	1,800.00
00006409	0000	09/30/2014	HP ELITE 800 COMPUTER	EQ	1,800.00
00006410	0000	09/30/2014	HP ELITE 800 COMPUTER	EQ	1,800.00
00006411	0000	09/30/2014	HP PRO 400 DESKTOP	EQ	1,320.00
00006412	0000	09/30/2014	HP PRO 400 DESKTOP	EQ	1,320.00
00006413	0000	09/30/2014	HP PRO 400 DESKTOP	EQ	1,320.00
00006416	0000	09/30/2014	LTO 5 TAPE DRIVE W/ CONTROLLER	EQ	3,700.00
00006418	0000	08/15/2014	SAFE - EVERGLADES	EQ	1,945.00
00006419	0000	08/15/2014	SAFE - EVERGLADES	EQ	1,945.00
00006420	0000	09/26/2014	SHREDDER, C525, FELLOWES, STRIP C	EQ	3,900.00
00006421	0000	09/26/2014	FUJITSU F16670 90 PPM SCANNER	EQ	4,050.00
00006422	0000	09/26/2014	OKI B930 DN PRINTER	EQ	2,962.22

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006423	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006424	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006425	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006426	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006427	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006428	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006429	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006430	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006431	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006432	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006433	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006434	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006435	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006436	0000	09/30/2014	EVID STATION	EQ	2,495.00
00006451	0000	09/30/2014	DELL LATITUDE E5540 SERIES	EQ	1,258.33
00006452	0000	09/30/2014	DELL LATITUDE E6540	EQ	1,557.21
00006455	0000	09/30/2014	DELL LATITUDE E4500 SERIES	EQ	1,176.12
00006462	0000	09/30/2014	DELL LATITUDE E5500 SERIES	EQ	1,281.76
00006467	0000	12/22/2014	OPTIPLEX 7010 MINITOWER	EQ	1,024.51
00006474	0000	10/01/2014	STORAGE RACKING-CENTRAL STORES	FUR	1,230.54
00006475	0000	10/01/2014	STORAGE RACKING-CENTRAL STORES	FUR	1,230.54
00006476	0000	10/01/2014	STORAGE RACKING-CENTRAL STORES	FUR	1,230.54
00006477	0000	10/01/2014	STORAGE RACKING-CENTRAL STORES	FUR	1,230.54
00006480	0000	01/12/2015	PEDIATRIC ALS TRAINER COMPLETE W/ARRHYTHMIA SIM	EQ	1,302.29
00006481	0000	01/12/2015	DELUXE XTREME TRAUMA MOULAGE KIT	EQ	1,688.31
00006482	0000	01/12/2015	STAT SIMULATOR ADULT DELUXE AIRWAY MANAGEMENT HEAD	EQ	1,212.37
00006483	0000	12/22/2014	DELL NETWORKING N2024 24-PORT SWITCH	EQ	1,176.89
00006484	0000	12/22/2014	DELL NETWORKING N2024 24-PORT SWITCH	EQ	1,176.89
00006485	0000	12/22/2014	DELL NETWORKING N2024 24-PORT SWITCH	EQ	1,176.89
00006486	0000	12/22/2014	DELL NETWORKING N2024 24-PORT SWITCH	EQ	1,163.42
00006487	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006488	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006489	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006490	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006491	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006492	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006493	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006494	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,606.13
00006495	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,565.40
00006496	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,565.40
00006497	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,565.40
00006498	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,565.40
00006499	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,565.39
00006500	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,565.39

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006501	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,565.39
00006502	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,551.92
00006503	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,551.92
00006504	0000	12/22/2014	DELL NETWORKING N2048 48-PORT SWITCH	EQ	1,551.92
00006509	0000	12/22/2014	DELL NETWORKING 40GB TRANSCEIVER	EQ	3,947.61
00006510	0000	12/22/2014	DELL NETWORKING 40GB TRANSCEIVER	EQ	3,947.61
00006511	0000	12/22/2014	DELL NETWORKING 40GB TRANSCEIVER	EQ	3,947.61
00006512	0000	12/22/2014	DELL NETWORKING 40GB TRANSCEIVER	EQ	3,947.61
00006514	0000	01/12/2015	LIFT JACKS FOR FLEET DEPARTMENT	EQ	1,000.00
00006515	0000	01/12/2015	LIFT JACKS FOR FLEET DEPARTMENT	EQ	1,000.00
00006516	0000	01/20/2015	LVO TS TC I5 4750 I5 WITH SAMSUNG 19 LED	EQ	1,053.81
00006517	0000	01/20/2015	ICE MAKER MACHINE -BLDG 5 - FACILITIES	EQ	2,398.05
00006520	0000	01/20/2015	WIRELESS VEHICLE DIAGNOSTIC SCANNER SYSTEM	EQ	2,150.00
00006523	0000	01/20/2015	DELL OPTIPLEX 7010 MINITOWER	EQ	1,056.87
00006536	0000	02/23/2015	MEDVAULT 2 WITH AUDIT TRAIL	EQ	1,410.00
00006537	0000	02/23/2015	MEDVAULT 2 WITH AUDIT TRAIL	EQ	1,410.00
00006538	0000	02/23/2015	MEDVAULT 2 WITH AUDIT TRAIL	EQ	1,410.00
00006540	0000	03/09/2015	STIHL TS 800 CONCRETE SAW	EQ	1,192.86
00006542	0000	03/16/2015	MEDVAULT 2 WITH AUDIT TRAIL	EQ	1,410.00
00006543	0000	03/16/2015	MEDVAULT 2 WITH AUDIT TRAIL	EQ	1,410.00
00006545	0000	03/16/2015	DELL PRECISION T360 CTO BASE	EQ	2,454.77
00006547	0000	03/16/2015	DELL PRECISION T360 CTO BASE	EQ	2,454.77
00006548	0000	03/16/2015	DELL PRECISION T360 CTO BASE	EQ	2,454.77
00006549	0000	03/16/2015	DELL PRECISION T360 CTO BASE	EQ	2,454.77
00006550	0000	03/16/2015	DELL PRECISION T360 CTO BASE	EQ	2,454.77
00006552	0000	03/16/2015	DELL PRECISION T360 CTO BASE	EQ	2,454.77
00006556	0000	04/27/2015	2015 - 7 X 16 CONTINENTAL SUNSHINE CARGO TRAILER	VH	3,499.00
00006559	0000	05/26/2015	2015 MAGIC TILT PWC TRAILER	VH	1,393.00
00006560	0000	05/26/2015	2015 MAGIC TILT PWC TRAILER	VH	1,393.00
00006561	0000	03/23/2015	ICE MACHINE FOR STATION 16 -	EQ	2,351.98
00006562	0000	04/06/2015	HVAC UNIT	EQ	2,924.00
00006563	0000	04/06/2015	HVAC UNIT	EQ	2,924.00
00006564	0000	04/06/2015	HVAC UNIT	EQ	2,584.00
00006565	0000	04/06/2015	HVAC UNIT	EQ	2,584.00
00006566	0000	04/06/2015	HVAC UNIT	EQ	2,149.00
00006567	0000	04/06/2015	HVAC UNIT	EQ	2,149.00
00006568	0000	04/06/2015	HVAC UNIT	EQ	2,734.00
00006569	0000	04/06/2015	HVAC UNIT	EQ	2,734.00
00006570	0000	04/06/2015	HVAC UNIT	EQ	2,734.00
00006571	0000	04/06/2015	HVAC UNIT	EQ	2,734.00
00006572	0000	04/06/2015	HVAC UNIT	EQ	2,734.00
00006573	0000	04/06/2015	SCBA CYLINDERS H-45 SL	EQ	1,017.00
00006574	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006575	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00



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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006576	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006577	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006578	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006579	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006580	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006581	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006582	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006583	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006584	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006585	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006586	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006587	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006588	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006589	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006590	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006591	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006592	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006593	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006594	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006595	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006596	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006597	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006598	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006599	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006600	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006601	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006602	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006603	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006604	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006605	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006606	0000	04/06/2015	SCBA CYLINDER H-45 SL	EQ	1,017.00
00006607	0000	04/06/2015	SCBA CYLINDER TAINED BREATHING APPARATUS)	EQ	1,017.00
00006609	0000	04/20/2015	PANASONIC AJ-PX270 MICRO-P2 HANDHELD CAMCORDER	EQ	4,988.00
00006610	0000	04/20/2015	PANASONIC AJ-PX270 MICRO-P2 HANDHELD CAMCORDER	EQ	4,988.00
00006612	0000	04/27/2015	HPFI REBECCA LOUNGE CHAIR	FUR	1,019.00
00006613	0000	04/27/2015	HPFI REBECCA LOUNGE CHAIR	FUR	1,019.00
00006614	0000	05/04/2015	HVAC UNIT	EQ	2,924.00
00006615	0000	05/04/2015	HVAC UNIT	EQ	2,149.00
00006617	0000	05/04/2015	DISK STATION NAS SERVER	EQ	2,200.80
00006618	0000	05/04/2015	DISK STATION SERVER	EQ	2,200.80
00006619	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006620	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006621	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006622	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006623	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006624	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006625	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006626	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006627	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006628	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006629	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006630	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006631	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006632	0000	05/04/2015	BUNKER GEAR -FIRE DEX -NOMEX	EQ	1,578.27
00006633	0000	05/04/2015	LATITUDE E6540	EQ	1,304.55
00006634	0000	05/11/2015	2015 TRIPLE CROWN 6X16TA TRAILER	VH	2,103.00
00006638	0000	05/26/2015	OPTICOM GPS GEN 11 TRAFFIC CONTROL	EQ	1,750.00
00006639	0000	05/26/2015	OPTICOM GPS GEN 11 TRAFFIC CONTROL	EQ	1,750.00
00006645	0000	06/29/2015	JAGERPRO MINE TRAPPING SYSTEM	EQ	3,600.75
00006646	0000	06/29/2015	JAGERPRO MINE TRAPPING SYSTEM	EQ	3,600.75
00006647	0000	06/29/2015	2015 MAGIC TILT PWC 1250 GALVANIZED	VH	1,393.00
00006650	0000	05/26/2015	OPTICOM GPS GEN 11 TRAFFIC CONTROL	EQ	2,000.00
00006651	0000	05/26/2015	OPTICOM GPS GEN 11 TRAFFIC CONTROL	EQ	2,000.00
00006652	0000	05/26/2015	OPTICOM GPS GEN 11 TRAFFIC CONTROL	EQ	2,000.00
00006653	0000	05/26/2015	OPTICOM GPS GEN 11 TRAFFIC CONTROL	EQ	2,000.00
00006657	0000	06/22/2015	FAST ETHERNET OVER E1/T1 INTELLEGENT CONVERTERS	EQ	1,603.74
00006658	0000	06/22/2015	FAST ETHERNET OVER E1/T1 INTELLEGENT CONVERTERS	EQ	1,603.74
00006659	0000	06/22/2015	FAST ETHERNET OVER E1/T1 INTELLEGENT CONVERTERS	EQ	1,711.46
00006660	0000	06/22/2015	FAST ETHERNET OVER E1/T1 INTELLEGENT CONVERTERS	EQ	1,711.46
00006662	0000	03/23/2015	HURST S700 STREAMLINE CUTTER	EQ	4,672.00
00006663	0000	03/23/2015	HURST HP R420 RAM	EQ	3,467.50
00006664	0000	03/23/2015	HURST HP R420 RAM	EQ	3,467.50
00006666	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006667	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006668	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006669	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006670	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006671	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006673	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006674	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006675	0000	07/27/2015	DELL PRECISION M2800	EQ	1,098.13
00006678	0000	08/10/2015	TOW SURFING RESCUE SLED-DECK COLOR RED; RAIL BLACK	EQ	1,601.67
00006679	0000	08/10/2015	TOW SURFING RESCUE SLED-DECK COLOR RED;RAIL BLACK	EQ	1,601.67
00006680	0000	08/10/2015	TOW SURFING RESCUE SLED-DECL COLOR RED; RAIL BLACK	EQ	1,601.66
00006681	0001	06/16/2015	NEC 65" LED PUBLIC DISPLAY MONITOR	EQ	2,672.69
00006681	0003	06/16/2015	NEC 65" LED PUBLIC DISPLAY MONITOR	EQ	2,672.69
00006681	0004	06/16/2015	NEC 65" LED PUBLIC DISPLAY MONITOR	EQ	2,672.69
00006681	0005	06/16/2015	NEC 65" LED PUBLIC DISPLAY MONITOR	EQ	2,672.69

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006681	0012	06/16/2015	DIGITALMEDIA 6 DM 8G+ W/3 HDMI & 2 HDMI W/2 STEREO	EQ	3,348.86
00006681	0017	06/16/2015	BIAMP TESIRA DSP SERVER W/48 CH I/O, 1 DSP-2 CARD	EQ	4,978.07
00006681	0018	06/16/2015	LISTEN ASSISTED LISTENING PKG-TRANS, 4 RF RECVR	EQ	1,405.15
00006681	0019	06/16/2015	CRESTRON 20" HD TOUCH-SCREEN	EQ	1,456.03
00006681	0021	06/16/2015	CRESTRON 3-SERIES COMPACT CONTROL SYSTEM	EQ	1,892.83
00006681	0024	06/16/2015	LIBERTY CUSTOM PLENUM CABLE SET	EQ	4,319.07
00006688	0000	09/08/2015	2015 TRIPLE CROWN UTILITY TRAILER 6'X16'	VH	1,540.80
00006690	0000	09/28/2015	AQUA 6 WHEEL JET SKI TRAILER	VH	1,287.98
00006691	0000	09/28/2015	AQUA 6 WHEEL JET SKI TRAILER	VH	1,287.98
00006694	0001	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0002	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0003	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0004	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0005	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0006	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0007	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0008	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0009	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0010	09/30/2015	HEWLET PACKARD HP ENVY 32	EQ	2,166.58
00006694	0016	09/30/2015	DELL/AVOCENT CMN: 1098-001	EQ	2,350.61
00006694	0017	09/30/2015	DELL/AVOCENT CMN: 1098-001	EQ	2,350.61
00006694	0022	09/30/2015	DELL OPTIPLEX 9020	EQ	2,307.88
00006694	0023	09/30/2015	DELL OPTIPLEX 9020	EQ	2,307.88
00006694	0024	09/30/2015	DELL OPTIPLEX 9020	EQ	2,307.88
00006694	0025	09/30/2015	DELL OPTIPLEX 9020	EQ	2,307.88
00006694	0026	09/30/2015	DELL OPTIPLEX 9020	EQ	2,307.88
00006700	0000	09/30/2015	YAMAHA 2400 WATT INVERTER GENERATOR	EQ	1,279.00
00006702	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006704	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006705	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006706	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006707	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006708	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006709	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006710	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006711	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006712	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006713	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006714	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006715	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006716	0000	09/30/2015	PANASONIC TOUGH PAD FZ-G1 TABLET	EQ	2,543.06
00006717	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006718	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006719	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006720	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006721	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006722	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006723	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006724	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006725	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006726	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006727	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006728	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006729	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006730	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006731	0000	09/30/2015	PANASONIC TOUGHBOOK CF-54	EQ	2,667.02
00006737	0000	09/30/2015	DELL N2024P SWITCH	EQ	1,877.21
00006738	0000	09/30/2015	DELL N2024P SWITCH	EQ	1,877.21
00006739	0000	09/30/2015	DELL N2048P SWITCH	EQ	2,786.35
00006742	0000	09/30/2015	DELL LATITUDE 7450	EQ	1,644.81
00006743	0000	09/30/2015	DELL LATITUDE E6540	EQ	1,406.51
00006752	0000	09/30/2015	DELL LATITUDE E5550/5550	EQ	1,177.81
00006761	0000	09/30/2015	DELL LATITUDE E5550/5550	EQ	1,177.81
00006765	0000	09/30/2015	DELL LATITUDE E5550/5550	EQ	1,012.82
00006766	0000	09/30/2015	DELL LATITUDE E5550/5550	EQ	1,012.82
00006773	0000	09/30/2015	HVAC UNIT - ENERGY PLANT	EQ	2,270.12
00006774	0000	08/14/2015	LEICA DM750 MICROSCOPE W/ CORD	EQ	1,480.80
00006775	0000	09/21/2015	FUJITSU F1-6670 DOCUMENT SCANNER	EQ	4,050.00
00006776	0000	07/01/2015	HP LASERJET 605N PRINTER	EQ	1,575.00
00006778	0000	09/28/2015	HP PRO 400 DESKTOP	EQ	1,200.00
00006780	0000	09/28/2015	HP PRO 400 DESKTOP	EQ	1,200.00
00006781	0000	09/28/2015	HP PRO 400 DESKTOP	EQ	1,200.00
00006782	0000	05/12/2015	MICROSOFT SP3 WORKSTATION	EQ	2,231.37
00006783	0000	05/12/2015	MICROSOFT SP3 WORKSTATION	EQ	2,231.37
00006784	0000	05/12/2015	MICROSOFT SP3 WORKSTATION	EQ	2,231.37
00006785	0000	05/12/2015	MICROSOFT SP3 WORKSTATION	EQ	2,231.37
00006786	0000	03/24/2015	MICROSOFT SP3 WORKSTATION	EQ	2,171.39
00006791	0000	04/07/2015	JUNIPER 320W SERVER	EQ	4,051.67
00006792	0000	04/07/2015	JUNIPER 320W SERVER	EQ	4,051.67
00006793	0000	06/30/2015	SURFACE PRO 3 WORKSTATION	EQ	2,294.00
00006798	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00
00006818	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00
00006820	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00
00006821	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00
00006824	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00
00006826	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00
00006827	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00
00006828	0000	06/30/2015	LENOVO TS P300 WORKSTATION	EQ	1,113.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006829	0000	10/05/2014	XPS 12 DELL LAPTOP	EQ	1,403.59
00006830	0000	10/19/2014	XPS 12 TABLET/LAPTOP	EQ	1,488.75
00006850	0000	11/03/2015	TYPE II ATF INDOOR MAGAZINE FCSO	EQ	2,399.00
00006851	0000	11/03/2015	SHELVING UNIT SHERIFF OPERATION CENTER	FUR	1,055.39
00006852	0000	11/03/2015	EVIDENCE LOCKER 82"H SHERIFF OPERATION CENTER	EQ	2,848.30
00006853	0000	11/03/2015	EVIDENCE LOCKER 82"H SHERIFF OPERATIONS CENTER	EQ	3,330.86
00006854	0000	11/03/2015	WEAPONS RACK, 42W X 16D X 84H SHERIFF OP CENTER	EQ	2,128.00
00006855	0000	11/03/2015	EVIDENCE LOCKER 36"W X 24"D X 78"H SHERIFF OP CNTR	EQ	4,797.45
00006859	0000	11/23/2015	200 GALLON, 2 WHEEL SPRAYER - FCID 9336	EQ	4,667.00
00006861	0000	11/30/2015	HVAC UNIT - INMATE FAC	EQ	2,792.00
00006862	0000	12/07/2015	DELL LATITUDE E5450/5450 CTO - FCID 9335	EQ	2,031.36
00006863	0000	12/14/2015	DELL OPTIPLEX MT BTX	EQ	1,135.94
00006865	0000	01/04/2016	MS SURFACE PRO W/ ACCESSORIES	EQ	1,497.44
00006867	0000	01/11/2016	RECTANGULAR SPLIT-APART STRETCHER	EQ	1,127.27
00006868	0000	11/03/2015	SHELVING UNIT SHERIFF OPERATION CENTER	FUR	1,055.39
00006869	0000	11/03/2015	SHELVING UNIT SHERIFF OPERATION CENTER	FUR	1,081.43
00006870	0000	11/03/2015	SHELVING UNIT SHERIFF OPERATION CENTER	FUR	1,081.43
00006871	0000	11/03/2015	WEAPONS RACK, 42W X 16D X 84H SHERIFF OP CENTER	EQ	1,643.00
00006872	0000	11/03/2015	WEAPONS RACK, 42W X 16D X 84H SHERIFF OP CENTER	EQ	1,643.00
00006873	0000	11/03/2015	HON PARK AVE SERIES 5 PIECE DESK - SO OP CENTER	FUR	2,317.68
00006874	0000	11/03/2015	HON PARK AVE SERIES 5 PIECE DESK - SO OP CENTER	FUR	2,317.68
00006875	0000	11/03/2015	HON PARK AVE SERIES STORAGE CABINET - SO OP CENTER	FUR	1,146.93
00006876	0000	11/03/2015	HON PARK AVE SERIES STORAGE CABINET - SO OP CENTER	FUR	1,146.93
00006877	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX E-16	EQ	1,625.00
00006878	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX R-11	EQ	1,625.00
00006879	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX E-92	EQ	1,625.00
00006880	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX R-92	EQ	1,625.00
00006881	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX R-51	EQ	1,625.00
00006882	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX R-71	EQ	1,625.00
00006883	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX R-21	EQ	1,625.00
00006884	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX R-22	EQ	1,625.00
00006885	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX E-41	EQ	1,625.00
00006886	0000	01/11/2016	PEDIATRIC YELLOW PELICAN MEDICAL BOX R-41	EQ	1,625.00
00006898	0000	02/01/2016	HVAC OLD FCSO RADIO TOWER	EQ	2,392.73
00006899	0000	02/01/2016	HVAC UNIT - OLD FCSO RADIO TOWER	EQ	2,392.73
00006900	0000	02/01/2016	DELL LATITUDE E5450 BTX	EQ	1,338.59
00006902	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.78
00006903	0000	02/15/2016	BUNKER GEAR - FIRE DEX- NOMEX	EQ	1,695.78
00006904	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.78
00006905	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79
00006906	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79
00006907	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79
00006908	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79
00006909	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006910	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79
00006911	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79
00006912	0000	02/15/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,695.79
00006913	0000	02/15/2016	MICROSOFT SURFACE PRO 4	EQ	1,655.01
00006914	0000	02/15/2016	MICROSOFT SURFACE PRO 4	EQ	1,655.01
00006916	0000	02/15/2016	MICROSOFT SURFACE PRO 4	EQ	1,655.01
00006917	0000	02/15/2016	MICROSOFT SURFACE PRO 4	EQ	1,655.01
00006918	0000	02/15/2016	MICROSOFT SURFACE PRO 4	EQ	1,655.01
00006925	0000	02/15/2016	HURST S700 STREAMLINE CUTTER	EQ	4,420.00
00006927	0000	02/15/2016	HURST HP R420 RAM	EQ	3,332.00
00006928	0000	02/15/2016	HURST HP R420 RAM	EQ	3,332.00
00006929	0000	02/15/2016	EXTENSION HOSE 32.8 FT	EQ	1,544.40
00006930	0000	02/15/2016	TRIPP LITE 8-PORT SWITCH	EQ	1,004.00
00006931	0000	02/15/2016	TRIPP LITE 8-PORT SWITCH	EQ	1,004.00
00006938	0000	05/31/2016	2016 - 7 X 16 CONTINENTAL SUNSHINE CARGO TRAILER	VH	3,626.50
00006948	0000	06/20/2016	OPTICOM GPS GEN II EMERGENCY TRAFFIC CONTROL - REF	EQ	1,700.00
00006949	0000	06/20/2016	OPTICOM GPS GEN III EMERGENCY TRAFFIC CONTROL	EQ	3,200.00
00006950	0000	06/20/2016	OPTICOM GPS GEN III EMERGENCY TRAFFIC CONTROL	EQ	3,200.00
00006951	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006952	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006953	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006954	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006955	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006956	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006957	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006958	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006959	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006960	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006961	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006962	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006963	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006964	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006965	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006966	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006967	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006968	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006969	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006970	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006971	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006972	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006973	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006974	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006975	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006976	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00006977	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006978	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006979	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006980	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006981	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006982	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006983	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006984	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006985	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006986	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006987	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006988	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006989	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006990	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006991	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006992	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006993	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006994	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006995	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006996	0000	03/21/2016	DELL LATITUDE E6540	EQ	1,338.24
00006997	0000	03/21/2016	DELL LATITUDE E6440 LAPTOP	EQ	1,548.36
00006999	0000	03/14/2016	POWEREDGE FX2	EQ	2,626.17
00007002	0000	03/14/2016	POWEREDGE FX2	EQ	2,626.17
00007007	0000	03/07/2016	MICROSOFT FURFACE PRO 4	EQ	1,604.44
00007008	0000	03/07/2016	MICROSOFT SURFACE PRO 4 I5 256GB 8BG	EQ	1,491.91
00007009	0000	03/21/2016	VIZIO E700I-B3 70" LED	EQ	1,177.00
00007011	0000	04/18/2016	MICROSOFT SURFACE PRO 4 CORE I7, WINDOWS 10	EQ	2,213.98
00007012	0000	04/18/2016	MICROSOFT SURFACE PRO 4 CORE I7, WINDOWS 10	EQ	2,213.98
00007013	0000	04/18/2016	MICROSOFT SURFACE PRO 4	EQ	1,540.00
00007014	0000	04/18/2016	MICROSOFT SURFACE PRO 4	EQ	1,540.00
00007015	0000	04/18/2016	DELL LATITUDE E5450 LAPTOP WITH DOCK	EQ	1,338.59
00007017	0000	03/07/2016	APPLE MAC PRO, QUAD-CORE 3.7 1TB 16GB	EQ	3,688.00
00007018	0000	06/20/2016	MICROSOFT SURFACE PRO 4	EQ	2,203.00
00007019	0000	06/20/2016	MICROSOFT SURFACE PRO 4	EQ	2,203.00
00007020	0000	06/20/2016	MICROSOFT SURFACE PRO 4	EQ	2,203.00
00007021	0000	06/20/2016	MICROSOFT SURFACE PRO 4	EQ	2,203.00
00007022	0000	06/20/2016	MICROSOFT SURFACE PRO 4	EQ	2,203.00
00007023	0000	06/20/2016	SURFACE PRO 4 I5/256/8G SYST	EQ	1,740.00
00007024	0000	06/20/2016	SURFACE PRO 4 I5/256/8G SYST	EQ	1,740.00
00007025	0000	06/06/2016	LENOVO THINKPAD T460S 20F9 - 14"	EQ	2,299.99
00007026	0000	06/06/2016	LENOVO THINKPAD T460S 20F9 - 14"	EQ	2,299.99
00007027	0000	06/06/2016	LENOVO THINKPAD T460S 20F9 - 14"	EQ	2,299.99
00007028	0000	06/13/2016	LENOVO THINKCENTRE M900 10FH	EQ	1,192.00
00007029	0000	06/13/2016	LENOVO THINKCENTRE M900 10FH	EQ	1,192.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007030	0000	06/13/2016	LENOVO THINKCENTRE M900 10FH	EQ	1,429.00
00007031	0000	06/06/2016	LENOVO THINKCENTRE M900 10FH	EQ	1,429.00
00007032	0000	06/06/2016	LENOVO THINKCENTRE M900 10FH	EQ	1,429.00
00007033	0000	06/06/2016	LENOVO THINKCENTRE M900 10FH	EQ	1,429.00
00007037	0000	07/18/2016	2 DOOR REACH IN COMMERCIAL REFRIGERATOR	EQ	2,270.00
00007038	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007039	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007040	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007041	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007042	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007043	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007044	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007045	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007046	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007047	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007048	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	1,944.98
00007049	0000	07/25/2016	DELL NETWORKING SWITCH, N2024P	EQ	1,314.97
00007050	0000	07/25/2016	DELL NETWORKING SWITCH, N2024P	EQ	1,314.97
00007051	0000	07/25/2016	DELL NETWORKING SWITCH, N2024P	EQ	1,314.97
00007052	0000	07/25/2016	DELL NETWORKING SWITCH, N2024P	EQ	1,314.97
00007053	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	2,202.86
00007054	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	2,202.86
00007055	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	2,202.86
00007056	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	2,202.86
00007057	0000	07/25/2016	DELL NETWORKING SWITCH, N2048P	EQ	2,202.86
00007058	0000	07/25/2016	DELL NETWORKING SWITCH, N3048P	EQ	3,270.22
00007059	0000	07/25/2016	DELL NETWORKING SWITCH, N3048P	EQ	3,270.22
00007060	0000	07/25/2016	DELL NETWORKING SWITCH, N3048P	EQ	3,270.22
00007061	0000	07/25/2016	DELL NETWORKING SWITCH, N3048P	EQ	3,270.22
00007062	0000	07/25/2016	DELL NETWORKING SWITCH, N3048P	EQ	2,934.93
00007063	0000	07/25/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,770.96
00007064	0000	07/25/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,770.96
00007065	0000	07/25/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,770.96
00007066	0000	07/25/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,770.96
00007067	0000	07/25/2016	BUNKER GEAR - FIRE DEX - NOMEX	EQ	1,770.96
00007070	0000	04/25/2016	PA SYSTEM	EQ	1,553.87
00007071	0000	02/29/2016	500 GALLON VERTICAL TANK - GREEN	EQ	3,620.00
00007072	0000	03/07/2016	PA SYSTEM	EQ	1,332.37
00007073	0000	05/09/2016	ICE MACHINE - HALF CUBE	EQ	1,999.99
00007074	0000	09/06/2016	ICE MAKER	EQ	3,037.70
00007075	0000	12/07/2015	RESCUE RANDY COMBAT CHALLENGE MANIKIN 165 LBS	EQ	1,260.00
00007076	0000	12/07/2015	RESCUE RANDY COMBAT CHALLENGE MANIKIN 165 LBS	EQ	1,260.00
00007077	0000	03/14/2016	SMOKE MACHINES FOR TRAINING	EQ	2,104.37
00007078	0000	03/14/2016	SMOKE MACHINES FOR TRAINING	EQ	2,104.37



**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007080	0000	05/16/2016	DELL LATITUDE E6540 LAPTOP	EQ	1,434.72
00007081	0000	05/16/2016	DELL LATITUDE E6540 LAPTOP	EQ	1,434.72
00007082	0000	05/16/2016	DELL PRECISION TOWER 5810 TOWER	EQ	1,656.04
00007086	0000	08/15/2016	WINDCONTROL SOFTWARE - PC LIBRARY	EQ	1,955.00
00007091	0000	08/29/2016	MS SURFACE PRO COVER, DOCK & 8GB W10	EQ	1,487.00
00007092	0000	09/12/2016	ATF - SUBMERSIBLE PUMP - WADSWORTH PARK	EQ	3,500.00
00007095	0000	09/19/2016	20' CARGO CONTAINER - BURN BUILDING	EQ	2,950.00
00007096	0000	09/19/2016	20' CARGO CONTAINER - BURN BUILDING	EQ	2,950.00
00007097	0000	11/16/2015	AIR COMPRESSOR	EQ	1,013.00
00007098	0000	03/21/2016	PHILIPPS HEARTSTART DEFIBRILLATOR	EQ	1,186.00
00007103	0000	09/30/2016	RECERTIFIED LIFEPAK CR PLUS BIPHASIC AED'S	EQ	1,159.99
00007104	0000	09/30/2016	RECERTIFIED LIFEPAK CR PLUS BIPHASIC AED'S	EQ	1,159.99
00007105	0000	09/30/2016	KYOCERA FS- 4100DN LASER PRINTER	EQ	1,088.00
00007106	0000	09/30/2016	KYOCERA FS- 4100DN LASER PRINTER	EQ	1,088.00
00007107	0000	09/30/2016	KYOCERA FS- 4100DN LASER PRINTER	EQ	1,088.00
00007108	0000	09/30/2016	KYOCERA P6035CDN COLOR PRINTER	EQ	1,117.00
00007109	0000	09/30/2016	KYOCERA P6035CDN COLOR PRINTER	EQ	1,117.00
00007110	0000	09/30/2016	DESK FOR TDO DIRECTOR	EQ	1,267.20
00007111	0000	09/30/2016	VIZIO D-SERIES 70" LED SMART TV	EQ	1,185.66
00007119	0000	02/24/2016	AUDITOR'S DESK	EQ	2,332.68
00007122	0000	08/05/2015	CAVITRON JETPLUS W/TAP GOLD	EQ	4,547.39
00007124	0000	08/04/2016	DEMI ULTRA LED CURING LIGHT SYSTEM	EQ	1,310.39
00007125	0000	04/27/2016	PORTABLE PATIENT CHAIR	EQ	3,355.00
00007126	0000	04/27/2016	PORTABLE PATIENT CHAIR	EQ	3,355.00
00007129	0000	04/27/2016	PORTABLE PATIENT CHAIR	EQ	3,355.00
00007130	0000	04/27/2016	PORTABLE PATIENT CHAIR	EQ	3,355.00
00007131	0000	03/11/2016	DRYFIELD ILLUMINATOR SYSTEM	EQ	1,378.95
00007132	0000	03/02/2016	DRYFIELD ILLUMINATOR SYSTEM	EQ	1,378.95
00007133	0000	02/25/2016	ELIPAR DEEPCURE-S CURIN LIGHT	EQ	1,341.00
00007134	0000	02/25/2016	ELIPAR DEEPCURE-S CURIN LIGHT	EQ	1,341.00
00007135	0000	12/31/2015	AMERICAN BIO TECH 4.2 CU. FT. PHARMACY FREEZER	EQ	1,199.00
00007136	0000	08/14/2015	DELL LATITUDE 7350	EQ	2,091.52
00007137	0000	12/16/2015	OKI C831 BALLOT-ON-DEMAN PRINTER	EQ	1,427.60
00007138	0000	12/16/2015	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,427.60
00007139	0000	12/16/2015	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,427.60
00007140	0000	12/16/2015	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,427.60
00007141	0000	12/16/2015	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,427.60
00007142	0000	12/16/2015	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,427.60
00007143	0000	03/30/2016	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,391.02
00007144	0000	03/30/2016	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,391.02
00007145	0000	03/30/2016	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,391.02
00007146	0000	03/30/2016	OKI C831 BALLOT-ON-DEMAND PRINTER	EQ	1,391.02
00007174	0000	11/14/2016	24" TRENCHING BUCKET W/TEETH	EQ	1,400.00
00007179	0000	12/05/2016	UNIVERSAL KEYBOARD	EQ	1,140.27

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007180	0000	12/05/2016	2016 TRIPLE CROWN UTILITY/TANDEM	VH	2,064.00
00007181	0000	12/19/2016	20' STORAGE CONTAINER	EQ	3,499.00
00007182	0000	12/19/2016	6086 PERF-LOAD COMP UPGRADE KIT	EQ	1,366.03
00007183	0000	12/19/2016	6086 PERF-LOAD COMP UPGRADE KIT	EQ	1,366.03
00007185	0000	01/09/2017	2017 CONTINENTAL CARGO UTILITY TRAILER	VH	3,803.00
00007186	0000	02/06/2017	SMART VIDEO CLEANSWITCH 12X12	EQ	1,283.26
00007188	0000	02/06/2017	PEDIATRIC YELLOW PELICAN MEDICAL BOX	EQ	1,649.78
00007189	0000	02/06/2017	PEDIATRIC YELLOW PELICAN MEDICAL BOX	EQ	1,649.78
00007190	0000	02/06/2017	DELL LATITUDE E5570, CTO	EQ	1,222.56
00007191	0000	02/06/2017	DELL LATITUDE E5570, CTO	EQ	1,222.56
00007192	0000	01/23/2017	PANASONIC DMC-FZ2500 4K DIGITAL CAMERA	EQ	1,197.99
00007206	0000	05/22/2017	2017 ENCLOSED CARGO TRAILER 7X16	VH	3,832.50
00007208	0000	06/19/2017	PAKOR PASSPORT KIT	EQ	1,716.08
00007212	0000	04/14/2017	HELICOPTER HELMET-ALPHA EAGLE DUAL VISOR ANVIS	EQ	2,350.00
00007214	0000	07/17/2017	UPGRADE TO FUEL MASTER SYSTEM (LRU & 2.4 ANTENNA)	EQ	2,195.00
00007215	0000	07/17/2017	UPGRADE TO FUEL MASTER SYSTEM (LRU & 2.4 ANTENNA)	EQ	2,195.00
00007218	0000	08/21/2017	2018 CONTINENATL CARGO TRAILER, 7X16	VH	3,832.50
00007222	0000	07/10/2017	2017 RAHN GROOMER W/HD SCARIFIER (RIDING MOWER)	VH	2,054.00
00007235	0000	09/06/2017	HOYER LIFT (POWER BASE PATIENT LIFT)	EQ	3,634.00
00007236	0000	02/13/2017	ATF - SUMERSIBLE PUMP	EQ	2,900.00
00007237	0000	09/30/2017	PUMP, 3" TRASH HONDA	EQ	1,699.00
00007242	0000	09/30/2017	HURST CHARGER FOR EDRAULIC TOOLS	EQ	1,330.00
00007243	0000	09/30/2017	STRYKER STRETCHER (PERF-LOAD COMP UPGRADE KIT)	EQ	1,556.22
00007244	0000	10/01/2016	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007245	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007246	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007247	0000	07/24/2017	SHARP 80" HD 1080P LED TELEVISION	EQ	3,609.05
00007248	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,120.05
00007249	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,120.05
00007250	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007251	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007252	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007253	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007254	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007255	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007256	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007257	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007258	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007259	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007260	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007261	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007262	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007263	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007264	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007265	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007266	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007267	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007268	0000	07/24/2017	CRESTRON 3 SERIES CONTROL PROCESSOR	EQ	1,440.00
00007269	0000	07/24/2017	CRESTON 10" TOUCHPANEL	EQ	1,920.00
00007270	0000	07/24/2017	PAKEDGE 24 PORT MANAGED POE SWITCH	EQ	1,755.00
00007271	0000	07/24/2017	QSC UNIFIED CORE PROCESSOR	EQ	2,699.10
00007272	0000	07/24/2017	QSC 4 CHANNEL 70V AMPLIFIER	EQ	1,440.00
00007273	0000	07/24/2017	MIDDLE ATLANTIC UPS-1000R	EQ	1,176.30
00007274	0000	09/30/2017	DELL OPTIPLEX 7040	EQ	1,021.00
00007275	0000	09/30/2017	DELL OPTIPLEX 7040	EQ	1,021.00
00007276	0000	09/30/2017	DELL OPTIPLEX 7040	EQ	1,021.00
00007277	0000	09/30/2017	DELL OPTIPLEX 7040	EQ	1,021.00
00007278	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007279	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007280	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007281	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007282	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007283	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007284	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007285	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007286	0000	07/24/2017	AMX VIDEO OVER IP ENCODER	EQ	1,170.00
00007287	0000	07/24/2017	SHARP 80" HD 1080P LED TELEVISION	EQ	3,799.05
00007288	0000	07/24/2017	SHARP 80" HD 1080P LED TELEVISION	EQ	3,799.05
00007289	0000	07/24/2017	SHARP 80" HD 1080P LED TELEVISION	EQ	3,799.05
00007290	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007291	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007292	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007293	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007294	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007295	0000	07/24/2017	SHARP 60" HD 1080P LED TELEVISION	EQ	1,296.75
00007296	0000	07/24/2017	CRESTON 3 SERIES CONTROL PROCESSOR	EQ	1,440.00
00007297	0000	07/24/2017	CRESTON 3 SERIES CONTROL PROCESSOR	EQ	1,440.00
00007298	0000	07/24/2017	CRESTON 3 SERIES CONTROL PROCESSOR	EQ	1,440.00
00007299	0000	07/24/2017	CRESTON 10" TOUCHPANEL	EQ	1,920.00
00007300	0000	07/24/2017	CRESTON 10" TOUCHPANEL	EQ	1,920.00
00007301	0000	07/24/2017	CRESTON 10" TOUCHPANEL	EQ	1,920.00
00007302	0000	07/24/2017	PAKEDGE 24 PORT MANAGED POE SWITCH	EQ	1,560.00
00007303	0000	07/24/2017	PAKEDGE 24 PORT MANAGED POE SWITCH	EQ	1,560.00
00007304	0000	07/24/2017	PAKEDGE 24 PORT MANAGED POE SWITCH	EQ	1,560.00
00007305	0000	07/24/2017	QSC UNIFIED CORE PROCESSOR	EQ	2,699.10
00007306	0000	07/24/2017	QSC UNIFIED CORE PROCESSOR	EQ	2,699.10
00007307	0000	07/24/2017	QSC UNIFIED CORE PROCESSOR	EQ	2,699.10
00007308	0000	07/24/2017	QSC 4 CHANNEL 70V AMPLIFIER	EQ	1,440.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007309	0000	07/24/2017	QSC 4 CHANNEL 70V AMPLIFIER	EQ	1,440.00
00007310	0000	07/24/2017	QSC 4 CHANNEL 70V AMPLIFIER	EQ	1,440.00
00007311	0000	07/24/2017	MIDDLE ATLANTIC UPS 1000R	EQ	1,176.30
00007312	0000	07/24/2017	MIDDLE ATLANTIC UPS 1000R	EQ	1,176.30
00007313	0000	07/24/2017	MIDDLE ATLANTIC UPS 1000R	EQ	1,176.30
00007314	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007315	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007316	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007317	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007318	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007319	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007320	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007321	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007322	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007323	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007324	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007325	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007326	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007327	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007328	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007329	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007330	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007331	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007332	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007333	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007334	0000	07/24/2017	AMX VIDEO OVER IP DECODER	EQ	1,170.00
00007335	0000	03/13/2017	LENOVO THINKPAD USB 3.0 ULTRA DOCK	EQ	1,165.98
00007336	0000	03/13/2017	LENOVO THINKPAD USB 3.0 ULTRA DOCK	EQ	1,165.98
00007337	0000	03/13/2017	LENOVO THINKPAD USB 3.0 ULTRA DOCK	EQ	1,165.98
00007338	0000	02/27/2017	MICROSOFT SURFACE PRO 4 8GB	EQ	1,225.00
00007339	0000	01/17/2017	SONICWALL NSA 4600 HA UNIT FIREWALL	EQ	2,473.45
00007342	0000	05/30/2017	MS SURFACE PRO 4 I5 256BB	EQ	1,103.08
00007343	0000	05/30/2017	MS SURFACE PRO 4 I5 256B	EQ	1,103.08
00007344	0000	05/30/2017	MS SURFACE PRO 4 I5 256B	EQ	1,103.08
00007345	0000	06/16/2017	MS SURFACE PRO 4 I5 256B	EQ	1,103.08
00007346	0000	09/30/2017	MICROSOFT SURFACE PRO I5 256GB	EQ	1,169.10
00007347	0000	01/09/2017	DELL LATITUDE E5570	EQ	1,360.57
00007348	0000	03/20/2017	INSPIRON 15 7000 GAMING (INTEL)	EQ	1,249.40
00007349	0000	06/26/2017	DELL LATITUDE 5580 XCTO	EQ	1,240.51
00007350	0000	06/26/2017	DELL LATITUDE 5580 XCTO	EQ	1,240.51
00007351	0000	06/26/2017	DELL LATITUDE 5580 XCTO	EQ	1,240.51
00007352	0000	06/26/2017	DELL LATITUDE 5580 XCTO	EQ	1,240.51
00007353	0000	06/26/2017	DELL LATITUDE 5580 XCTO	EQ	1,240.51
00007354	0000	06/26/2017	DELL LATITUDE 5580 XCTO	EQ	1,240.51

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007355	0000	06/26/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,498.49
00007356	0000	09/30/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,620.14
00007357	0000	09/30/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,620.14
00007358	0000	09/30/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,620.14
00007359	0000	09/30/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,620.14
00007360	0000	09/30/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,620.14
00007361	0000	09/30/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,620.14
00007362	0000	02/27/2017	DELL NETWORKING N2048P - SWITCH 48 PORTS	EQ	2,200.00
00007363	0000	02/27/2017	DELL NETWORKING N2048P - SWITCH 48 PORTS	EQ	2,200.00
00007364	0000	02/27/2017	DELL NETWORKING N2048P - SWITCH 48 PORTS	EQ	2,200.00
00007365	0000	02/20/2017	G-TECHNOLOGY G-SPEED 16TB 4BAY RAID SYSTEM	EQ	1,342.49
00007366	0000	02/20/2017	GARNER HD-2 DRIVE/TAPE DEGAUSSER	EQ	3,059.00
00007367	0000	02/20/2017	GARNER PD-4 PHYSICAL HARD DRIVE DESTROYER	EQ	3,979.00
00007368	0000	02/20/2017	DJI MAVIC PRO PLUS FLY MORE COMBO	EQ	1,177.00
00007370	0001	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0002	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0003	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0004	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0005	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0006	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0007	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0008	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0009	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0010	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0011	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0012	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0013	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0014	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0015	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0016	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0017	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0018	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0019	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0020	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0021	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0022	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0023	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0024	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0025	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0026	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0027	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0028	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0029	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0030	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007370	0031	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0032	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0033	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0034	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0035	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0036	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0037	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0038	07/18/2017	DS200 DIGITAL IMAGE SCANNER	EQ	4,802.19
00007370	0039	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0040	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0041	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0042	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0043	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0044	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0045	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0046	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0047	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0048	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0049	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0050	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0051	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0052	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0053	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0054	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0055	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0056	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0057	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0058	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0059	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0060	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0061	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0062	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0063	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0064	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0065	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0066	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0067	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0068	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0069	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0070	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0071	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0072	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0073	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0074	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007370	0075	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.61
00007370	0076	07/18/2017	EXPRESS VOTE UNIT	EQ	2,658.66
00007370	0078	05/19/2017	POWEREDGE R430 SERVER	EQ	4,524.98
00007370	0079	05/19/2017	POWEREDGE R430 SERVER	EQ	4,524.98
00007371	0001	09/19/2017	GATEWAY	EQ	1,231.95
00007371	0002	09/19/2017	GATEWAY	EQ	1,231.95
00007371	0003	09/19/2017	GATEWAY	EQ	1,231.95
00007371	0004	09/19/2017	GATEWAY	EQ	1,231.95
00007371	0005	09/19/2017	KVM (KEYBOARD, VOICE, MOUSE) - SV831DUSBU	EQ	1,493.17
00007371	0006	09/19/2017	IQ1000 CHASSIS KIT	EQ	4,418.94
00007371	0007	09/19/2017	POWEREDGE R230 XL SERVER	EQ	3,704.21
00007371	0008	09/19/2017	POWEREDGE R230 XL SERVER	EQ	3,804.07
00007371	0009	09/19/2017	POWEREDGE R230 XL SERVER	EQ	4,597.49
00007371	0011	09/19/2017	SWITCH - CATALYST 2960-X-WS-C2960X-48TS-LV05	EQ	4,017.21
00007371	0012	09/19/2017	SWITCH - CATALYST 2960-X-WS-C2960X-48TS-LV05	EQ	4,017.21
00007371	0013	09/19/2017	SWITCH - CATALYST 2960 PLUS-WS-C2960+24PC-LV02	EQ	1,981.81
00007371	0014	09/19/2017	RACK AR3100X717	EQ	2,778.68
00007371	0015	09/19/2017	GATEWAY - MP-118	EQ	1,231.95
00007371	0016	09/19/2017	GATEWAY - MP-118	EQ	1,231.95
00007371	0017	09/19/2017	KVM (KEYBOARD, VOICE, MOUSE) - SV831DUSBU	EQ	1,493.17
00007371	0018	09/19/2017	IQ1000 CHASIS KIT	EQ	4,418.94
00007371	0019	09/19/2017	POWEREDGE R230 XL SERVER	EQ	3,704.21
00007371	0020	09/19/2017	POWEREDGE R230 XL SERVER	EQ	3,804.07
00007371	0021	09/19/2017	POWEREDGE R230 XL SERVER	EQ	4,597.49
00007371	0023	09/19/2017	SWITCH - CATALYST 2960-X-WS-C2960X-48TS-LV05	EQ	4,017.21
00007371	0024	09/19/2017	SWITCH - CATALYST 2960-X-WS-C2960X-48TS-LV05	EQ	4,017.21
00007371	0025	09/19/2017	SWITCH - CATALYST 2960 PLUS-WS-C2960+24PC-LV02	EQ	1,981.81
00007371	0026	09/19/2017	RACK CONSOLE MONITOR - RACKCONS1701	EQ	2,778.68
00007371	0027	09/19/2017	MEDIANT 1000 T1 MODULE	EQ	2,707.82
00007371	0028	09/19/2017	MEDIANT 1000 T1 MODULE	EQ	2,707.82
00007371	0029	09/19/2017	KVM (LONG-VIEW DUAL USB AUDIO)	EQ	1,569.74
00007373	0000	09/30/2017	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,620.14
00007374	0000	09/29/2017	HP PRO 400 DESKTOP	EQ	1,050.00
00007375	0000	09/29/2017	HP PRO 400 DESKTOP	EQ	1,050.00
00007376	0000	09/29/2017	HP PRO 400 DESKTOP	EQ	1,050.00
00007377	0000	09/29/2017	HP PRO 400 DESKTOP	EQ	1,050.00
00007378	0000	09/29/2017	HP PRO 400 DESKTOP	EQ	1,050.00
00007379	0000	09/20/2017	TABLE TOP SINGLE TABBER WITH FEEDER	EQ	4,676.00
00007380	0000	02/01/2017	CPU CISCO 2960S 48PT	EQ	1,604.90
00007382	0000	07/31/2017	SHARP 80" LED TV	EQ	3,333.00
00007383	0000	07/31/2017	SHARP 60" LED SMART TV	EQ	1,035.00
00007384	0000	07/31/2017	SHARP 60" LED SMART TV	EQ	1,035.00
00007385	0000	08/16/2017	THINKPAD CORE 12GB	EQ	2,037.00
00007386	0000	08/16/2017	THINKPAD CORE 12GB	EQ	2,037.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007387	0000	09/30/2017	LENOVO THINKPAD T470	EQ	1,027.00
00007388	0000	09/30/2017	LENOVO THINKPAD T470	EQ	1,027.00
00007389	0000	09/30/2017	LENOVO THINKPAD T470	EQ	1,027.00
00007390	0000	09/30/2017	LENOVO THINKPAD T470	EQ	1,027.00
00007391	0000	09/30/2017	LENOVO THINKPAD T470	EQ	1,027.00
00007399	0000	05/02/2017	DIG XR SENSOR SHICK 33 S0	EQ	3,917.00
00007402	0000	12/22/2016	SONICFILL 2 VALUE KIT	EQ	1,631.75
00007425	0000	04/02/2018	ALL-IN-ONE RECHARGEABLE, LINEAR ARRAY PA SYSTEM	EQ	1,499.00
00007426	0000	05/07/2018	ICE MACHINE - STATION 62	EQ	3,922.00
00007431	0000	04/02/2018	FIRE STATION ALERT INSTALL	EQ	4,690.65
00007443	0000	03/19/2018	ASCO TRANSFER SWITCH-STATION 92	EQ	4,174.50
00007446	0000	02/12/2018	15S COMFORT HP PURON DG 1.5T A/C UNIT	EQ	2,417.00
00007447	0000	02/12/2018	15S COMFORT HP PURON DG 3T A/C UNIT	EQ	2,906.00
00007448	0000	02/12/2018	15S COMFORT HP PURON DG 5T A/C UNIT	EQ	3,596.00
00007450	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-STAFFORD	EQ	1,846.36
00007451	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-CASTANADA	EQ	1,846.36
00007452	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-BAUMAN	EQ	1,846.36
00007453	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-COSGROVE	EQ	1,846.36
00007454	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-STAFFORD	EQ	1,846.36
00007455	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-MCDONALD	EQ	1,846.36
00007456	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-MACK	EQ	1,846.36
00007457	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-TORNELLI	EQ	1,846.36
00007458	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-FATTOUH	EQ	1,846.36
00007459	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-DUFEK	EQ	1,846.36
00007460	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-KESSELRING	EQ	1,846.36
00007461	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-HUSTON	EQ	1,846.36
00007462	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-WIRTH	EQ	1,846.36
00007463	0000	04/06/2018	BUNKER GEAR-FIREDEX-NOMEX-COPE	EQ	1,846.36
00007481	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-SATTAR	EQ	1,846.36
00007482	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-C.KING	EQ	1,846.36
00007483	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-S.KING	EQ	1,846.36
00007484	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-KRALL	EQ	1,846.36
00007485	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-CURLEY	EQ	1,846.36
00007486	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-DOLCE	EQ	1,846.36
00007487	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-MESTA	EQ	1,846.36
00007488	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-COOK	EQ	1,846.36
00007489	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-LOCKWOOD	EQ	1,846.36
00007490	0000	06/11/2018	BUNKERGEAR-FIREDEX-NOMEX-TITUS	EQ	1,846.36
00007492	0000	04/06/2018	AMERICANA MOBILE BOOKSHELF FLAT VENEER 58X36X30	EQ	1,385.82
00007493	0000	06/18/2018	CLOTHES DRYER MODEL#ADG758 75LB CAPACITY	EQ	4,789.00
00007496	0000	07/02/2018	TRIPLE CROWN 7X20 EQUIPMENT TRAILER 14K	VH	3,904.00
00007497	0000	07/02/2018	TRIPLE CROWN 7X18 SUPER DUTY TRAILER 10K	VH	4,029.00
00007498	0000	07/02/2018	ARISTING 7X16 ENCLOSED TRAILER 7K	VH	4,514.00
00007502	0000	06/11/2018	GUARDIAN FIRE SUPPRESSION SYSTEM	EQ	2,100.00



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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007504	0000	06/18/2018	7X16 ENCLOSED V-NOSE TRAILER	VH	3,950.00
00007508	0000	05/29/2018	3 TON HVAC CONDENSER	EQ	3,784.00
00007509	0000	07/09/2018	DELL N2024P 24 PORT SWITCH	EQ	1,724.89
00007510	0000	07/09/2018	DELL N2024P 24 PORT SWITCH	EQ	1,724.89
00007511	0000	07/09/2018	DELL N2024P 24 PORT SWITCH	EQ	1,724.89
00007512	0000	07/09/2018	DELL N2048P 49 PORT SWITCH	EQ	2,515.17
00007513	0000	07/09/2018	DELL N2048P 48 PORT SWITCH	EQ	2,515.17
00007514	0000	07/09/2018	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,365.00
00007515	0000	07/09/2018	OPTIPLEX 7050 SMALL FORM FACTOR XCTO	EQ	1,365.00
00007516	0000	07/09/2018	DELL ULTRASHARP 38 CURVED MONITOR	EQ	1,032.58
00007517	0000	07/09/2018	DELL ULTRASHARP 38 CURVED MONITOR	EQ	1,032.58
00007518	0000	07/09/2018	DELL ULTRASHARP 38 CURVED MONITOR	EQ	1,032.58
00007519	0000	07/09/2018	DELL ULTRASHARP 38 CURVED MONITOR	EQ	1,032.58
00007522	0000	07/09/2018	TRIPP 120V INTERNAL BATT MODULE	EQ	1,211.29
00007523	0000	08/13/2018	SURFACE LAPTOP	EQ	1,170.87
00007524	0000	07/23/2018	SURFACE LAPTOP	EQ	1,241.08
00007525	0000	07/23/2018	SURFACE LAPTOP	EQ	1,170.87
00007527	0000	08/06/2018	FLUKE NETWORKS FIBER QUICKMAP KIT	EQ	2,315.00
00007528	0000	08/06/2018	FLUKE FIBER OPTIC INSPECTION CAM	EQ	2,025.00
00007529	0000	08/06/2018	FLUKE FIBER ONESHOT PRO KIT SM FAULT	EQ	1,910.00
00007535	0000	08/13/2018	RFID MEESCAN STATION	EQ	2,370.00
00007536	0000	07/30/2018	60" HD 1080P LED DISPLAY	EQ	1,870.55
00007537	0000	07/30/2018	VGA & HDMI OVER CAT 5 WALL PLATE	EQ	1,050.00
00007538	0000	07/30/2018	BIAMPTESIRAFORTE AI PROCESSOR	EQ	2,234.28
00007539	0000	07/16/2018	60" HD 1080P LED DISPLAY	EQ	1,296.75
00007540	0000	07/16/2018	60" HD 1080P LED DISPLAY	EQ	1,296.75
00007541	0000	07/16/2018	80" HD LED DISPLAY	EQ	1,899.05
00007542	0000	07/16/2018	3 SERIES CONTROL PROCESSOR	EQ	1,260.00
00007543	0000	07/16/2018	10" TOUCHPANEL	EQ	1,680.00
00007544	0000	07/16/2018	4 PORT MANAGES 16 POE SWITCH	EQ	1,036.75
00007545	0000	07/16/2018	INIFIED CORE PROCESSOR	EQ	2,249.25
00007546	0000	07/16/2018	4 CHANNEL 70V AMPLIFIER	EQ	1,200.00
00007547	0000	07/16/2018	SU1000LI SURGEX	EQ	1,169.10
00007548	0000	07/16/2018	REMOTE CAMERA EXTENSION KIT W/MOUNTS	EQ	1,799.10
00007551	0000	07/16/2018	TRIPP LITE 60 KVA & 80 KVA 3-PHASE UPS STARTUP	EQ	2,008.91
00007552	0000	07/16/2018	TRIP LITE WALL MOUNT KEY BYPASS PANEL	EQ	3,159.06
00007554	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007555	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007556	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007558	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007559	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007560	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007561	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007562	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007563	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007564	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007565	0000	02/12/2018	DELL LATITUDE 5580 BTX	EQ	1,210.00
00007566	0000	02/12/2018	ERGOTRON POWER SHUTTLE LAPTOP CHARGING CART	EQ	1,210.87
00007570	0000	06/18/2018	XEROX ALTALINK MULTIFUNCTION PRINTER	EQ	3,836.84
00007571	0000	06/18/2018	XEROX ALTALINK MULTIFUNCTION PRINTER	EQ	2,389.06
00007572	0000	06/18/2018	XEROX ALTALINK MULTIFUNCTION PRINTER	EQ	2,389.06
00007573	0000	06/18/2018	XEROX ALTALINK MULTIFUNCTION PRINTER	EQ	2,389.06
00007574	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007575	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007576	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007577	0000	01/02/2018	LEXMARK CS820DE COLOR LASER	EQ	1,655.64
00007578	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007579	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007580	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007581	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007582	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007583	0000	12/27/2017	MS SURFACE LAPTOP	EQ	2,023.08
00007584	0000	01/16/2018	MS SURFACE LAPTOP	EQ	1,214.10
00007585	0000	01/16/2018	MS SURFACE LAPTOP	EQ	1,214.10
00007586	0000	02/26/2018	MS SURFACE LAPTOP	EQ	1,214.10
00007587	0000	02/05/2018	MS SURFACE LAPTOP 17	EQ	2,023.08
00007588	0000	02/02/2018	MS SURFACE LAPTOP	EQ	1,214.10
00007589	0000	04/02/2018	MS SURFACE LAPTOP	EQ	1,214.10
00007590	0000	04/16/2018	MS SURFACE LAPTOP	EQ	1,214.10
00007591	0000	05/14/2018	PANASONIC TOUGHBOOK	EQ	1,727.00
00007592	0000	05/14/2018	PANASONIC TOUGHBOOK	EQ	1,727.00
00007593	0000	07/02/2018	MS SURFACE LAPTOP	EQ	2,023.08
00007594	0000	06/25/2018	DEL N2024P SWITCH FOR SO OFFICE MOVE TO JC	EQ	1,807.78
00007595	0000	06/25/2018	DEL N2024P 1/10GBE L2 POE+ SWITCH (SO MOVE TO JC)	EQ	1,807.78
00007596	0000	06/25/2018	DEL N2024P 1/10GBE L2 POE+ SWITCH (SO MOVE TO JC)	EQ	1,807.78
00007597	0000	10/01/2017	DELL LATITUDE 5480	EQ	1,278.00
00007601	0000	09/04/2018	OPTION 521 P25 AND P25 PHASE 2 ANALYZER	EQ	3,652.00
00007602	0000	09/04/2018	OPTION 522 P25 AND P25 PHASE 2 COVERAGE	EQ	1,556.25
00007603	0000	09/04/2018	COAXIAL CALIBRATION KIT TYPE N(M) DC TO 8 GHZ	EQ	1,040.00
00007605	0000	09/17/2018	PAC II	EQ	3,601.46
00007606	0000	09/17/2018	PRECISION TOWER 5810	EQ	2,664.04
00007607	0000	09/17/2018	PAC II	EQ	3,601.46
00007608	0000	09/17/2018	PRECISION TOWER 5810	EQ	2,664.04
00007609	0000	09/17/2018	PAC II	EQ	3,601.46
00007610	0000	09/17/2018	PRECISION TOWER 5810	EQ	2,664.04
00007611	0000	09/17/2018	PAC II	EQ	3,601.46
00007612	0000	09/17/2018	PRECISION TOWER 5810	EQ	2,664.04
00007613	0000	09/17/2018	PAC II	EQ	3,601.45

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007614	0000	09/17/2018	PRECISION TOWER 5810	EQ	2,663.99
00007615	0000	08/20/2018	MS SURFACE LAPTOP I7 16GB 512GB	EQ	2,023.08
00007616	0000	08/20/2018	COASTAL 14 SEER 3 TON HEAT PUMP	EQ	3,286.59
00007617	0000	08/20/2018	PAC II	EQ	2,842.04
00007618	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007619	0000	08/20/2018	PAC II	EQ	2,842.04
00007620	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007621	0000	08/20/2018	PAC II	EQ	2,842.04
00007622	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007623	0000	08/20/2018	PAC II	EQ	2,842.04
00007624	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007625	0000	08/20/2018	PAC II	EQ	2,842.04
00007626	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007627	0000	08/20/2018	PAC II	EQ	2,842.04
00007628	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007629	0000	08/20/2018	PAC II	EQ	2,842.04
00007630	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007631	0000	08/20/2018	PAC II	EQ	2,842.04
00007632	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007633	0000	08/20/2018	PAC II	EQ	2,842.04
00007634	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007635	0000	08/20/2018	PAC II	EQ	2,842.04
00007637	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.77
00007638	0000	08/20/2018	PAC II	EQ	2,841.99
00007639	0000	08/20/2018	PRECISION TOWER 5810	EQ	3,025.30
00007641	0000	09/20/2018	HONDA 300 WATT GAS POWERED ELECTRIC START GENERATR	EQ	1,999.00
00007642	0000	09/20/2018	HONDA 3000 WATT GAS POWERED ELECTRIC START GENERAT	EQ	1,999.00
00007644	0000	08/20/2018	HVAC 2 TON UNIT FOR HEALTH DEPT EXPANSION	EQ	4,366.00
00007645	0000	08/31/2018	VIZIO E-SERIES 70IN 19X10 LED MONITOR	EQ	1,215.00
00007646	0000	08/30/2018	NETWORK SURVEILLANCE CAMERA	EQ	1,922.00
00007647	0000	09/05/2018	FARGO CARD PRINTER	EQ	1,588.00
00007654	0000	09/18/2018	K-12 RESCUE SAW 14" (970) WITHOUT BLADE	EQ	1,402.35
00007655	0000	09/27/2018	PANASONIC TOUGHBOOK 54 GLOVED MULTI TOUCH	EQ	2,144.00
00007656	0000	09/27/2018	PANASONIC TOUGHBOOK 54 GLOVED MULTI TOUCH	EQ	2,144.00
00007659	0000	08/21/2018	MOBILE PRESSURE WASHER	EQ	1,972.45
00007661	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007662	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007663	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007664	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007665	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007666	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007667	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007668	0000	07/30/2018	COMPACT EVID	EQ	2,295.00
00007669	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007670	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007671	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007672	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007673	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007674	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007675	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007676	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007677	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007678	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007679	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007680	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007681	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007682	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007683	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007684	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007685	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007686	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007687	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007688	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007689	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007690	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007691	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007692	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007693	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007694	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007695	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007696	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007697	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007698	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007699	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007700	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007701	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007702	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007703	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007704	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007705	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007706	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007707	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007708	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007709	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007710	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007711	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007712	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007713	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007714	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007715	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007716	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007717	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007718	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007719	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007720	0000	07/30/2018	EVID EDGE TABLET	EQ	2,015.00
00007721	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007722	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007723	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007724	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007725	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007726	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007727	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007728	0000	09/12/2018	EVID EDGE TABLET	EQ	2,015.00
00007729	0000	09/12/2018	SHEAR TECH DOCUMENT SEQUENCER	EQ	2,623.20
00007731	0000	06/21/2018	FUJITSU FI-7180 COLOR DUPLEX SCANNER	EQ	1,469.99
00007733	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007734	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007735	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007736	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007737	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007738	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007739	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007740	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007741	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007742	0000	09/28/2018	HP PRODESK 600 DESKTOP	EQ	1,075.00
00007743	0000	08/15/2014	LARGE STAND UP SAFE	EQ	1,695.00
00007744	0000	09/24/2018	MICROSOFT SURFACE PRO 12.3" CORE I5	EQ	1,095.25
00007745	0000	09/24/2018	MICROSOFT SURFACE PRO 12.3" CORE I5	EQ	1,095.25
00007746	0000	06/06/2018	MICROSOFT SURFACE PRO 12.3" CORE I5	EQ	1,095.25
00007747	0000	06/06/2018	MICROSOFT SURFACE PRO 12.3" CORE I5	EQ	1,095.25
00007748	0000	10/01/2017	DELL LATITUDE 7275	EQ	1,973.10
00007749	0000	10/01/2017	DELL LATITUDE 7275	EQ	1,973.10
00007750	0000	10/01/2017	SHICK #33	EQ	3,917.00
00007753	0000	10/02/2017	ISOLITE SYSTEM	EQ	2,712.00
00007754	0000	03/23/2018	PORTABLE PATIENT CHAIR	EQ	3,118.00
00007755	0000	03/23/2018	PORTABLE PATIENT CHAIR	EQ	3,118.00
00007757	0000	12/26/2017	RICOH ROSETTA SP4510DN MICR PRINT	EQ	1,020.00
00007759	0000	01/16/2018	LENOVO THINK PAD T470S 14" CORE I7	EQ	2,065.13
00007760	0000	01/16/2018	LENOVO THINK PAD T470S 14" CORE I7	EQ	2,065.13
00007761	0000	01/16/2018	LENOVO THINK PAD T470S 14" CORE I7	EQ	2,065.13
00007762	0000	08/01/2018	LENOVO THINK PAD T480S 14" CORE I7	EQ	1,878.92
00007763	0000	08/01/2018	LENOVO THINK PAD T480S 14" CORE I7	EQ	1,878.92

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007764	0000	08/13/2018	SAMSUNG 82IN 4K UHD SMART TV	EQ	3,457.00
00007767	0000	08/02/2018	12' CONFERENCE TABLE-MAHOGANY	EQ	1,724.90
00007768	0000	08/30/2018	LENOVO THINK PAD T480S 14" CORE I7	EQ	1,657.73
00007819	0000	09/30/2018	REFRIGERATOR AT ECO COTTAGES	EQ	1,800.89
00007820	0000	09/30/2018	REFRIGERATOR AT ECO COTTAGES	EQ	1,800.89
00007821	0000	09/30/2018	ADA REFRIGERATOR AT ECO COTTAGES	EQ	1,580.07
00007822	0000	09/30/2018	MATTRESS AT ECO COTTAGES	EQ	1,599.00
00007823	0000	09/30/2018	MATTRESS AT ECO COTTAGES	EQ	1,599.00
00007824	0000	09/30/2018	MATTRESS AT ECO COTTAGES	EQ	1,599.00
00007825	0000	06/26/2018	1992 HOME MADE TRAILER	EQ	0.00
00007827	0000	04/01/2018	1983 AMERICAN GENERAL - WOODS TRUCK	VH	0.00
00007831	0000	08/06/2019	APPLE IMAC	EQ	3,325.00
00007832	0000	08/19/2019	SURFACE LAPTOP	EQ	1,859.35
00007833	0000	08/19/2019	SURFACE LAPTOP	EQ	1,106.43
00007835	0000	08/08/2019	2019 7X16 V NOSE TANDEM AXLE ANVIL TRAILER	EQ	4,204.00
00007842	0000	10/29/2018	SURFACE LAPTOP	EQ	2,075.00
00007847	0000	11/09/2018	DELL NETWORKING SWITCH - 48 PORTS	EQ	2,515.17
00007848	0000	11/09/2018	DELL NETWORKING SWITCH - 48 PORTS	EQ	2,515.17
00007849	0000	11/09/2018	DELL NETWORKING SWITCH - 48 PORTS	EQ	2,515.17
00007850	0000	11/09/2018	DELL NETWORKING SWITCH - 48 PORTS	EQ	2,515.17
00007851	0000	11/09/2018	DELL NETWORKING SWITCH - 24 PORTS	EQ	1,724.89
00007852	0000	11/09/2018	DELL NETWORKING SWITCH - 24 PORTS	EQ	1,724.89
00007853	0000	11/09/2018	DELL NETWORKING SWITCH - 24 PORTS	EQ	1,724.89
00007854	0000	12/06/2018	KRAYON KIOSK (3 IPAD'S)	EQ	1,148.00
00007855	0000	12/31/2018	FLAT SHELF STEEL SHELVING	FUR	1,272.50
00007857	0000	12/23/2018	NETGEAR READYNAS 626X DISKLESS 6BAY	EQ	1,230.00
00007858	0000	12/21/2018	70IN LED LCD COMM DIS	EQ	1,335.00
00007859	0000	02/15/2019	PANASONIC TOUGH PAD TOUCHSCREEN TABLET	EQ	2,345.00
00007860	0000	02/19/2019	NETGEAR READYNAS FILE/STORAGE 12 BAY-DISKLESS	EQ	2,777.00
00007861	0000	03/20/2019	POWER EDGE R440 SERVER	EQ	4,778.41
00007863	0000	04/15/2019	DELL LATITUDE 7290 LAPTOP	EQ	1,285.00
00007864	0000	04/15/2019	DELL LATITUDE 7290 LAPTOP	EQ	1,285.00
00007866	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007867	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007868	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007869	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007870	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007871	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007872	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007874	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007875	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007876	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007877	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007878	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79

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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007879	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007880	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007881	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007882	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007883	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007884	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007885	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007886	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007887	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007888	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007889	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007890	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007891	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007892	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007893	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007894	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007895	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007896	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007897	0000	03/11/2019	BUNKER GEAR - COAT	EQ	1,030.79
00007908	0000	04/08/2019	DELL NETWORKING N2048P SWITCH W/ 48 PORTS	EQ	2,250.00
00007909	0000	05/10/2019	ERGOTRON ZIP40 UNIVERSAL CHARGING CART	EQ	1,322.67
00007923	0000	03/28/2019	CANON IPF PRO 4000 WIDE FORMAT PRINTER	EQ	3,413.00
00007924	0000	05/30/2019	DJI MAVIC 2 ENTERPRISE DUAL QUADCOPTER (DRONE)	EQ	2,426.79
00007925	0000	06/20/2019	MICROSOFT SURFACE LAPTOP 2-13.5" 16 GB RAM	EQ	1,975.00
00007926	0000	06/22/2019	COLLAPSIBLE RESCUE BASKET	EQ	2,100.00
00007927	0000	05/10/2019	OPTIPLEX 7060 SMALL FORM FACTOR XCTO TOWER	EQ	1,478.20
00007929	0000	05/10/2019	DELL ULTRASHARP 49IN CURVED MONITOR	EQ	1,050.00
00007930	0000	05/10/2019	DELL ULTRASHARP 49IN CURVED MONITOR	EQ	1,050.00
00007931	0000	05/10/2019	DELL ULTRASHARP 49IN CURVED MONITOR	EQ	1,050.00
00007932	0000	06/25/2019	MICROSOFT SURFACE LAPTOP2 13.5" 16GB	EQ	1,875.00
00007933	0000	06/18/2019	SOLAR POWERED RADAR SPEED SIGN W/BRACKETS & POST	EQ	3,238.13
00007934	0000	06/18/2019	SOLAR POWERED RADAR SPEED SIGN W/BRACKETS & POST	EQ	3,238.12
00007940	0000	10/20/2018	OPTIPLEX 7060 SMALL FORM FACTOR XCTO TOWER	EQ	1,259.09
00007941	0000	10/20/2018	OPTIPLEX 7060 SMALL FORM FACTOR XCTO TOWER	EQ	1,259.09
00007942	0000	10/20/2018	OPTIPLEX 7060 SMALL FORM FACTOR XCTO TOWER	EQ	1,259.09
00007943	0000	10/20/2018	OPTIPLEX 7060 SMALL FORM FACTOR XCTO TOWER	EQ	1,259.09
00007944	0000	10/20/2018	OPTIPLEX 7060 SMALL FORM FACTOR XCTO TOWER	EQ	1,259.09
00007945	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007946	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007947	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007948	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007949	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007950	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007951	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00007952	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007953	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007954	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007955	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007956	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007957	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007958	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007959	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007960	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007961	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007962	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007963	0000	10/20/2018	DELL LATITUDE 5590 BTX BUSINESS LAPTOP	EQ	1,090.00
00007964	0000	10/20/2018	DELL XPS 13 2-IN-1 LAPTOP	EQ	2,304.42
00007965	0000	10/20/2018	DELL XPS 13 2-IN-1 LAPTOP	EQ	2,304.42
00007966	0000	10/20/2018	DELL XPS 13 2-IN-1 LAPTOP	EQ	2,304.42
00007967	0000	10/20/2018	DELL 55-INCH 4K INTERACTIVE TOUCH MONITOR	EQ	2,652.88
00007968	0000	10/20/2018	DELL XPS 13 2-IN-1 LAPTOP	EQ	2,304.42
00007969	0000	10/20/2018	DELL XPS 13 2-IN-1 LAPTOP	EQ	2,304.42
00007973	0000	10/16/2018	MICROSOFT SURFACE LAPTOP 2-13.5" 8GB RAM-256GB SSD	EQ	1,307.00
00007974	0000	10/16/2018	MICROSOFT SURFACE LAPTOP 2-13.5" 8GB RAM-256GB SSD	EQ	1,307.00
00007975	0000	10/16/2018	MICROSOFT SURFACE LAPTOP 2-13.5" 8GB RAM-256GB SSD	EQ	1,307.00
00007976	0000	10/16/2018	MICROSOFT SURFACE LAPTOP 2-13.5" 8GB RAM-256GB SSD	EQ	1,307.00
00007977	0000	10/16/2018	MICROSOFT SURFACE LAPTOP 2-13.5" 8GB RAM-256GB SSD	EQ	1,307.00
00007978	0000	10/16/2018	MICROSOFT SURFACE LAPTOP 2-13.5" 8GB RAM-256GB SSD	EQ	1,307.00
00007979	0000	10/16/2018	MICROSOFT SURFACE LAPTOP 2-13.5" 8GB RAM-256GB SSD	EQ	1,307.00
00007981	0000	02/28/2019	SCBA WITH HARNESS / E-92 LT	EQ	3,861.05
00007982	0000	02/28/2019	SCBA WITH HARNESS / E-92 FF 1	EQ	3,861.05
00007983	0000	02/28/2019	SCBA WITH HARNESS / E-92 FF2	EQ	3,861.05
00007984	0000	02/28/2019	SCBA WITH HARNESS / E-92 DRIVER	EQ	3,861.05
00007985	0000	02/28/2019	SCBA WITH HARNESS / R-92 FF1	EQ	3,861.05
00007986	0000	02/28/2019	SCBA WITH HARNESS / R-92 FF 2	EQ	3,861.05
00007987	0000	02/28/2019	SCBA WITH HARNESS / T-62 LT	EQ	3,861.05
00007988	0000	02/28/2019	SCBA WITH HARNESS / T-62 DRIVER	EQ	3,861.05
00007989	0000	02/28/2019	SCBA WITH HARNESS / T-62 FF 1	EQ	3,861.05
00007990	0000	02/28/2019	SCBA WITH HARNESS / R-62 FF1	EQ	3,861.05
00007991	0000	02/28/2019	SCBA WITH HARNESS / R-62 FF2	EQ	3,861.05
00007992	0000	02/28/2019	SCBA WITH HARNESS / E-71 LT	EQ	3,861.05
00007993	0000	02/28/2019	SCBA WITH HARNESS / E-71 DRIVER	EQ	3,861.05
00007994	0000	02/28/2019	SCBA WITH HARNESS / E-71 FF1	EQ	3,861.05
00007995	0000	02/28/2019	SCBA WITH HARNESS / R-24 FF 1	EQ	3,861.05
00007996	0000	02/28/2019	SCBA WITH HARNESS / R-24 FF 2	EQ	3,861.05
00007997	0000	02/28/2019	SCBA WITH HARNESS / R-21 FF 1	EQ	3,861.05
00007998	0000	02/28/2019	SCBA WITH HARNESS / R-21 FF 2	EQ	3,861.05
00007999	0000	02/28/2019	SCBA WITH HARNESS / R-22 FF 1	EQ	3,861.05



**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008000	0000	02/28/2019	SCBA WITH HARNESS / R-22 FF 2	EQ	3,861.05
00008001	0000	02/28/2019	SCBA WITH HARNESS / E-41 LT	EQ	3,861.05
00008002	0000	02/28/2019	SCBA WITH HARNESS / E-41 FF 1	EQ	3,861.05
00008003	0000	02/28/2019	SCBA WITH HARNESS / E-41 FF2	EQ	3,861.05
00008004	0000	02/28/2019	SCBA WITH HARNESS / E-41 DRIVER	EQ	3,861.05
00008005	0000	02/28/2019	SCBA WITH HARNESS / R-41 FF 1	EQ	3,861.05
00008006	0000	02/28/2019	SCBA WITH HARNESS / R-41 FF 2	EQ	3,861.05
00008007	0000	02/28/2019	SCBA WITH HARNESS / R-11 FF 2	EQ	3,861.05
00008008	0000	02/28/2019	SCBA WITH HARNESS / E-16 LT	EQ	3,861.05
00008009	0000	02/28/2019	SCBA WITH HARNESS / E-16 LT	EQ	3,861.05
00008010	0000	02/28/2019	SCBA WITH HARNESS / E-16 FF 1	EQ	3,861.05
00008011	0000	02/28/2019	SCBA WITH HARNESS / E-16 FF 2	EQ	3,861.05
00008012	0000	02/28/2019	SCBA WITH HARNESS / E-16 DRIVER	EQ	3,861.05
00008013	0000	02/28/2019	SCBA WITH HARNESS / T-51 LT	EQ	3,861.05
00008014	0000	02/28/2019	SCBA WITH HARNESS / T-51 DRIVER	EQ	3,861.05
00008015	0000	02/28/2019	SCBA WITH HARNESS / R-51 LT	EQ	3,861.05
00008016	0000	02/28/2019	SCBA WITH HARNESS / R-51 FF 1	EQ	3,861.05
00008017	0000	02/28/2019	SCBA WITH HARNESS / AIR TRAILER 1	EQ	3,861.05
00008018	0000	02/28/2019	SCBA WITH HARNESS / AIR TRAILER 2	EQ	3,861.05
00008019	0000	02/28/2019	SCBA WITH HARNESS / AIR TRAILER 3	EQ	3,861.05
00008020	0000	02/28/2019	SCBA WITH HARNESS / AIR TRAILER 4	EQ	3,861.05
00008021	0000	02/28/2019	SCBA WITH HARNESS / AIR TRAILER 5	EQ	3,861.05
00008022	0000	02/28/2019	SCBA WITH HARNESS / AIR TRAILER 6	EQ	3,861.05
00008023	0000	02/28/2019	SCBA WITH HARNESS / R-93 FF 1	EQ	3,861.05
00008024	0000	02/28/2019	SCBA WITH HARNESS / R-93 FF 2	EQ	3,861.05
00008025	0000	02/28/2019	SCBA WITH HARNESS / R-94 FF 1	EQ	3,861.05
00008026	0000	02/28/2019	SCBA WITH HARNESS / R-94 FF 2	EQ	3,861.05
00008027	0000	02/28/2019	SCBA WITH HARNESS / T-81 FF 1	EQ	3,861.05
00008028	0000	02/28/2019	SCBA WITH HARNESS / T-81 FF 2	EQ	3,861.05
00008029	0000	02/28/2019	SCBA WITH HARNESS / T-81 FF 3	EQ	3,861.05
00008030	0000	02/28/2019	SCBA WITH HARNESS / T-81 FF 4	EQ	3,861.05
00008031	0000	02/28/2019	SCBA WITH HARNESS / E-93 LT	EQ	3,861.05
00008032	0000	02/28/2019	SCBA WITH HARNESS / E-93 DRIVER	EQ	3,861.05
00008033	0000	02/28/2019	SCBA WITH HARNESS / E-93 FF 1	EQ	3,861.05
00008034	0000	02/28/2019	SCBA WITH HARNESS / E-94 LT	EQ	3,861.05
00008035	0000	02/28/2019	SCBA WITH HARNESS / E-94 FF 1	EQ	3,861.05
00008036	0000	02/28/2019	SCBA WITH HARNESS / E-94 DRIVER	EQ	3,861.05
00008037	0000	02/28/2019	SCBA WITH HARNESS / DEPUTY CHIEF	EQ	3,861.05
00008038	0000	02/28/2019	SCBA WITH HARNESS / TRAINING CHIEF	EQ	3,861.05
00008039	0000	02/28/2019	SCBA WITH HARNESS / FIRE MARSHALL	EQ	3,861.05
00008040	0000	02/28/2019	SCBA WITH HARNESS / E-71 FF 2	EQ	3,861.05
00008041	0000	02/28/2019	SCBA WITH HARNESS / L-41 LT	EQ	3,861.05
00008042	0000	02/28/2019	SCBA WITH HARNESS / L-41 DRIVER	EQ	3,861.05
00008043	0000	02/28/2019	SCBA WITH HARNESS / L-41 FF 1	EQ	3,861.05

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008044	0000	02/28/2019	SCBA WITH HARNESS / SPARE 1	EQ	3,861.05
00008045	0000	02/28/2019	SCBA WITH HARNESS / SPARE 2	EQ	3,861.05
00008046	0000	02/28/2019	SCBA WITH HARNESS / SPARE 3	EQ	3,861.05
00008047	0000	02/28/2019	SCBA WITH HARNESS / SPARE 4	EQ	3,861.05
00008048	0000	02/28/2019	SCBA WITH HARNESS / SPARE 5	EQ	3,861.05
00008049	0000	02/28/2019	MSA REPAIR TOOL KIT, G1 DELUXE	EQ	2,770.08
00008050	0000	02/28/2019	MSA-GA-PREMAIRE CADET ESCAPE UNIT	EQ	1,269.00
00008051	0000	02/28/2019	MSA-GA-PREMAIRE CADET ESCAPE UNIT	EQ	1,269.00
00008052	0000	02/28/2019	MSA-GA-PREMAIRE CADET ESCAPE UNIT	EQ	1,269.00
00008053	0000	02/28/2019	MSA-GA-PREMAIRE CADET ESCAPE UNIT	EQ	1,269.00
00008063	0000	09/23/2019	2019 7X16 V-NOSE FRONT TANDEM AXLE ANVIL TRAILER	EQ	4,054.00
00008064	0000	09/27/2019	DELL 75 4K INTERACTIVE TOUCH MONITOR	EQ	3,700.00
00008065	0000	09/30/2019	INDUSTRIAL OVERHEAD FAN,MECH INSTL,FAN W/LIFT	EQ	2,300.00
00008066	0000	09/23/2019	MICROSOFT SURFACE LAPTOP 2 -13.5" 8GB RAM-256GB	EQ	1,287.08
00008067	0000	09/24/2019	DJI MAVIC 2 ZOOM-QUADCOPTER (DRONE)	EQ	1,517.00
00008068	0000	09/27/2019	DELL LATITUDE 5501 BUSINESS LAPTOP	EQ	1,338.11
00008069	0000	09/27/2019	DELL LATIITUDE 5501 BUSINESS LAPTOP	EQ	1,338.11
00008070	0000	09/27/2019	DELL LATITUDE 5501 BUSINESS LAPTOP	EQ	1,338.11
00008071	0000	09/27/2019	DELL LATITUDE 5501 BUSINESS LAPTOP	EQ	1,338.11
00008073	0000	09/26/2019	VENTRAC MODEL#ED202 EDGER W/ BLOWER KIT	EQ	3,515.85
00008074	0000	09/26/2019	VENTRAC DUAL WHEELS/SLOPE INDICATOR GAUGE	EQ	1,320.70
00008075	0000	09/23/2019	AMANA COMMERCIAL MICROWAVE OVEN 1.0CU FT,3000 WATT	EQ	2,213.44
00008088	0000	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0001	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0002	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0003	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0004	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0005	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0006	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0007	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0008	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0009	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0010	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0011	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0012	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0013	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0014	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0015	07/24/2019	FIRE CONSOLE 1 (APX4500) MODEL M22URS9PW1 N	EQ	2,314.43
00008088	0016	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0017	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0018	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0019	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0020	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0021	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34



**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008088	0066	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0067	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0068	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0069	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0070	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0071	07/24/2019	FIRE MOBILE 1 (APX4500,REMOTE) MODEL M22URS9PW1 N	EQ	1,911.34
00008088	0072	07/24/2019	FIRE MOBILE 2 (APX4500,GLASS ANTENNA) M22URS9PW1 N	EQ	1,889.14
00008088	0073	07/24/2019	FIRE MOBILE 2 (APX4500,GLASS ANTENNA) M22URS9PW1 N	EQ	1,889.14
00008088	0074	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0075	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0076	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0077	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0078	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0079	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0080	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0081	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0082	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0083	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0084	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0085	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0086	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0087	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0088	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0089	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0090	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0091	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0092	07/24/2019	FIRE MOBILE 3 (APX8500,DUAL HEAD) M37TSS9PW1 N	EQ	3,826.80
00008088	0093	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0094	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0095	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0096	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0097	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0098	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0099	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0100	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0101	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0102	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0103	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0104	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0105	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0106	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0107	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0108	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51
00008088	0109	07/24/2019	FIRE MOBILE 4 (APX8500) MODEL M37TSS9PW1 N	EQ	3,542.51

















**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008088	0421	07/24/2019	GO KIT FIRE PORTABLE(APX8000XE,ENCRYPT)H91TGD9PW6N	EQ	4,181.98
00008088	0422	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0423	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0424	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0425	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0426	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0427	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0428	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0429	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0430	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0431	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0432	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0433	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0434	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0435	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0436	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0437	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0438	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0439	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0440	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0441	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0442	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0443	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0444	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0445	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0446	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0447	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0448	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0449	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0450	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0451	07/24/2019	GO KIT LE PORTABLE(APX8000,ENCRYPT) H91TGD9PW6 N	EQ	3,864.78
00008088	0452	07/24/2019	LE CONSOLE 1 (APX4500,ENCRPYTION) M22URS9PW1 N	EQ	2,626.66
00008088	0453	07/24/2019	LE CONSOLE 1 (APX4500,ENCRPYTION) M22URS9PW1 N	EQ	2,626.66
00008088	0454	07/24/2019	LE CONSOLE 1 (APX4500,ENCRPYTION) M22URS9PW1 N	EQ	2,626.66
00008088	0455	07/24/2019	LE CONSOLE 1 (APX4500,ENCRPYTION) M22URS9PW1 N	EQ	2,633.61
00008088	0456	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0457	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0458	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0459	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0460	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0461	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0462	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0463	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53
00008088	0464	07/24/2019	LE MOBILE 1 (APX4500,ENCRYPTION) M22URS9PW1 N	EQ	2,230.53















**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008088	0729	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0730	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0731	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0732	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0733	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0734	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0735	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0736	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0737	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0738	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0739	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0740	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0741	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0742	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0743	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0744	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0745	07/24/2019	LE MOBILE2(APX4500,ENCRYPT,GLS ANTENA)M22URS9PW1 N	EQ	2,208.32
00008088	0746	07/24/2019	LE MOBILE3(APX6500,ENCRYPT,GLS ANTENA,HANDHLD MIC)	EQ	2,905.34
00008088	0747	07/24/2019	LE MOBILE3(APX6500,ENCRYPT,GLS ANTENA,HANDHLD MIC)	EQ	2,905.34
00008088	0748	07/24/2019	LE MOBILE3(APX6500,ENCRYPT,GLS ANTENA,HANDHLD MIC)	EQ	2,905.34
00008088	0749	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0750	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0751	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0752	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0753	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0754	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0755	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0756	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0757	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0758	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0759	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0760	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0761	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0762	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0763	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0764	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0765	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0766	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0767	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0768	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0769	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0770	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0771	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11
00008088	0772	07/24/2019	LE PORTABLE 1 (APX6000,ENCRYPTION) H98UCF9PW6BN N	EQ	2,603.11





















**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

<b>Asset #</b>	<b>Imp #</b>	<b>Acquisition Date</b>	<b>Item Description</b>	<b>Type Code</b>	<b>Purchase Cost</b>
00008088	1169	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1170	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1171	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1172	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1173	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1174	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1175	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1176	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1177	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1178	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1179	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1180	07/24/2019	LG CONSOLE 1 (APX1500) MODEL M36URS9PW1 N	EQ	2,190.72
00008088	1182	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1183	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1184	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1185	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1186	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1187	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1188	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1189	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1190	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1191	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1192	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1193	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1194	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1195	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1196	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1197	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1198	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1199	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1200	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1201	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1202	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1203	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1204	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1205	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1206	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1207	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1208	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1209	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1210	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1211	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1212	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98
00008088	1213	07/24/2019	LG MOBILE 1 (APX1500) MODEL M36URS9PW1 N	EQ	1,634.98











**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008088	1390	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1391	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1392	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1393	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1394	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1395	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1396	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1397	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1398	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1399	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1400	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1401	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1402	07/24/2019	LG MOBILE 2 (APX1500,GLASS ANTENNA) M36URS9PW1 N	EQ	1,612.78
00008088	1403	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1404	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1405	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1406	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1407	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1408	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1409	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1410	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1411	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1412	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1413	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1414	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1415	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1416	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1417	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1418	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1419	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1420	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1421	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1422	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1423	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1424	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1425	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1426	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1427	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1428	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1429	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1430	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1431	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1432	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1433	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79



















**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008088	1786	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1787	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1788	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1789	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1790	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1791	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1792	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1793	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1794	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1795	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1796	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1797	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1798	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1799	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1800	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1801	07/24/2019	LG PORTABLE 1 (APX900) MODEL H92UCF9PW6 N	EQ	1,290.79
00008088	1802	07/24/2019	LG PORTABLE 2 (APX8000XE) MODEL H91TGD9PW6 N	EQ	3,852.88
00008088	1803	07/24/2019	LG PORTABLE 2 (APX8000XE) MODEL H91TGD9PW6 N	EQ	3,852.88
00008088	1804	07/24/2019	LG PORTABLE 2 (APX8000XE) MODEL H91TGD9PW6 N	EQ	3,852.88
00008088	1805	07/24/2019	LG PORTABLE 2 (APX8000XE) MODEL H91TGD9PW6 N	EQ	3,852.88
00008088	1806	07/24/2019	LG PORTABLE 2 (APX8000XE) MODEL H91TGD9PW6 N	EQ	3,852.88
00008088	1807	07/24/2019	LG PORTABLE 3 (APX8000) MODEL H91TGD9PW6 N	EQ	3,535.68
00008088	1808	07/24/2019	LG PORTABLE 3 (APX8000) MODEL H91TGD9PW6 N	EQ	3,535.68
00008088	1809	07/24/2019	LG PORTABLE 3 (APX8000) MODEL H91TGD9PW6 N	EQ	3,535.68
00008088	1810	07/24/2019	LG PORTABLE 3 (APX8000) MODEL H91TGD9PW6 N	EQ	3,535.68
00008088	1811	07/24/2019	LG PORTABLE 3 (APX8000) MODEL H91TGD9PW6 N	EQ	3,535.68
00008088	1812	07/24/2019	LG PORTABLE 3 (APX8000) MODEL H91TGD9PW6 N	EQ	3,538.34
00008114	0000	05/23/2019	ADEC 351 ASST. INST. SINGLE DENTAL CHAIR LIGHT	EQ	1,112.00
00008115	0000	10/01/2018	HEADLAMP WIRELESS LED MINI	EQ	1,364.00
00008116	0000	10/01/2018	HEADLAMP WIRELESS LED MINI	EQ	1,364.00
00008117	0000	10/01/2018	SCHICK SIZE O	EQ	3,917.25
00008118	0000	10/01/2018	ELIPAR DEEPCURE LIGHT	EQ	1,497.37
00008119	0000	10/01/2018	ELIPAR DEEPCURE LIGHT	EQ	1,497.37
00008120	0000	10/01/2018	HEADLAMP WIRELESS LED MINI	EQ	1,364.00
00008121	0000	10/01/2018	ELIPAR DEEPCURE LIGHT	EQ	1,497.37
00008122	0000	10/01/2018	ELIPAR DEEPCURE LIGHT	EQ	1,497.37
00008123	0000	10/01/2018	ISOLITE	EQ	1,356.00
00008124	0000	10/01/2018	ISOLITE	EQ	1,356.00
00008125	0000	10/01/2018	SWEEPZONE	EQ	1,979.99
00008126	0000	10/01/2018	CAVITRON PLUS W/ TAP	EQ	2,494.03
00008127	0000	10/01/2018	CAVITRON PLUS W/ TAP	EQ	2,494.03
00008130	0000	05/23/2019	REFRIGERATOR PHAR/VACC 1 CUFT	EQ	1,073.72
00008132	0000	04/26/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008133	0000	04/26/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008134	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008135	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008136	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008137	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008138	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008139	0000	10/01/2018	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008140	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008141	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008142	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008143	0000	06/06/2019	MOTOROLA APX 900 7/800 MHZ MODEL RADIO	EQ	2,488.96
00008144	0000	04/28/2019	DELL LATITUDE 7390	EQ	2,188.95
00008145	0000	04/28/2019	DELL LATITUDE 7390	EQ	2,188.95
00008146	0000	10/01/2018	DELL NETWORKING N2000 SERIES SWITCHES	EQ	1,672.80
00008147	0000	10/01/2018	DEFIBRILLATOR AED	EQ	1,102.47
00008148	0000	10/01/2018	DEFIBRILLATOR AED	EQ	1,102.47
00008149	0000	10/01/2018	DEFIBRILLATOR AED	EQ	1,102.47
00008150	0000	10/01/2018	DEFIBRILLATOR AED	EQ	1,102.47
00008151	0000	10/01/2018	DEFIBRILLATOR AED	EQ	1,102.47
00008152	0000	03/21/2019	DEFIBRILLATOR AED	EQ	1,102.47
00008153	0000	03/21/2019	DEFIBRILLATOR AED	EQ	1,102.47
00008154	0000	10/01/2018	MICRO CO CARBON MONOXIDE MONITOR	EQ	1,280.99
00008155	0000	10/01/2018	SPOT VITAL SIGN W/NIBP/02/TEMP	EQ	2,295.00
00008156	0000	10/01/2018	SPOT VITAL SIGN W/NIBP/02/TEMP	EQ	2,295.00
00008157	0000	10/01/2018	SPOT VITAL SIGN W/NIBP/02/TEMP	EQ	2,295.00
00008158	0000	10/01/2018	SPOT VITAL SIGN W/NIBP/02/TEMP	EQ	2,295.00
00008159	0000	10/01/2018	SPOT VITAL SIGN W/NIBP/02/TEMP	EQ	2,295.00
00008160	0000	10/01/2018	SPOT VITAL SIGN W/NIBP/02/TEMP	EQ	2,295.00
00008163	0000	10/01/2018	MICROSCOPE G380SP	EQ	1,090.89
00008164	0000	10/01/2018	TABLE EXAM RITTER POWER 224 B	EQ	3,927.02
00008166	0000	10/01/2018	SOFA 3 SEATER LAMBDA SERIES	FUR	1,150.68
00008167	0000	10/01/2018	SOFA 3 SEATER LAMBDA SERIES	FUR	1,150.68
00008168	0000	10/01/2018	HP COLOR LASER JET CP5225N PRINTER	EQ	1,364.40
00008169	0000	10/01/2018	TALL MULTIL DOSE MED CART	EQ	1,496.00
00008175	0000	12/18/2018	25 SQL USER LICENSES	EQ	4,175.00
00008176	0000	12/18/2018	RACK SOLUTIONS ENCLOSED RACK	EQ	1,150.00
00008177	0000	02/12/2019	FUJITSU FI-7180 COLOR DUPLEX SCANNER	EQ	1,469.97
00008179	0000	04/01/2019	APPLE MACBOOK PRO TOUCH BAR 13.3" CORE I7	EQ	2,430.69
00008180	0000	04/01/2019	APPLE MAC MINI 3.2GHZ CORE I7 6-CORE 8TH GEN 32GB	EQ	2,075.00
00008181	0000	04/01/2019	APPLE MAC MINI 3.2GHZ CORE I7 6-CORE 8TH GEN 32GB	EQ	2,075.00
00008182	0000	04/16/2019	RICOH ROSETTA SP4510DN MICR PRINTER MONOCHROME LED	EQ	1,111.00
00008183	0000	04/22/2019	APPLE 12.9"IPAD PRO WI-FI+CELLULAR 3RD GENER TABLE	EQ	1,425.00
00008184	0000	07/22/2019	APPLE MACBOOK PRO13" COREI7 2.8GHZ 16GB TOUCH BAR	EQ	2,225.00
00008185	0000	07/29/2019	APPLE MAC MINI 3.2GHZ CORE I7 6-CORE 8TH GEN 16GB	EQ	1,255.00
00008186	0000	08/14/2019	FUJITSU FI-7600 DOCUMENT SCANNER DESKTOP USB 3.1	EQ	4,175.00

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008187	0000	08/15/2019	HP COLOR LASERJET ENTERPRISE M652N PRINTER CLR-LSR	EQ	1,002.29
00008188	0000	08/15/2019	HP COLOR LASERJET ENTERPRISE M652N PRINTER CLR-LSR	EQ	1,002.29
00008189	0000	08/28/2019	APPLE MACBOOK PRO 13"CORE I7 2.8GHZ 16GB TOUCH BAR	EQ	2,430.69
00008192	0000	08/20/2019	PULSE SECURE APPLIANCE 3000 BASE SYSTEM	EQ	1,402.52
00008205	0000	09/30/2019	2005 FORD PICK UP TRUCK	VH	0.00
00008206	0000	09/30/2019	2007 SUZUKI ATV	EQ	0.00
00008207	0000	09/30/2019	2007 CHEVROLET 2500 HD FLATBED PICK UP TRUCK	VH	0.00
00008213	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008214	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008215	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008216	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008217	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008218	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008219	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008220	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008221	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008222	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008223	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008224	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008225	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008226	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008227	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14" CORE, 16GB RAM	EQ	1,600.00
00008228	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008229	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008230	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008231	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008232	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008233	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008234	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008235	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008236	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008237	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008238	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008239	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008240	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008241	0000	04/08/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008242	0000	12/04/2019	MICROSOFT SURFACE LAPTOP 3-13.5" CORE, 8 GB RAM	EQ	1,186.24
00008243	0000	10/22/2019	DJI MAVIC 2 ENTERPRISE ZOOM UNIVERSAL ED DRONE	EQ	1,740.00
00008244	0000	11/19/2019	DJI MAVIC 2 ENTERPRISE DUAL-QUADCOPTER	EQ	2,426.79
00008245	0000	12/05/2019	MICROSOFT SURFACE LAPTOP 3 - 13.5" CORE I5 8GB RAM	EQ	1,285.00
00008246	0000	12/05/2019	MICROSOFT SURFACE LAPTOP 3 13.5"-CORE I5 8GB RAM	EQ	1,285.00
00008247	0000	12/05/2019	MICROSOFT SURFACE LAPTOP 3 - 13.5" CORE I5 8GB RAM	EQ	1,285.00
00008248	0000	12/05/2019	MICROSOFT SURFACE LAPTOP 3-13.5" CORE I5 8GB RAM	EQ	1,285.00
00008249	0000	12/05/2019	MICROSOFT SURFACE LAPTOP 3 - 13.5" CORE I5 8GB RAM	EQ	1,285.00

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008250	0000	12/18/2019	MICROSOFT SURFACE LAPTOP 3 13.5" CORE I7 16GB RAM	EQ	1,550.00
00008251	0000	12/18/2019	MICROSOFT SURFACE LAPTOP 3 13.5" CORE I7 16GB RAM	EQ	1,550.00
00008252	0000	12/18/2019	MICROSOFT SURFACE LAPTOP 3 13.5" CORE I7 16GB RAM	EQ	1,550.00
00008253	0000	12/18/2019	MICROSOFT SURFACE LAPTOP 3 13.5" CORE I7 16GB RAM	EQ	1,550.00
00008254	0000	12/18/2019	MICROSOFT SURFACE LAPTOP 3 13.5" CORE I7 16GB RAM	EQ	1,550.00
00008255	0000	12/09/2019	PANASONIC TOUGHBOOK 55 14" CORE I5-8365U 8GB RAM	EQ	1,669.77
00008256	0000	12/09/2019	PANASONIC TOUGHBOOK 55 14" CORE I5-8365U 8GB RAM	EQ	1,669.77
00008257	0000	12/09/2019	PANASONIC TOUGHBOOK 55 14" CORE I5-8365U 8GB RAM	EQ	1,669.77
00008258	0000	12/09/2019	PANASONIC TOUGHBOOK 55 14" CORE I5-8365U 8GB RAM	EQ	1,669.77
00008259	0000	12/09/2019	PANASONIC TOUGHBOOK 55 14" CORE I5-8365U 8GB RAM	EQ	1,669.77
00008260	0000	12/09/2019	PANASONIC TOUGHBOOK 55 14" CORE I5-8365U 8GB RAM	EQ	1,669.77
00008261	0000	12/09/2019	PANASONIC TOUGHBOOK 55 14" CORE I5-8365U 8GB RAM	EQ	1,669.77
00008262	0000	11/29/2019	DJI MAVIC 2 ZOOM - QUADCOPTER	EQ	1,517.00
00008263	0000	11/29/2019	DJI MAVIC 2 ZOOM - QUADCOPTER	EQ	1,517.00
00008264	0000	11/29/2019	DJI MAVIC 2 ZOOM - QUADCOPTER	EQ	1,517.00
00008265	0000	11/29/2019	DJI MAVIC 2 ZOOM - QUADCOPTER	EQ	1,517.00
00008266	0000	02/24/2020	APPLE IMAC 21.5"CORE I7 3.2GHZ 16GB RAM	EQ	1,925.00
00008269	0000	04/03/2020	HP SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008270	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008271	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008272	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008273	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008274	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008275	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008276	0000	04/08/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008277	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008278	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008279	0000	04/03/2020	HB SB ELITEBOOK X360 1040 G6 14"CORE, 16GB RAM	EQ	1,600.00
00008282	0000	01/04/2020	OPTIPLEX 7070 SFF XCTO TOWER 8GB RAM	EQ	1,237.67
00008283	0000	01/04/2020	OPTIPLEX 7070 SFF XCTO TOWER 8GB RAM	EQ	1,237.67
00008284	0000	01/04/2020	OPTIPLEX 7070 SFF XCTO TOWER 8GB RAM	EQ	1,237.67
00008285	0000	01/04/2020	OPTIPLEX 7070 SFF XCTO 8GB RAM	EQ	1,237.67
00008286	0000	01/04/2020	OPTIPLEX 7070 SFF XCTO 8GB RAM	EQ	1,237.67
00008287	0000	01/04/2020	OPTIPLEX 7070 SFF XCTO TOWER 8GB RAM	EQ	1,237.67
00008288	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008289	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008290	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008291	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008292	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008293	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008294	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008295	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008296	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99
00008297	0000	01/04/2020	DELL ULTRA SHARP 49 INCH CURVED MONITOR	EQ	1,019.99

**FLAGLER COUNTY**  
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Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008299	0000	12/13/2019	DELL LATITUDE 5501 XCTO 15" BUSINESS LAPTOP	EQ	1,277.02
00008300	0000	12/13/2019	DELL LATITUDE 5501 XCTO 15" BUSINESS LAPTOP	EQ	1,277.02
00008301	0000	12/13/2019	DELL LATITUDE 5501 XCTO 15" BUSINESS LAPTOP	EQ	1,277.02
00008302	0000	12/13/2019	DELL LATITUDE 5501 XCTO 15" BUSINESS LAPTOP	EQ	1,277.02
00008303	0000	12/13/2019	DELL LATITUDE 5501 XCTO 15" BUSINESS LAPTOP	EQ	1,277.02
00008304	0000	12/13/2019	DELL OPTIPLEX 7070 SMALL FORM FACTOR DESKTOP TOWER	EQ	1,250.00
00008305	0000	12/13/2019	DELL OPTIPLEX 7070 SMALL FORM FACTOR DESKTOP TOWER	EQ	1,250.00
00008312	0000	12/19/2019	22" INDUSTRIAL DRILL PRESS W/ 8" LOW PROFILE VICE	EQ	1,999.00
00008318	0000	02/26/2020	CAREVENT ALS HANDHELD TRANSPORT RESUSCITATOR	EQ	1,446.60
00008319	0000	02/26/2020	CAREVENT ALS HANDHELD TRANSPORT RESUSCITATOR	EQ	1,446.60
00008320	0000	02/26/2020	CAREVENT ALS HANDHELD TRANSPORT RESUSCITATOR	EQ	1,446.60
00008321	0000	02/18/2020	PYROSHOT HS GRND IGNIT.HANDLNCHR,DRGON EGG,CO2 TNK	EQ	3,214.91
00008325	0000	03/05/2020	9"X16" HORIZONTAL BANDSAW, 1-1/2 HP MOTOR	EQ	3,671.25
00008327	0000	05/15/2020	3.3"-138"DBLE MST SEMI-ELECT STRADDLE PALLET STCKR	EQ	3,670.13
00008328	0000	01/29/2020	CATERPILLAR 84" INDUSTRIAL GRAPPLE RAKE	EQ	3,909.00
00008330	0000	01/20/2020	STINGER 2.0 UPPER UNIT LFTOFF DECK GUN W/MNTS,PRTS	EQ	2,001.05
00008331	0000	11/21/2019	SAFEAIR MAVIC & PROF KIT-DRONE SFTY SYS DJI MAVIC2	EQ	1,746.29
00008334	0000	09/11/2020	DJI D-RTK MOBILE STATION	EQ	2,325.00
00008336	0000	12/06/2019	MSA G1 RESCUE AIRE II & RAPID INTERVENTION SYSTEM	EQ	3,623.20
00008337	0000	12/06/2019	MSA G1 RESCUE AIRE II & RAPID INTERVENTION SYSTEM	EQ	3,623.20
00008338	0000	12/06/2019	MSA G1 RESCUE AIRE II & RAPID INTERVENTION SYSTEM	EQ	3,623.20
00008339	0000	12/06/2019	MSA G1 RESCUE AIRE II & RAPID INTERVENTION SYSTEM	EQ	3,623.20
00008343	0000	12/16/2019	JOHN DEERE COMPACT UTILITY TRACTOR PALLET FORK	EQ	1,050.00
00008350	0000	05/04/2020	ICOM-IC7300 HF TRANSCEIVER HAM RADIO & CABLE	EQ	1,074.95
00008354	0000	06/30/2020	TBS PAYMENT KIOSK(W/COIN,BILL,CREDIT CARD OPTIONS)	EQ	4,005.01
00008355	0000	06/30/2020	SCAN STAT.17"ELO SOLID ST HARD DRVE& 11X17 SCANNER	EQ	1,678.95
00008356	0000	06/30/2020	TBS COIN/BILL/CREDIT CARD PAYMENT TOWER	EQ	2,596.84
00008357	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008358	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008359	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008360	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008361	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008362	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008363	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008364	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008365	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008366	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008367	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008368	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008369	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008370	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008371	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89
00008372	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDIAR 3000 PROT.COAT	EQ	1,069.89
00008373	0000	06/29/2020	CLSX ARMOR AP GLD,GLDE ICE2,STEDAIR 3000 PROT.COAT	EQ	1,069.89

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008377	0000	02/25/2020	HPE NIMBLE STORAGE 2-PORT ADAPTER KIT NETWORK ADAP	EQ	1,841.28
00008382	0000	09/16/2020	PANASONIC 14" TOUGHBOOK LAPTOP, 8GB RAM	EQ	1,669.77
00008383	0000	09/01/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,950.00
00008384	0000	09/01/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,950.00
00008385	0000	09/01/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,950.00
00008386	0000	08/20/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008387	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008388	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008389	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008390	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008391	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008392	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008393	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008394	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008395	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008396	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008397	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008398	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008399	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008400	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008401	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008402	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008403	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008404	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008405	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008406	0000	08/31/2020	HP SB ELITEBOOK X360 LAPTOP,8GB RAM,14"TOUCHSCREEN	EQ	1,938.16
00008410	0000	09/09/2020	49 CU FT.ARCTIC AIR AF49 2-SECT.REACH-IN FREEZER	EQ	2,699.00
00008411	0000	09/17/2020	CARBON/KEVLAR HELI HELMET XL,BLUE,QR DUAL VISOR	EQ	1,360.92
00008412	0000	09/17/2020	CARBON/KEVLAR HELI HELMET XL,BLUE,QR DUAL VISOR	EQ	1,360.92
00008413	0000	09/17/2020	CARBON/KEVLAR HELI HELMET,XL,BLUE, QR DUAL VISOR	EQ	1,360.91
00008415	0000	06/10/2020	LAMINATE SQ.EDGE CNTR TOP,CABNTS,EXT DRAWERS DESK	EQ	2,936.00
00008418	0000	07/27/2020	HP Z2 WORKST/W/KEYBRD,MOUSE,SWTCH,COMBO PORTS,INS	EQ	3,995.00
00008419	0000	04/17/2020	DELL LATITUDE 5300 2-IN-1 XCTO	EQ	1,288.00
00008420	0000	04/17/2020	DELL LATITUDE 5500 XCTO BASE	EQ	1,137.97
00008421	0000	04/17/2020	DELL LATITUDE 5500 XCTO BASE	EQ	1,137.97
00008422	0000	04/17/2020	DELL LATITUDE 5500 XCTO BASE	EQ	1,137.97
00008423	0000	04/17/2020	DELL LATITUDE 5500 XCTO BASE	EQ	1,137.97
00008424	0000	05/07/2020	DELL LATITUDE 5300 2-IN-1 XCTO	EQ	1,347.46
00008425	0000	05/07/2020	DELL LATITUDE 5500 XCTO BASE	EQ	1,137.97
00008426	0000	05/07/2020	DELL LATITUDE 5500 XCTO	EQ	1,137.97
00008427	0000	05/07/2020	DELL LATITUDE 5500 XCTO BASE	EQ	1,137.97
00008428	0000	05/07/2020	DELL LATITUDE 5500 XCTO BASE	EQ	1,137.97
00008433	0000	08/31/2020	4-PK CLEANSHIELD HEPA550 COMM INDSTRAL AIR SCRUBBER	EQ	1,868.00
00008434	0000	08/31/2020	4-PK CLEANSHIELD HEPA550 COMM INDSTRAL AIR SCRUBBER	EQ	1,868.00



**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

Asset #	Imp #	Acquisition Date	Item Description	Type Code	Purchase Cost
00008435	0000	08/31/2020	4-PK CLEANSHIELD HEPA550 COMM INDSTRL AIR SCRUBBER	EQ	1,868.00
00008436	0000	08/31/2020	4-PK CLEANSHIELD HEPA550 COMM INDSTRL AIR SCRUBBER	EQ	1,868.00
00008440	0000	03/06/2020	ISOLITE I3 SYSTEM	EQ	1,516.00
00008441	0000	02/27/2020	MIDMARK VITAL SIGN MONITOR	EQ	4,381.56
00008442	0000	02/03/2020	COLPOSCOPE W/LED LIGHT & 360 ROTATING BASE	EQ	3,995.00
00008443	0000	01/31/2020	VITAL SIGNS MONITOR	EQ	2,508.04
00008444	0000	09/08/2020	HP ELITE DESK 800 G6 DESKTOP MINI PC	EQ	2,070.00
00008445	0000	09/08/2020	HP ELITE DESK 800 G6 DESKTOP MINI PC	EQ	2,070.00
00008446	0000	09/08/2020	HP ELITE DESK 800 G6 DESKTOP MINI PC	EQ	2,070.00
00008447	0000	09/08/2020	HP PRODESK 600 DESKTOP	EQ	1,095.00
00008448	0000	09/08/2020	HP PRO DESK 600 DESKTOP	EQ	1,095.00
00008449	0000	09/08/2020	HP PRODESK 600 DESKTOP	EQ	1,095.00
00008450	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008451	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008452	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008453	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008454	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008455	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008456	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008457	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008458	0000	09/08/2020	HP PRODESK 600 MINI	EQ	1,040.00
00008459	0000	09/08/2020	HP ELITEBOOK 650	EQ	1,575.00
00008460	0000	09/08/2020	HP ELITEBOOK 650	EQ	1,575.00
00008461	0000	09/08/2020	HP ELITEBOOK 650	EQ	1,575.00
00008462	0000	09/08/2020	HP ELITEBOOK 650	EQ	1,575.00
00008463	0000	09/08/2020	HP ELITEBOOK 650	EQ	1,575.00
00008464	0000	09/08/2020	HP LASERJET PRINTER	EQ	1,300.00
00008465	0000	08/25/2020	APPLE MACBOOK PRO 13-INCH, 16GB	EQ	2,097.00
00008466	0000	08/25/2020	APPLE IPAD PRO 12.9-INCH	EQ	1,397.00
00008467	0000	08/25/2020	HP COLOR LASERJET ENTERPRISE M652DN	EQ	1,184.69
00008468	0000	09/09/2020	APPLE MAC MINI 3.0GHZ 6-CORE 8TH GEN CORE I5 16GB	EQ	1,600.92
00008469	0000	09/25/2020	APPLE MAC MINI 3.0GHZ 6-CORE 8TH GEN CORE I5 16GB	EQ	1,250.00
00008470	0000	08/29/2020	APPLE MAC MINI 3.2GHZ CORE I7 6-CORE 8TH GEN 32GB	EQ	2,025.00
00008471	0000	08/29/2020	APPLE MAC MINI 3.2GHZ CORE I7 6-CORE 8TH GEN 32GB	EQ	2,010.00
00008472	0000	08/29/2020	APPLE MAC MINI 3.2GHZ CORE I7 6-CORE 8TH GEN 32GB	EQ	2,010.00
00008473	0000	08/29/2020	APPLE MAC MINI 3.0GHZ 6-CORE 8TH GEN I5 16GB	EQ	1,544.00
00008474	0000	08/29/2020	APPLE MAC MINI 3.0GHZ 6-CORE 8TH GEN CORE I5 16GB	EQ	1,544.00
00008475	0000	09/28/2020	APPLE MAC MINI 3.0GHZ 6-CORE 8TH GEN CORE I5 16GB	EQ	1,250.00
00008476	0000	08/28/2020	PRINTSCAN FINGERPRINTING/BACKGROUND SOFTWARE & EQIP	EQ	4,095.00
00008477	0000	03/04/2020	QFX5100 SRS ETHERNET SWTCH,10GBE(FIBER&COPP)48PRTS	EQ	2,910.00
00008478	0000	04/03/2020	QFX5100 SRS ETHERNET SWTCH,10GBE(FIBER&COPP)48PRTS	EQ	2,910.00
00008479	0000	04/29/2020	CHECK-IN WINDOW W/SPEAK THRU SPEAKER MAIN LOBBY	EQ	4,435.00
00008480	0000	04/29/2020	CHECK-IN WINDOW WITH SPEAK THRU SPEAKER MAIN LOBBY	EQ	4,435.00
00008484	0000	09/29/2020	NEWTON 3 WITH NO BARCODE W/ PRINTER(MONEY COUNTER)	EQ	2,745.00

**FLAGLER COUNTY**  
**Fixed Assets with an Original Purchase Cost of less than \$5,000**

<b>Asset #</b>	<b>Imp #</b>	<b>Acquisition Date</b>	<b>Item Description</b>	<b>Type Code</b>	<b>Purchase Cost</b>
00008485	0000	09/29/2020	NEWTON 3 WITH NO BARCODE W/PRINTER (MONEY COUNTER)	EQ	2,745.00
00008486	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008487	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008488	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008489	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008490	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008491	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008492	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008493	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008494	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008495	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008496	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008497	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008498	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008499	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008500	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008501	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008502	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008503	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008504	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
00008505	0000	09/10/2020	ELECTRONIC VOTER IDENTIFICATION SYSTEM UNIT	EQ	1,765.00
<b>Report Total =&gt;&gt;</b>					<b>\$10,079,614.84</b>

# if items

**4,685**

**OFLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7a**

**SUBJECT:** Ratification of Flagler County Emergency Proclamations Extending the State of Local Emergency – Hurricane Matthew.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** Flagler County has been under a declared state of local emergency due to Hurricane Matthew since October 4, 2016. By law, the Proclamation declaring a state of local emergency may only last for seven days, but may be renewed every seven days as necessary. In the immediate aftermath of Hurricane Matthew, the County utilized its authority under the emergency to address debris removal and the restoration of electrical power. Over time, the County’s response shifted to repairs of the coastline infrastructure and dune system. The County installed a seawall in Painters Hill to prevent the collapse of homes onto the beach. The County also installed an emergency protective berm in much of the unincorporated areas of the County.

In Flagler Beach, the coastline remains in disrepair with severely damaged dunes and much of S. R. A1A in need of a long-term solution. The County has entered into an agreement with the Army Corps of Engineers to restore dunes in southern Flagler Beach (the “Army Corps Project” or “Federal Project”) and is coordinating with FDOT to restore dunes in the northern half of Flagler Beach and with FDOT and FDEP to restore dunes from South 28<sup>th</sup> Street to the Volusia County line (together, the “Non-federal Project”).

Under the mandatory rules of the Army Corps, the County must have legal access to every parcel within the Army Corps Project area because any gap in the renourished dune would result in a breach point in the event of a storm surge—jeopardizing A1A and nearby properties and undermining the purpose of the project itself. The County has obtained ~98% of the necessary easements, with only five dune remnant properties remaining outstanding. These remnant parcels are located in a slate declared to be a critical eroding shoreline. The Board has already authorized eminent domain proceedings against two of the properties, and other emergency measures may be necessary to fill the breach points. In addition, the County hopes to save significant mobilization costs by utilizing the same contractor for both Army Corp and Non-federal Projects. Continuing the state of local emergency will help the County with these efforts and will allow the County to take any other necessary emergency measures to restore, protect and maintain the dunes before the next, inevitable hurricane strikes.

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Jonathan Lord, Emergency Management Director (386) 313-4240

**RECOMMENDATION:** Request the Board ratify the Proclamations Extending the State of Local Emergency for Hurricane Matthew.

**ATTACHMENTS:**

1. Proclamation Extending State of Local Emergency – Hurricane Matthew, 05/04/2021
2. Proclamation Extending State of Local Emergency – Hurricane Matthew, 05/11/2021

**FLAGLER COUNTY, FLORIDA  
PROCLAMATION EXTENDING  
STATE OF LOCAL EMERGENCY  
(Hurricane Matthew)**

**May 4, 2021**

**WHEREAS**, on October 4, 2016, in preparation for the imminent impact of Hurricane Matthew on Flagler County, the Chair of the Board of County Commissioners of Flagler County, Florida, with the concurrence of the County's Emergency Management Director, the Sheriff, and the County Administrator, issued a Proclamation declaring a state of local emergency, dated October 4, 2016, recorded in the Official Records of Flagler County at Book 2161, Page 1453; and

**WHEREAS**, Hurricane Matthew passed along the County's coastline on October 7, 2016, severely damaging the entire dune system of the County, flooding hundreds of homes through dune breaches and destroying public infrastructure and other public and private property along the coastline; and

**WHEREAS**, Hurricane Matthew exposed the entire beachfront of Flagler County to a critical risk of further damage and had a particularly devastating impact on the right of way of State Road A1A in Flagler Beach, exacerbating the vulnerability of adjoining homes and businesses; and

**WHEREAS**, on October 11, 2016, and every seventh day thereafter to the present, based on the further recommendation of the County Administrator and the Emergency Management Director, the Chair of the Board of County Commissioners extended the state of local emergency for additional seven day periods in accordance with law; and

**WHEREAS**, the Board of County Commissioners ratified each of the Proclamations declaring and extending the local state of emergency by unanimous votes at public meetings; and

**WHEREAS**, while recovery efforts in response to Hurricane Matthew were still underway, Hurricane Irma struck Flagler County on September 11, 2017, further scarping the already badly damaged dune system of the county, flooding hundreds of homes, and nearly collapsing beachfront homes in the Painters Hill area of unincorporated Flagler County; and

**WHEREAS**, in September 2019, Hurricane Dorian slowly passed Flagler County offshore, churning rough surf and crashing enormous breakers into the beaches and dunes, causing a dune breach, several over washes, and scarping approximately \$3.7 million in damage to the dune system of Flagler County; and

**WHEREAS**, as a result of Hurricane Matthew compounded with subsequent weather events, the County is engaged in a coastal dunes rehabilitation effort at multiple locations along the Flagler County coast, including:

- i.) the installation of a seawall in Painters Hill to prevent the collapse of homes onto the beach;
- ii.) the construction and vegetating of an emergency protective berm along 12 miles of the dunes in unincorporated Flagler County and in the incorporated communities of Marineland and Beverly Beach;
- iii.) the repair of dune crossovers and the installation of specialized mats over the emergency protective berm at certain beach access points for pedestrian and authorized vehicular traffic;
- iv.) the issuance of Emergency Orders 2018-02 and 2018-03, prohibiting driving or parking of vehicles on the beaches and dunes and prohibiting the traversing of the dunes and emergency protective berm by pedestrians and equestrian riders except at designated access points; and

**WHEREAS**, in culmination of these extraordinary efforts, the County is now endeavoring to build the largest and most significant public works project in its history, a multi-agency storm damage reduction project to renourish the dunes immediately adjacent to State Road A1A within the City of Flagler Beach; and

**WHEREAS**, in order to validate the use of public resources to make emergency dune repairs and to construct beach access points, as well as to guarantee the public's right to access and utilize the beaches of the County, the Board of County Commissioners passed an ordinance in June 2018 recognizing the customary use of the beaches of the entire county by the public; and

**WHEREAS**, the need to facilitate procurement for these and other recovery efforts is urgent due to the risk of future hurricanes, and accordingly, the County has adopted an expedited procurement process under its emergency powers as needed; and

**WHEREAS**, the County is pursuing eminent domain proceedings for certain dune remnant parcels and is exploring other emergency measures to fill gaps in the dunes that, if not renourished, will allow storm surge events to jeopardize State Road A1A, a critical evacuation route, and to damage coastal neighborhoods; and

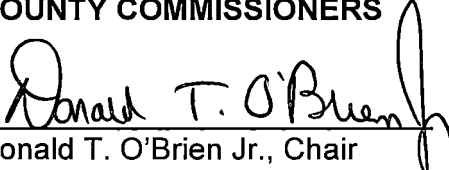
**WHEREAS**, extending the local emergency declaration facilitates the County's ability to continue to respond to emergency conditions along the beaches and within lands containing public and private property and infrastructure, including the securing of funding sources and entering into agreements with adjacent property owners and municipalities—all with the goal of mitigating future losses.

**NOW THEREFORE**, in accordance with the emergency power vested in the County pursuant to Chapter 252, Florida Statutes, and Section 12-34 of the Flagler County Code of Ordinances, Flagler County hereby proclaims that:

1. The state of local emergency declared on October 4, 2016, extended by emergency proclamations every seventh day thereafter and duly ratified by the Board of County Commissioners, is hereby extended for an additional 7 days from the effective date of this Proclamation, unless terminated or modified earlier or extended in accordance with law.
2. All emergency powers authorized by the Proclamation of October 4, 2016, declaring a state of local emergency, and extended every seventh day thereafter are hereby retained and continued for the duration of this Proclamation.

**DONE AND ORDERED** in Flagler County, Florida, this 4<sup>th</sup> day of May, 2021.

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS**

  
 Donald T. O'Brien Jr., Chair

**CONCURRENCE:**

Jerry Cameron Digitally signed by Jerry Cameron  
Date: 2021.04.21 08:01:47 -04'00'

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Jerry Cameron  
County Administrator

 Digitally signed by Jonathan Lord  
Date: 2021.04.20 17:17:13 -04'00'

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Jonathan Lord  
Emergency Management Director

**APPROVED AS TO FORM:**

Sean S. Moylan Digitally signed by Sean S. Moylan  
Date: 2021.04.20 14:13:40 -04'00'

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Sean S. Moylan  
Assistant County Attorney

**FLAGLER COUNTY, FLORIDA  
PROCLAMATION EXTENDING  
STATE OF LOCAL EMERGENCY  
(Hurricane Matthew)**

**May 11, 2021**

**WHEREAS**, on October 4, 2016, in preparation for the imminent impact of Hurricane Matthew on Flagler County, the Chair of the Board of County Commissioners of Flagler County, Florida, with the concurrence of the County's Emergency Management Director, the Sheriff, and the County Administrator, issued a Proclamation declaring a state of local emergency, dated October 4, 2016, recorded in the Official Records of Flagler County at Book 2161, Page 1453; and

**WHEREAS**, Hurricane Matthew passed along the County's coastline on October 7, 2016, severely damaging the entire dune system of the County, flooding hundreds of homes through dune breaches and destroying public infrastructure and other public and private property along the coastline; and

**WHEREAS**, Hurricane Matthew exposed the entire beachfront of Flagler County to a critical risk of further damage and had a particularly devastating impact on the right of way of State Road A1A in Flagler Beach, exacerbating the vulnerability of adjoining homes and businesses; and

**WHEREAS**, on October 11, 2016, and every seventh day thereafter to the present, based on the further recommendation of the County Administrator and the Emergency Management Director, the Chair of the Board of County Commissioners extended the state of local emergency for additional seven day periods in accordance with law; and

**WHEREAS**, the Board of County Commissioners ratified each of the Proclamations declaring and extending the local state of emergency by unanimous votes at public meetings; and

**WHEREAS**, while recovery efforts in response to Hurricane Matthew were still underway, Hurricane Irma struck Flagler County on September 11, 2017, further scarping the already badly damaged dune system of the county, flooding hundreds of homes, and nearly collapsing beachfront homes in the Painters Hill area of unincorporated Flagler County; and

**WHEREAS**, in September 2019, Hurricane Dorian slowly passed Flagler County offshore, churning rough surf and crashing enormous breakers into the beaches and dunes, causing a dune breach, several over washes, and scarping approximately \$3.7 million in damage to the dune system of Flagler County; and

**WHEREAS**, as a result of Hurricane Matthew compounded with subsequent weather events, the County is engaged in a coastal dunes rehabilitation effort at multiple locations along the Flagler County coast, including:

- i.) the installation of a seawall in Painters Hill to prevent the collapse of homes onto the beach;
- ii.) the construction and vegetating of an emergency protective berm along 12 miles of the dunes in unincorporated Flagler County and in the incorporated communities of Marineland and Beverly Beach;
- iii.) the repair of dune crossovers and the installation of specialized mats over the emergency protective berm at certain beach access points for pedestrian and authorized vehicular traffic;
- iv.) the issuance of Emergency Orders 2018-02 and 2018-03, prohibiting driving or parking of vehicles on the beaches and dunes and prohibiting the traversing of the dunes and emergency protective berm by pedestrians and equestrian riders except at designated access points; and

**WHEREAS**, in culmination of these extraordinary efforts, the County is now endeavoring to build the largest and most significant public works project in its history, a multi-agency storm damage reduction project to renourish the dunes immediately adjacent to State Road A1A within the City of Flagler Beach; and

**WHEREAS**, in order to validate the use of public resources to make emergency dune repairs and to construct beach access points, as well as to guarantee the public's right to access and utilize the beaches of the County, the Board of County Commissioners passed an ordinance in June 2018 recognizing the customary use of the beaches of the entire county by the public; and

**WHEREAS**, the need to facilitate procurement for these and other recovery efforts is urgent due to the risk of future hurricanes, and accordingly, the County has adopted an expedited procurement process under its emergency powers as needed; and

**WHEREAS**, the County is pursuing eminent domain proceedings for certain dune remnant parcels and is exploring other emergency measures to fill gaps in the dunes that, if not renourished, will allow storm surge events to jeopardize State Road A1A, a critical evacuation route, and to damage coastal neighborhoods; and

**WHEREAS**, extending the local emergency declaration facilitates the County's ability to continue to respond to emergency conditions along the beaches and within lands containing public and private property and infrastructure, including the securing of funding sources and entering into agreements with adjacent property owners and municipalities—all with the goal of mitigating future losses.

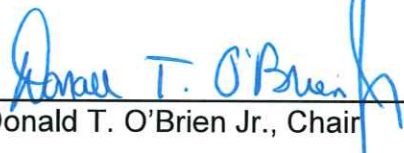


**NOW THEREFORE**, in accordance with the emergency power vested in the County pursuant to Chapter 252, Florida Statutes, and Section 12-34 of the Flagler County Code of Ordinances, Flagler County hereby proclaims that:

1. The state of local emergency declared on October 4, 2016, extended by emergency proclamations every seventh day thereafter and duly ratified by the Board of County Commissioners, is hereby extended for an additional 7 days from the effective date of this Proclamation, unless terminated or modified earlier or extended in accordance with law.
2. All emergency powers authorized by the Proclamation of October 4, 2016, declaring a state of local emergency, and extended every seventh day thereafter are hereby retained and continued for the duration of this Proclamation.

**DONE AND ORDERED** in Flagler County, Florida, this 11<sup>th</sup> day of May, 2021.

**FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS**

  
\_\_\_\_\_  
Donald T. O'Brien Jr., Chair

**CONCURRENCE:**

Jerry Cameron Digitally signed by Jerry  
Cameron  
Date: 2021.04.21 08:05:03 -04'00'

\_\_\_\_\_  
Jerry Cameron  
County Administrator

  
\_\_\_\_\_  
Jonathan Lord  
Emergency Management Director

**APPROVED AS TO FORM:**

Sean S. Moylan Digitally signed by Sean S.  
Moylan  
Date: 2021.04.20 14:14:00 -04'00'

\_\_\_\_\_  
Sean S. Moylan  
Assistant County Attorney

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7b**

**SUBJECT:** Ratification of Flagler County Emergency Proclamations Extending the State of Local Emergency – COVID-19.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** On March 16, 2020, the Chair issued a Proclamation declaring a state of local emergency in anticipation of the impact of COVID-19. By law, the Proclamation may only last for seven days but may be renewed in seven-day increments as needed. Accordingly, as the emergency conditions persist, the Chair successively extends the State of Local Emergency by Proclamation every seven days and the Board ratifies the extensions at the next regularly schedule Commission Meeting.

Vaccine distribution by the Florida Department of Health – Flagler with support from the County is well underway and will continue through May. While this represents a significant advance in the fight against COVID-19, the virus remains a serious threat to public health. Today’s agenda item ratifies the most recent seven-day extensions of the state of local emergency, as required by law, to allow the County to respond to the emergency as it evolves.

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Jonathan Lord, Emergency Management Director (386) 313-4240

**RECOMMENDATION:** Request the Board ratify the Proclamations Extending the State of Local Emergency for COVID-19.

**ATTACHMENTS:**

1. Proclamation Extending State of Local Emergency – COVID-19, 05/03/2021
2. Proclamation Extending State of Local Emergency – COVID-19, 05/10/2021

**FLAGLER COUNTY, FLORIDA  
PROCLAMATION EXTENDING  
STATE OF LOCAL EMERGENCY  
(COVID-19)**

**Effective May 3, 2021**

**WHEREAS**, on March 16, 2020, the Chair of the Flagler County Board of County Commissioners declared a state of local emergency pursuant to Chapter 12, Flagler County Code, and Section 252.38(3), Florida Statutes, in response to the public health emergency posed by the COVID-19 pandemic; and

**WHEREAS**, since that time the Chair has successively extended the state of local emergency by proclamation, all of which have been ratified by the Flagler County Board of County Commissioners; and

**WHEREAS**, during this time frame of successive emergency declarations, the Governor has issued a series of executive orders which limit the interaction of Flagler County residents and visitors and restrict the ability to engage in commerce in order to curtail the spread of the coronavirus through aggressive social distancing, self-isolation and stay at home guidance; and

**WHEREAS**, the municipalities and state agencies within Flagler County have also taken protective measures to mitigate the spread of the virus by limiting the in-person interaction and congregating of persons in what would otherwise be daily routines; and

**WHEREAS**, while the Florida Department of Health – Flagler, with support from Flagler County, has begun administering vaccinations locally, the present demand for vaccines outpaces available supply, and COVID-19 remains a serious threat to public health; and

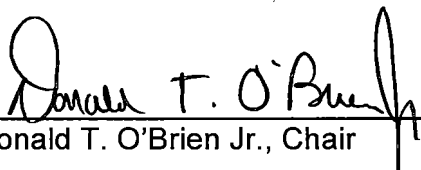
**WHEREAS**, extending the state of local emergency enables the County to mobilize resources and take the action necessary to address issues related to the pandemic as they arise in real time.

**NOW THEREFORE, BE IT RESOLVED AS FOLLOWS:**


1. The state of local emergency declared on March 16, 2020, and renewed successively since, is hereby renewed and extended for an additional seven days from the effective date of this Proclamation, unless terminated or modified earlier or extended in accordance with law.
2. All emergency powers authorized by the Proclamation of March 16, 2020, declaring a state of local emergency, are hereby retained and continued for the duration of this Proclamation and are hereby incorporated by reference.

**DONE AND ORDERED** in Flagler County, Florida, this 3<sup>rd</sup> day of May, 2021.

**FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS**

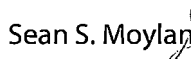
  
Donald T. O'Brien Jr., Chair

**CONCURRENCE:**

  
Digitally signed by Jerry Cameron  
Date: 2021.04.21 08:00:55 -04'00'  
\_\_\_\_\_  
Jerry Cameron  
County Administrator

  
\_\_\_\_\_  
Jonathan Lord,  
Emergency Management Director

**APPROVED AS TO FORM:**

  
Digitally signed by Sean S.  
Moylan  
Date: 2021.04.21 11:12:34 -04'00'  
\_\_\_\_\_  
Sean S. Moylan,  
Assistant County Attorney

**FLAGLER COUNTY, FLORIDA  
PROCLAMATION EXTENDING  
STATE OF LOCAL EMERGENCY  
(COVID-19)**

**Effective May 10, 2021**

**WHEREAS**, on March 16, 2020, the Chair of the Flagler County Board of County Commissioners declared a state of local emergency pursuant to Chapter 12, Flagler County Code, and Section 252.38(3), Florida Statutes, in response to the public health emergency posed by the COVID-19 pandemic; and

**WHEREAS**, since that time the Chair has successively extended the state of local emergency by proclamation, all of which have been ratified by the Flagler County Board of County Commissioners; and

**WHEREAS**, during this time frame of successive emergency declarations, the Governor has issued a series of executive orders which limit the interaction of Flagler County residents and visitors and restrict the ability to engage in commerce in order to curtail the spread of the coronavirus through aggressive social distancing, self-isolation and stay at home guidance; and

**WHEREAS**, the municipalities and state agencies within Flagler County have also taken protective measures to mitigate the spread of the virus by limiting the in-person interaction and congregating of persons in what would otherwise be daily routines; and

**WHEREAS**, while the Florida Department of Health – Flagler, with support from Flagler County, has begun administering vaccinations locally, the present demand for vaccines outpaces available supply, and COVID-19 remains a serious threat to public health; and

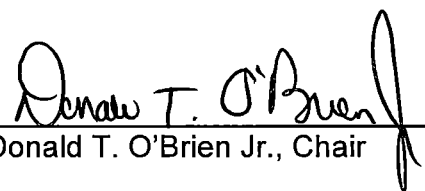
**WHEREAS**, extending the state of local emergency enables the County to mobilize resources and take the action necessary to address issues related to the pandemic as they arise in real time.

**NOW THEREFORE, BE IT RESOLVED AS FOLLOWS:**

1. The state of local emergency declared on March 16, 2020, and renewed successively since, is hereby renewed and extended for an additional seven days from the effective date of this Proclamation, unless terminated or modified earlier or extended in accordance with law.
2. All emergency powers authorized by the Proclamation of March 16, 2020, declaring a state of local emergency, are hereby retained and continued for the duration of this Proclamation and are hereby incorporated by reference.
3. All actions and purchases in response to this emergency, duly authorized through the Emergency Operations Center, are hereby ratified.

DONE AND ORDERED in Flagler County, Florida, this 10<sup>th</sup> day of May, 2021.

**FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS**


  
\_\_\_\_\_  
Donald T. O'Brien Jr., Chair

**CONCURRENCE:**

  
\_\_\_\_\_  
Jerry Cameron  
County Administrator

  
\_\_\_\_\_  
Jonathan Lord,  
Emergency Management Director

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Sean S. Moylan,  
Assistant County Attorney

**Board of County  
Commissioners**  
1769 E. Moody Blvd, Bldg 2  
Bunnell, FL 32110



[www.flaglercounty.org](http://www.flaglercounty.org)

Phone: (386)313-4001

May 17, 2021

Florida Department of State  
Division of Cultural Affairs  
Sarah Stage, Arts Administrator  
R.A. Gray Building, 3rd Floor  
500 South Bronaugh Street  
Tallahassee, FL 32399-0250

**Re: Letter of Support - Flagler Beach Historical Museum Division of Cultural Affairs General Program**

Dear Ms. Stage:

On behalf of the Flagler County Board of County Commissioners, it is my pleasure to write this letter of support for the Flagler Beach Historical Museum's General Program Support Grant application.

The Flagler Beach Historical Museum allows the visitor to experience our community's story from the Stone Age to the Space Age. Visitors begin at the display of prehistoric bones, and continue through exhibits as varied as Native American collections, to evidence of World War II encounters, to the flag that rode the Shuttle Endeavor into space with a home-town astronaut.

The Museum has collected artifacts and oral histories from the past as well as the present, ensuring their availability for future generations. It provides an invaluable resource, especially to our youth, for research in a relaxed and welcoming atmosphere.

Benefitting from phenomenal volunteerism, and through the cultivation of strong community partnerships, the Flagler Beach Historical Museum provides to its visitors, an extensive range – disproportionate to its size, location, and budget – of educational opportunities, services and programs.

This successful offering is directly tied to dedicated museum leadership and support personnel. The Division of Cultural Affairs General Program Support grant funds will ensure that those resources are retained and the Flagler Beach Historical Museum can support the daily operating needs and achieve the next level of organizational excellence,

**Andy Dance**  
District 1

**Greg Hansen**  
District 2

**David Sullivan**  
District 3

**Joe Mullins**  
District 4

**Donald O'Brien Jr.**  
District 5

May 17, 2021

Re: Letter of Support - Flagler Beach Historical Museum Division

Page 2 of 2

to continue and expand the schedule of history displays, events, and interactive programs.

*The mission of The Flagler Beach Historical Museum is to provide both a physical and social archive for preservation of the history of Flagler Beach and the surrounding area.*

The Flagler County Board of County Commissioners believes that the Museum admirably fills this critical community role, and we hope you will consider supporting their request.

Sincerely,

Donald T. O'Brien Jr.  
Chair

C: Flagler County Board of County Commissioners



**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7d**

**SUBJECT:** Issue Certificate of Public Convenience and Necessity (COPCN) to ALLCARE Medical Transport, LLC.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** As part of Florida Statutes Chapter 401 and Administrative Rule 64-J-2.032, the Board of County Commissioners must issue a Certificate of Public Convenience and Necessity (COPCN) for every provider of pre-hospital emergency medical service. Since 2015, Flagler County has utilized private ambulance companies solely for the purpose to provide inter-facility transports between medical facilities to and from Advent Health Palm Coast under the authorizations provided in the COPCN approved by this Board.

ALLCARE Medical Transport, LLC was issued a COPCN to provide Basic Life Support (BLS), Interfacility Transport Service from Advent Health effective April 1, 2021 with the intention to provide Advanced Life Support (ALS) services by October 1, 2021. Due to the increased need for both ALS and BLS services ALLCARE has advanced their timeline to begin ALS service in May of 2021. ALLCARE could help fill a void by providing inter-facility non-emergency transport service to and from Advent Health Palm Coast and allowing Fire Rescue units to remain in-service for all emergency transports. As a local business, ALLCARE has shown a commitment to serve the community and is eager to fill this void.

The Flagler County Emergency Medical Services Advisory Council and has reviewed ALLCARE's request and recommends the Board approve it. ALLCARE needs the Board's approval of the COPCN prior to obtaining state licensing. However, ALLCARE will not be permitted to provide services pursuant to the COPCN until its state license is approved.

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** Fire Rescue, Joe King (386) 313-4256

**RECOMMENDATIONS:** Request the Board approve the Certificate of Public Convenience and Necessity (COPCN) to ALLCARE Medical Transport, LLC from May 17, 2021 to November 30, 2021, contingent upon ALLCARE obtaining state licensing prior to providing services under this COPCN.

**ATTACHMENTS:**

1. COPCN for ALLCARE Medical Transport, LLC

**EMERGENCY MEDICAL SERVICES  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY**

**WHEREAS**, ALLCARE Medical Transport, LLC has applied for a Certificate of Public Convenience and Necessity to provide Advanced Life Support (ALS) and Basic Life Support (BLS), Interfacility Transport Service to the Advent Health Palm Coast and from other health care facilities; and

**WHEREAS**, Advent Health has demonstrated to Flagler County's Emergency Medical Service (EMS) Advisory Board that there is a need for the Advanced Life Support and Basic Life Support, Interfacility Transport Service; and

**WHEREAS**, Advent Health requested proposals from medical transport providers that can provide this type of service without affecting pre-hospital emergency medical care and transport; and

**WHEREAS**, Advent Health selected ALLCARE Medical Transport, LLC to provide Advanced Life Support and Basic Life Support, Interfacility Transport Service from Advent Health Palm Coast; and

**WHEREAS**, Flagler County's Emergency Medical Service (EMS) Advisory Board reviewed the certificate application and recommends approval to the Board of County Commissioners; and

**WHEREAS**, ALLCARE Medical Transport, LLC has indicated it will comply with all the requirements of Chapter 401, Florida Statutes, Section 19-161 through 19-175 of the Flagler County Code, and Chapter 64J of the Florida Administrative Code.

**NOW THEREFORE**, the Board of County Commissioners of Flagler County hereby issues a Certificate of Public Convenience and Necessity to ALLCARE Medical Transport, LLC effective May 17, 2021 through November 30, 2021 based on ALLCARE Medical Transport, LLC adhering to the foregoing requirements and, based thereon, is authorized to:

1. Provide ALS and BLS interfacility transport service from Advent Health to medical facilities within and outside of Flagler County as requested by Advent Health in accordance with the legal standards cited above.
2. Provide ALS and BLS interfacility transport service as requested by Flagler County Emergency Medical Services or by licensed health care facilities to other medical facilities within and outside of Flagler County in accordance with the legal standards cited above.
3. Provide the appropriate transport unit for service 24 hours/7 days a week and provided that in no circumstance shall the certificate holder engage in pre-hospital first response for service.

APPROVED BY THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS on the 17<sup>th</sup> day of May 2021.

---

Donald T. O'Brien Jr., Chair

*SSM*

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7e**

**SUBJECT:** Consideration of Request for Proposals (RFP) award for 21-024P – SHIP Inspection Services

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** The intent of Request for Proposals (RFP) 21-024P – SHIP Inspection Services, was to seek submissions from qualified contractors who could provide Inspection Services to the Flagler County SHIP Program. These services will include, but not be limited to: professional home inspections, creating corresponding reports and providing overall estimates to determine the type of repairs necessary to bring houses up to code according to the Florida Building Code, State and Local SHIP requirements.

This Request for Proposals was advertised in the *Flagler News Tribune*, as well as publicly broadcast on [www.myvendorlink.com](http://www.myvendorlink.com) for a period of one (1) month, and sent to the Orlando Minority Business Development Center for further exposure.

On Wednesday, April 14, 2021, the County received responses from both NOVA Engineering & Environmental, LLC & St. Johns Housing Partnership, Inc. The Selection Committee scored each proposal individually and met on April 29, 2021 to rank each submission. Staff recommends awarding contracts to St. Johns Housing Partnership, Inc., who submitted a fully responsive response.

**FUNDING INFORMATION:** Funding is included in the FY 2020-21 Budget in the SHIP Fund 143.

**DEPARTMENT CONTACT#:** Purchasing, Holly Durrance (386) 313-4063  
Social Services, Joyce Bishop (386) 313-3626

**RECOMMENDATIONS:** Consideration of Request for Proposals (RFP) award for 21-024P – SHIP Inspection Services for a period of three (3) years with the option of two (2) additional two (2) year renewals, if mutually agreed on by both parties prior to contract expiration, and authorize the Chair to execute the contracts as approved to form by the County Attorney and approved by the County Administrator.

**ATTACHMENTS:**

1. Ranking Sheet
2. Contract

# FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS



## Selection Committee Ranking

### Request for Statement of Qualifications

#### 21-024P - SHIP Inspection Services

Meeting Time, Date, and Location

Thursday, April 29, 2021

VIA ZOOM

Firms		Committee Members			Score	Rank
		Joyce Bishop	Devrie Paradowski	Heidi Petito		
1	NOVA Engineering & Environmental, LLC	2	2	2	6	2
2	St. Johns Housing Partnership, Inc.	1	1	1	3	1
<b>Final</b>						
				1	St. Johns Housing Partnership	

Holly Durrance, Purchasing Manager

**CONTRACT  
FOR  
SHIP INSPECTION SERVICES  
REQUEST FOR PROPOSAL 21-024P**

This Contract, entered into this \_\_\_\_ day of May 2021, by and between the Flagler County Board of County Commissioners, a political subdivision of the State of Florida, whose address is 1769 East Moody Blvd., Building 2, Bunnell, FL 32110, hereinafter called the **COUNTY**, and St. John's Housing Partnership, Inc., whose address is 525 W. King St. St. Johns, FL 32084, hereinafter called the **VENDOR**.

WITNESSETH: That the **COUNTY** agrees with the **VENDOR**, as follows:

1. The Contract shall consist of the following, all of which are hereby made a part hereof:
  - a. **COUNTY'S** 21-024P Solicitation Documents; and
  - b. **VENDOR'S** 21-024P Proposal Submission, including Insurance Certificate(s).
  
2. The **VENDOR** agrees to furnish all labor, equipment, material and the skill necessary for the complete work as set forth in the component parts of the Contract described herein and to the satisfaction of the **COUNTY** or its duly authorized representative.
  
3. The **VENDOR** agrees to commence the work to be done under this Contract, beginning on May 17, 2021 for a period of three (3) years with the option of two (2) additional two (2) year renewals, if mutually agreed on by both parties prior to Contract expiration.
  
4. The **COUNTY** agrees to pay the **VENDOR** for the services rendered, in accordance with the pricing structure set forth in the Solicitation Submission.

[THIS SPACE INTENTIONALLY LEFT BLANK. SIGNATURE PAGES TO FOLLOW.]

In WITNESS WHEREOF, the undersigned have executed this Agreement on the day and year set forth below.

ATTEST:

**FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS**

\_\_\_\_\_  
TOM BEXLEY  
Clerk of the Circuit Court and Comptroller

\_\_\_\_\_  
DONALD T. O'BRIEN JR., CHAIR

\_\_\_\_\_  
*(Date Signed)*

APPROVED—AS-TO-FORM

Sean S. Moylan Digitally signed by Sean S.  
Moylan  
Date: 2021.05.10 09:25:49 -04'00'

\_\_\_\_\_  
SEAN S. MOYLAN  
Assistant County Attorney

As authorized for execution by the Board of  
Flagler County Board of County  
Commissioners at its May 17, 2021 regular  
meeting.

[SIGNATURE PAGE TO FOLLOW.]

**ST. JOHN'S HOUSING PARTNERSHIP, INC.**

\_\_\_\_\_  
*(Signature)*

\_\_\_\_\_  
*(Typed or Printed Name)*

\_\_\_\_\_  
*(Title)*

\_\_\_\_\_  
*(Date Signed)*

ATTEST:

\_\_\_\_\_  
*(Signature)*

\_\_\_\_\_  
*(Printed)*

\_\_\_\_\_  
*(Title)*

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7f**

**SUBJECT:** Consideration of Flagler County Tourist Development Council Fund 110 Discretionary Event Funding.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** April 21, 2021 the Flagler County Tourist Development Council met for the purpose of considering allocations from the Discretionary Event appropriation. The TDC deliberated on the requests and recommends that the Board of County Commissioners appropriate funds as follows:

- a) \$ 5,000 - Florida Flag Football, Battle of the Badges Series, June 26-27, 2021
- b) \$ 4,000 - Continuing Education Company, Summer Conference, July 12-16, 2021
- c) \$12,500 - Florida United Lacrosse, Father's Day LAX Tournament, June 19-20, 2021

\$21,500 Total Discretionary Event Allocations Requested

**FUNDING INFORMATION:** The FY20-21 funding for Discretionary Events is \$80,000 in account number 110-4700-559-.48-45. Upon approval of the \$21,500 request for these Discretionary Events, a balance of \$23,000 will remain for future events.

**DEPARTMENT CONTACT:** Tourist Development, Amy Lukasik (386) 313-4226

**RECOMMENDATIONS:** Request the Board approve the recommendation of the Flagler County Tourist Development Council 110 Discretionary Event funding in the amount of \$21,500 and authorize the County Administrator to execute the contract as approved to form by the County Attorney.

**ATTACHMENTS:**

1. Funding Requests
  - a) Florida Flag Football, Battle of the Badges, June 26-27, 2021
  - b) Continuing Education Company, Summer Conference, July 12-16, 2021
  - c) Florida United Lacrosse, Father's Day LAX Tournament, June 19-20, 2021
2. Discretionary Event Available Balance Report
3. TDC April 21, 2021 Meeting Minutes - Draft





**Tourist Development Council  
April 21, 2021  
Government Services Building  
Bunnell, FL – 9:00 am**

**EVENT FUNDING  
PROJECT DETAILS**



**Florida Flag Football  
Battle of the Badges Series  
June 26-27, 2021**

**About:** Florida Flag Football is a leader in the Flag Football industry and top rated Flag Football organization in the State of Florida.

**Event History:** First event here was held in 2010 with 20 teams. It has grown to 76 teams for the July 2020 event. In addition to hosting the event here, Florida Flag Football League also host their annual Hall of Fame Induction Ceremony.

**Event Highlights:**

- Championship games in each division on Sunday afternoon.
- Expect over 75 plus teams again this year
- Estimated 1,500 Plus athletes in attendance including former NFL athletes
- Multiple divisions and levels of play
- Both men and women teams

**Event Location:** Indian Trails Sports Complex, Palm Coast, FL

**Funding Request:** \$5,000 – Bid Fee

**Estimated Attendance:** 2,000 Attendees

**Estimated room nights:** 400

**Direct Visitor Spending:** \$130,119

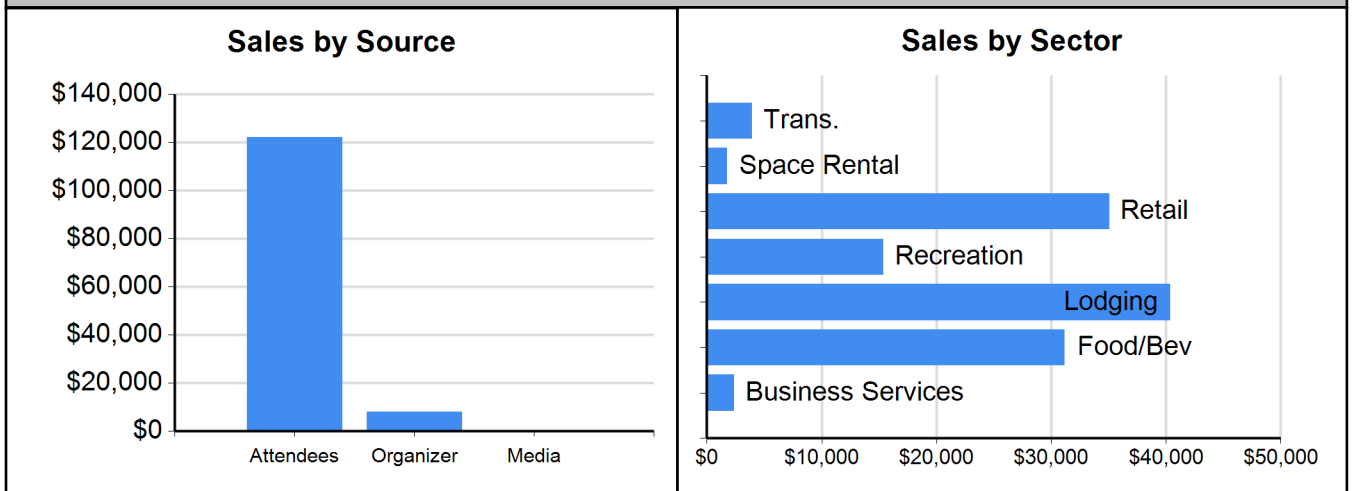
**Total Economic Impact:** \$170,739

# Event Impact Summary

Destination: Palm Coast and The Flagler Beaches

Event Parameters		Key Results	
Event Name:	Battle of the Badges	Business Sales (Direct):	\$130,119
Organization:	Florida Flag Football	Business Sales (Total):	\$170,739
Event Type:	Adult Amateur	Jobs Supported (Direct):	84
Start Date:	6/26/2021	Jobs Supported (Total):	88
End Date:	6/27/2021	Local Taxes (Total):	\$4,461
Overnight Attendees:	400	Net Direct Tax ROI:	\$3,985
Day Attendees:	0	Estimated Room Demand:	384

## Direct Business Sales



Industry	Attendees	Organizer	Media/Sponsors	Total
Lodging	\$40,371	\$0	\$0	\$40,371
Transportation	\$3,718	\$207	\$14	\$3,940
Food & Beverage	\$27,575	\$3,618	\$0	\$31,193
Retail	\$35,066	\$0	\$0	\$35,066
Recreation	\$15,356	\$0	\$0	\$15,356
Space Rental	\$0	\$1,789	\$0	\$1,789
Business Services	\$0	\$2,396	\$8	\$2,404
<b>TOTAL</b>	<b>\$122,086</b>	<b>\$8,011</b>	<b>\$22</b>	<b>\$130,119</b>

## Event Impact Details

Destination: Palm Coast and The Flagler Beaches

Event Name: Battle of the Badges 2021

Organization: Florida Flag Football

Economic Impact Details			
	Direct	Indirect/Induced	Total
<b>Business Sales</b>	\$130,119	\$40,621	\$170,739
<b>Personal Income</b>	\$37,083	\$9,784	\$46,867
<b>Jobs Supported</b>			
Persons	84	5	88
Annual FTEs	1	0	1
<b>Taxes and Assessments</b>			
<u>Federal Total</u>	<u>\$11,033</u>	<u>\$3,240</u>	<u>\$14,272</u>
<u>State Total</u>	<u>\$9,211</u>	<u>\$1,292</u>	<u>\$10,502</u>
sales	\$7,025	\$609	\$7,634
income	\$0	\$0	\$0
bed	\$0	-	\$0
other	\$2,186	\$682	\$2,868
<u>Local Total (excl. property)</u>	<u>\$3,985</u>	<u>\$476</u>	<u>\$4,461</u>
sales	\$1,171	\$102	\$1,272
income	\$0	\$0	\$0
bed	\$1,615	-	\$1,615
per room charge	\$0	-	\$0
tourism district	\$0	-	\$0
restaurant	\$0	\$0	\$0
other	\$1,200	\$375	\$1,574
property tax	\$2,360	\$393	\$2,753

Event Return on Investment (ROI)		
<b>Direct local tax ROI (net property taxes)</b>		
Direct Tax Receipts	\$3,985	
DMO Hosting Costs	\$0	
Direct ROI	\$3,985	
Net Present Value	\$3,985	
Direct ROI (%)	-	
<b>Total local tax ROI (net property taxes)</b>		
Total Local Tax Receipts	\$4,461	
Total ROI	\$4,461	
Net Present Value	\$4,461	
Total ROI (%)	-	

Estimated Room Demand Metrics	
Room Nights (total)	384
Room Pickup (block only)	0
Peak Rooms	211
Total Visitor Days	731



**Tourist Development Council  
April 21, 2021  
Government Services Building  
Bunnell, FL – 9:00 am**

**EVENT FUNDING  
PROJECT DETAILS**



CONTINUING EDUCATION  
COMPANY

**Continuing Education Company  
12<sup>th</sup> Annual Essentials in Primary Care Summer Conference  
July 12, 2021 – July 16, 2021**

**About:** Continuing Education Company, Inc. (CEC) is an accredited continuing medical education organization. They have been developing and presenting continuing medical education programs for over 29 years. Their mission is to develop and provide educational opportunities to improve the skills and knowledge of medical and healthcare professionals. To accomplish this mission, they offer American Academy of Family Physicians (AAFP), AMA PRA Category 1 Credits <sup>™</sup> and ABIM MOC accredited live CME conferences and online courses.

**Event History:** This summer conference was first held 28 years ago in Kiawah Island, SC. In 2008 the conference relocated to Amelia Island and in 2010 to Palm Coast where it has been held every year since. Despite COVID-19 the conference was still held in 2020. Although the attendance was significantly impacted, we still were beyond the maximum physical distancing capacity of the Hammock Beach Resort's ballroom so conference attendees were provided access to view the conference live stream from alternate locations.

**Event Highlights:** The summer conference consists of a one-week conference, with meeting days running Monday to Friday 8:00am to 12:15pm. Attendees are free in the afternoons and typically spend that time relaxing or enjoying the area's many activities and attractions. The goal is to attract up to 200 medical clinicians joined by family members for a minimum of 750 overnight guests each evening. The conference runs for five days and typically attracts attendees to include the weekend before or after. The

conference will also continue to offer remote access viewing via live stream broadcasting.

**Event Location:** Hammock Beach Resort

**Funding Request:** \$4,000

**Prior Funding History:**

2017 - \$8,000 Session I

2018 - \$8,000 Session I

2019 - \$8,000 Session I

2020 - \$8,000 Session I (Due to COVID- funding was not distributed)

**Estimated Attendance:** 200 conference registrants & an estimated 500+ family members

**Estimated room nights:** 873 – ADR=\$399.00

**Direct Visitor Spending:** \$484,771

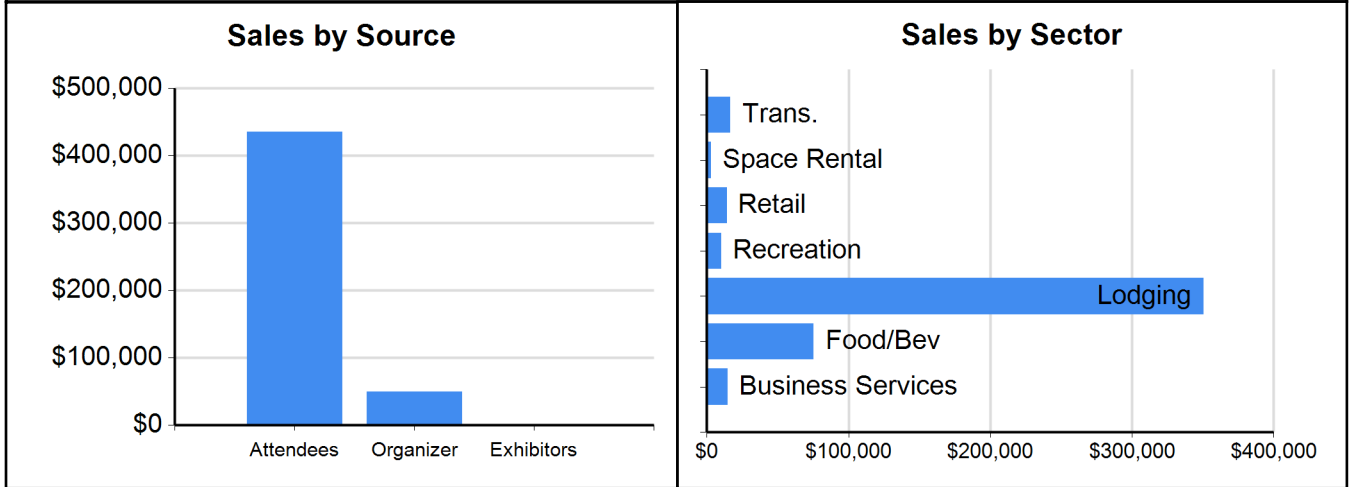
**Total Economic Impact:** \$632,278

# Event Impact Summary

Destination: Palm Coast and The Flagler Beaches

Event Parameters		Key Results	
Event Name:	12th Annual Essentials in Primary Care Summer Conference	Business Sales (Direct):	\$484,771
Organization:	Continuing Education Company	Business Sales (Total):	\$632,278
Event Type:	Business Meeting	Jobs Supported (Direct):	125
Start Date:	7/12/2021	Jobs Supported (Total):	142
End Date:	7/16/2021	Local Taxes (Total):	\$24,371
Overnight Attendees:	305	Net Direct Tax ROI:	\$22,642
Day Attendees:	0	Estimated Room Demand:	875

## Direct Business Sales



Industry	Attendees	Organizer	Exhibitor	Total
Lodging	\$349,251	\$1,139	\$0	\$350,390
Transportation	\$16,028	\$759	\$0	\$16,788
Food & Beverage	\$45,588	\$29,685	\$0	\$75,273
Retail	\$14,327	\$0	\$0	\$14,327
Recreation	\$10,037	\$0	\$0	\$10,037
Space Rental	\$0	\$3,074	\$0	\$3,074
Business Services	\$0	\$14,882	\$0	\$14,882
<b>TOTAL</b>	<b>\$435,232</b>	<b>\$49,539</b>	<b>\$0</b>	<b>\$484,771</b>

## Event Impact Details

Destination: Palm Coast and The Flagler Beaches

Event Name: 12th Annual Essentials in Primary Care Summer Conference 2021

Organization: Continuing Education Company

Economic Impact Details			
	Direct	Indirect/Induced	Total
<b>Business Sales</b>	\$484,771	\$147,507	\$632,278
<b>Personal Income</b>	\$149,090	\$43,067	\$192,157
<b>Jobs Supported</b>			
Persons	125	17	142
Annual FTEs	5	1	5
<b>Taxes and Assessments</b>			
<u>Federal Total</u>	<u>\$42,350</u>	<u>\$12,624</u>	<u>\$54,974</u>
<u>State Total</u>	<u>\$33,358</u>	<u>\$4,691</u>	<u>\$38,049</u>
sales	\$25,214	\$2,213	\$27,427
income	\$0	\$0	\$0
bed	\$0	-	\$0
other	\$8,144	\$2,478	\$10,622
<u>Local Total (excl. property)</u>	<u>\$22,642</u>	<u>\$1,729</u>	<u>\$24,371</u>
sales	\$4,202	\$369	\$4,571
income	\$0	\$0	\$0
bed	\$13,970	-	\$13,970
per room charge	\$0	-	\$0
tourism district	\$0	-	\$0
restaurant	\$0	\$0	\$0
other	\$4,470	\$1,360	\$5,830
property tax	\$8,794	\$1,401	\$10,196

Event Return on Investment (ROI)		
<b>Direct local tax ROI (net property taxes)</b>		
Direct Tax Receipts	\$22,642	
DMO Hosting Costs	\$0	
Direct ROI	\$22,642	
Net Present Value	\$22,642	
Direct ROI (%)	-	
<b>Total local tax ROI (net property taxes)</b>		
Total Local Tax Receipts	\$24,371	
Total ROI	\$24,371	
Net Present Value	\$24,371	
Total ROI (%)	-	

Estimated Room Demand Metrics	
Room Nights (total)	875
Room Pickup (block only)	0
Peak Rooms	277
Total Visitor Days	963



**Tourist Development Council  
April 21, 2021  
Government Services Building  
Bunnell, FL – 9:00 am**

**EVENT FUNDING  
PROJECT DETAILS**



**Florida United Lacrosse, LLC – Father's Day Lacrosse Tournament  
June 19-20, 2021**

**About:** Florida United Lacrosse, LLC (FUL) is a Florida based company with deep lacrosse roots. FUL hosts lacrosse tournaments, camps and travel teams for boys within the state of Florida.

**Event History:** The Father's Day Lacrosse Tournament is going in to its 18<sup>th</sup> year of play. Pre-Covid, this tournament drew as many as 150 teams from all over Florida and Georgia. At its peak there were over 3,000 participants.

**Event Highlights:** This is Florida's largest summer tournament for boys, girls and post-grad teams.

- Vendor Village
- Championship games in each division on Sunday afternoon
- Certified Referees/Trainers
- Attended by many college coaches
- Stay to Play
- Each registered team is guaranteed 4 games
- College Divisions are 7 v 7 format.

**Event Location:** Indian Trails Sports Complex, Palm Coast, FL & Wadsworth Park, Flagler Beach, FL

**Estimated Attendance:** 5,324

- Multiple Divisions and Levels of Play
- 2,420 Participant (110 Teams x 22 Players and Coaches per Team)



- 2,904 Spectators (1.2 Spectators per participant)

**Budget Request & Purpose:** \$12,500 - Bid Fee

**Funding History since 2016:**

2016 - \$10,000 (Team Florida Lacrosse)

2017 - \$10,000 (Team Florida Lacrosse)

2018 - \$12,000 (Triple Crown Sports)

2019 - \$15,000 (Triple Crown Sports)

2020 - \$12,500 (Triple Crown Sports)

**Direct Visitor Spending:** \$1,180,033

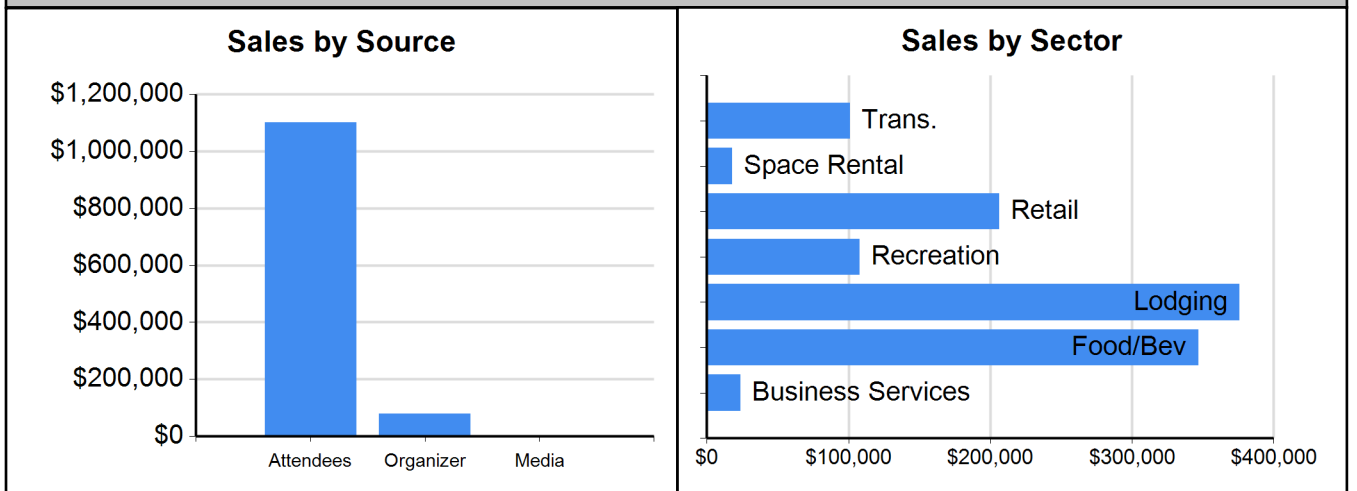
**Total Economic Impact:** \$1,549,972

# Event Impact Summary

Destination: Palm Coast and The Flagler Beaches

Event Parameters		Key Results	
Event Name:	2021 Lacrosse Fathers Day Tournament	Business Sales (Direct):	\$1,180,033
Organization:	Florida United Lacrosse	Business Sales (Total):	\$1,549,972
Event Type:	Youth Amateur	Jobs Supported (Direct):	818
Start Date:	6/19/2021	Jobs Supported (Total):	857
End Date:	6/20/2021	Local Taxes (Total):	\$40,823
Overnight Attendees:	4300	Net Direct Tax ROI:	\$36,487
Day Attendees:	500	Estimated Room Demand:	2,506

## Direct Business Sales



Industry	Attendees	Organizer	Media/Sponsors	Total
Lodging	\$375,935	\$0	\$0	\$375,935
Transportation	\$99,603	\$1,207	\$140	\$100,951
Food & Beverage	\$311,029	\$35,942	\$0	\$346,971
Retail	\$206,606	\$0	\$0	\$206,606
Recreation	\$108,051	\$0	\$0	\$108,051
Space Rental	\$0	\$17,769	\$0	\$17,769
Business Services	\$0	\$23,671	\$79	\$23,750
<b>TOTAL</b>	<b>\$1,101,225</b>	<b>\$78,589</b>	<b>\$219</b>	<b>\$1,180,033</b>

## Event Impact Details

Destination: Palm Coast and The Flagler Beaches

Event Name: 2021 Lacrosse Fathers Day Tournament 2021

Organization: Florida United Lacrosse

Economic Impact Details			
	Direct	Indirect/Induced	Total
<b>Business Sales</b>	\$1,180,033	\$369,939	\$1,549,972
<b>Personal Income</b>	\$362,843	\$93,374	\$456,217
<b>Jobs Supported</b>			
Persons	818	39	857
Annual FTEs	14	1	14
<b>Taxes and Assessments</b>			
<u>Federal Total</u>	<u>\$103,080</u>	<u>\$29,992</u>	<u>\$133,072</u>
<u>State Total</u>	<u>\$83,240</u>	<u>\$11,764</u>	<u>\$95,004</u>
sales	\$63,415	\$5,549	\$68,964
income	\$0	\$0	\$0
bed	\$0	-	\$0
other	\$19,825	\$6,215	\$26,040
<u>Local Total (excl. property)</u>	<u>\$36,487</u>	<u>\$4,336</u>	<u>\$40,823</u>
sales	\$10,569	\$925	\$11,494
income	\$0	\$0	\$0
bed	\$15,037	-	\$15,037
per room charge	\$0	-	\$0
tourism district	\$0	-	\$0
restaurant	\$0	\$0	\$0
other	\$10,880	\$3,411	\$14,291
property tax	\$21,407	\$3,587	\$24,994

Event Return on Investment (ROI)		
<b>Direct local tax ROI (net property taxes)</b>		
Direct Tax Receipts	\$36,487	
DMO Hosting Costs	\$0	
Direct ROI	\$36,487	
Net Present Value	\$36,487	
Direct ROI (%)	-	
<b>Total local tax ROI (net property taxes)</b>		
Total Local Tax Receipts	\$40,823	
Total ROI	\$40,823	
Net Present Value	\$40,823	
Total ROI (%)	-	

Estimated Room Demand Metrics	
Room Nights (total)	2,506
Room Pickup (block only)	0
Peak Rooms	1,593
Total Visitor Days	7,142

DISCRETIONARY  
AVAILABLE BALANCE REPORT

Fiscal Year FY2021	Award Amount	\$80,000	Approved FY2020 Budget
110-4700-559-48.45			
<b>Discretionary Awards Approved by BOCC</b>			
2021 January 16-18			
JAGA Amateur Golf Tournament	\$2,000.00		
2021 October 15-21			
National Christian College Golf	\$7,500.00		
2021 March 29-April 2			
Continuing Education Session I	\$8,000.00		
2021 April 5-9			
Continuing Education Session II	\$8,000.00		
2021 April 17-18			
FFF Battle of the Badges	\$5,000.00		
2021 June 26-27			
FFF Battle of the Badges	\$5,000.00		
2021 July 12-16			
Continuing Education Summer Session	\$4,000.00		
2021 June 19-20			
FI United, Father's Day Lacrosse	\$12,500.00		
<b>Subtotal Awards</b>		<b>\$52,000.00</b>	<b>Awards Approved by BOCC</b>
		<b>\$28,000.00</b>	<b>Available FY2020 Budget</b>

**FLAGLER COUNTY  
TOURIST DEVELOPMENT COUNCIL  
Flagler County Government Services Building  
Board Chambers – First Floor  
April 21, 2021  
9:00 A.M.  
Minutes**

MEETING CALLED TO ORDER BY CHAIR DAVID SULLIVAN AT 9:00 A.M.

**Chair Sullivan** led the pledge to the flag and requested a moment of silence.

1. Attendance

PRESENT: Chair David Sullivan, Ken Bryan, Felicia Cook, Pamela Walker, Ryan Crabb, John Lulgjuraj

ABSENT: Stephen Baker

STAFF: Amy Lukasik, Debra Naughton, Christina Hutsell

2. Adoption of Minutes from January 20<sup>th</sup> Meeting

**Robinson/Crabb. Motion** to adopt the August 2020 meeting minutes. Motion Carries.

3. Accept Financial Reports for Review

- a) Revenue Report
- b) Budget to Actual Report

**Bryan/Walker. Motion** to accept the Revenue Report. Motion Carries.

**Luigjuraj/Bryan. Motion** to accept the Budget to Actual Report. Motion Carries.

4. Accept Marketing Reports For Review

- a) Marketing Report January 2021
- b) Marketing Report February 2021
- c) Marketing Report March 2021

**Bryan/Walker. Motion** to accept January, February and March 2021 Marketing Reports. Motion Carries.

5. Tax Collection Update

6. Fund 111 Update

7. Fund 110 Discretionary Event Funding Applications:

- a) \$5,000 – Florida Flag Football, Battle of the Badges, June 26-27, 2021
- b) \$4,000 – Continuing Education Conference, Summer Session, July 12-16, 2021
- c) \$12,500 - Florida United Lacrosse, LLC, Father's Day LAX, June 19-20, 2021

**Cook/Bryan. Motion** to recommend to the Board of County Commissioners to fund \$5,000 for Florida Flag Football, Battle of the Badges, to be held June 26<sup>th</sup> -27<sup>th</sup> , Pro-Am, to be held October 15-21, 2021. Motion Carries.

**Walker/Bryan. Motion** to recommend to the Board of County Commissioners to fund \$4,000 for Continuing Education Company, Summer Session, , July 12-16, 2021, 2021. Motion Carries.

**Klufus/Walker Motion** to recommend to the Board of County Commissioners to fund \$12,000 for Florida United Lacrosse, LLC, Father's Day LAX, June 19-20, 2021. Motion Carries with **Baker** and **Crabb** abstaining.

8. Let's Talk Tourism Presentation
9. Tourism Development Office Update.
10. Community Outreach
11. Board Members Commentaries.

DRAFT

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT AGENDA ITEM # 7g**

**SUBJECT:** Request Approval of the Unanticipated Revenue Resolution Related to the Annual Hazards Analysis Grant Program.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** Staff is seeking approval of the Unanticipated Revenue Resolution for the State Fiscal Year 2021 Hazards Analysis Agreement.

The State of Florida provides annual grants to local governments to assist them in Hazardous Materials Planning & Prevention. Resolution 2020-54 delegated authority to the County Administrator, or his designee, to execute the Grant Agreement, and related documents.

The FY21 Approved County Budget, included revenue and expenditures of \$2,284. However, the final Grant Agreement provided an additional \$60 in revenue.

**FUNDING INFORMATION:** The allocation of funds, provided under the Agreement, shall be as outlined in the attached Unanticipated Revenue Resolution, and do not require a local match.

**DEPARTMENT CONTACT:** Emergency Management, Jonathan Lord (386) 313-4240

**RECOMMENDATIONS:** Request the Board approve the Unanticipated Revenue Resolution.

**ATTACHMENTS:**

1. Unanticipated Revenue Resolution

## RESOLUTION NO. 2021 - \_\_\_\_

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY TO AMEND THE GENERAL FUND 001 FOR THE FISCAL YEAR 2020-21 TO RECOGNIZE AND APPROPRIATE UNANTICIPATED REVENUE.**

**WHEREAS**, the Flagler County Board of County Commissioners has received an additional \$60 from the Florida Department of Emergency Management (FDEM); and

**WHEREAS**, Chapter 129, Florida Statutes, authorizes the Board of County Commissioners to amend, by resolution, its budget to provide for the receipt and expenditure of unanticipated funds.

**NOW, THEREFORE, BE IT RESOLVED** by the Flagler County Board of County Commissioners, in meeting assembled on the 17<sup>th</sup> day of May 2021, that the General Fund 001 be amended, as follows:

**GENERAL FUND 001**

**FUNDING SOURCES:**

001-0000-334.24-01	Hazardous Materials Update	<b>\$60</b>
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**EXPENDITURES:**

001-8026-525.46-40	Small Tools and Equipment	<b>\$60</b>
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BOARD OF COUNTY COMMISSIONERS  
FLAGLER COUNTY, FLORIDA.

BY: \_\_\_\_\_  
Donald T. O'Brien Jr., Chair

ATTEST:

\_\_\_\_\_  
Tom Bexley, Clerk of the Circuit  
Court and Comptroller

APPROVED AS TO FORM:

**Sean S. Moylan** Digitally signed by Sean S. Moylan  
Date: 2021.05.10 12:54:43 -04'00'  
\_\_\_\_\_  
Sean S. Moylan, Assistant County  
Attorney



**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7h**

**SUBJECT:** Approval of Request for Proposals (RFP) Award 21-015P, Temporary Staffing Services to Manpower Group, Inc. and Abacus Corporation.

**DATE OF MEETING:** May 3, 2021

**OVERVIEW/SUMMARY:** In April, 2020 Flagler County entered into an emergency procurement with Manpower Group, Inc. to assist with the County's response to the COVID-19 pandemic. This contract allowed for proper staffing of the County's Emergency Operations Center and filled supporting positions throughout the remainder of the County. The need for these positions remained consistent, as these positions were crucial in front-line communication with the public regarding both CARES Act and Vaccine information. In order to be compliant with 2-CFR Standards, a formal Request for Proposals (RFP) was released for these services in January 2021. This RFP was advertised regionally in the *Daytona Beach News Journal*, as well as publicly broadcast on [www.myvendorlink.com](http://www.myvendorlink.com) and sent to the Orlando Minority Business Development Agency for further exposure.

On February 24, 2021, the County received thirteen (13) responses as detailed on the attached Selection Committee Ranking Sheet. Of the thirteen (13) submissions that were received, only twelve (12) were scored and ranked by County staff, as the final submission from eJAmerica was deemed non-responsive by the Purchasing Manager. After the proposals were reviewed in detail, staff met to formally rank the submissions, which resulted in Manpower and Abacus Staffing receiving the highest scores.

On April 13, 2021, the Purchasing Department received a formal bid protest from Blue Arbor, LLC, in regards to the final ranking of this solicitation. A Bid Protest Committee was assembled per Purchasing Policy to review this protest and submit recommendation to the County Administrator. At the protest hearing, Blue Arbor did not dispute any issues of fact, but asserted that a committee member misunderstood the references that Blue Arbor submitted with its proposal. Ultimately, the Committee decided to recommend to the County Administrator that the County should deny the protest and move forward with awarding the contract to the top two ranked vendors as originally intended. The County Administrator reviewed the record and concurred in the recommendation.

In order to be consistent with the ongoing needs of the County, staff recommends awarding contracts to both Manpower and Abacus Corporation, who each submitted a fully responsive proposal.

**FUNDING INFORMATION:** Funding will be identified in each department's budget before requesting the services of these vendors.

**DEPARTMENT CONTACT:** Purchasing, Holly Durrance (386) 313-4063

**RECOMMENDATIONS:** Request the Board approve Request for Proposals (RFP) award to Manpower Group, Inc. and Abacus Corporation for a period of one (1) year with the option of four (4) additional one (1) year renewals, if mutually agreed on by both parties prior to contract expiration, and authorize the Chair to execute the contract as approved to form by the County Attorney and approved by the County Administrator.

**ATTACHMENTS**

1. Selection Committee Ranking Sheet
2. Contract
3. Recommendation of Bid Protest – Memo to County Administrator



**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS**

**Selection Committee Ranking**

**21-015P - Temporary Staffing Services**

Meeting Time, Date, and Location

Monday, March 29, 2021 VIA ZOOM

Firms		Committee Members					Score	Rank	
		Michael Catalano	Andrew Ferrara	Jonathan Lord	Amy Lukasik	Anita Stoker			
1	Abacus	5	2	4	1	1	13	2	
2	AUE	11	10	9	10	10	50	8	
3	Blue Arbor	2	1	3	4	4	14	4	
4	CareersUSA	8	5	7	6	6	32	5	
5	Daytona Employment	9	8	2	9	9	37	6	
6	Infojini	10	12	12	8	8	50	9	
7	JMI	7	4	10	7	7	35	5	
8	Lancesoft	12	11	11	11	11	56	10	
9	Manpower	1	3	1	3	3	11	1	
10	Moten Tate	3	7	5	2	2	19	3	
11	Spherion	6	6	6	5	5	28	5	
12	Sunshine	4	9	8	12	12	45	7	
	eJAmerica								
<b>Final</b>									
							1	Manpower	
							2	Abacus	

**Holly Durrance**

Digitally signed by  
Holly Durrance  
Date: 2021.05.03  
15:57:03 -04'00'

**CONTRACT  
FOR  
TEMPORARY STAFFING SERVICES  
REQUEST FOR PROPOSAL 20-015P**

This Contract, entered into this \_\_\_\_ day of May 2021, by and between the Flagler County Board of County Commissioners, a political subdivision of the State of Florida, whose address is 1769 East Moody Blvd., Building 2, Bunnell, FL 32110, hereinafter called the **COUNTY**, and Abacus Corporation, a foreign profit corporation, whose address is 610 Gusryan St. Baltimore, MD 21224, hereinafter called the **VENDOR**.

WITNESSETH: That the **COUNTY** agrees with the **VENDOR**, as follows:

1. The Contract shall consist of the following, all of which are hereby made a part hereof:
  - a. 20-015P Solicitation Documents including Addendums No. 1 & No. 2
  - b. 20-015P Proposal Submission, including Insurance Certificate (s)
  
2. The **VENDOR** agrees to furnish all labor, equipment, material and the skill necessary for the complete work as set forth in the component parts of the Contract described herein and to the satisfaction of the **COUNTY** or its duly authorized representative.
  
3. The **VENDOR** agrees to commence the work to be done under this Contract, beginning on May 17, 2021 for a period of one (1) year, with the option to renew for four (4) additional one (1) year periods if mutually agreed to in writing by both parties, at least thirty (30) days prior to the expiration of the then-existing term.
  
4. The **COUNTY** agrees to pay the **VENDOR** for the services rendered, in accordance with the pricing structure set forth in the Solicitation Submission.

[THIS SPACE INTENTIONALLY LEFT BLANK. SIGNATURE PAGES TO FOLLOW.]

**In WITNESS WHEREOF, the undersigned have executed this Agreement on the day and year set forth below.**

ATTEST:

**FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS**

\_\_\_\_\_  
TOM BEXLEY  
Clerk of the Circuit Court and Comptroller

\_\_\_\_\_  
DONALD T. O'BRIEN JR., CHAIR

\_\_\_\_\_  
*(Date Signed)*

APPROVED-AS-TO-FORM

Sean S. Moylan Digitally signed by Sean S. Moylan  
Date: 2021.05.10 12:10:16 -04'00'

\_\_\_\_\_  
SEAN S. MOYLAN,  
Assistant County Attorney

As authorized for execution by the Board of  
Flagler County Board of County  
Commissioners at its May 17, 2021 regular  
meeting.

[SIGNATURE PAGE TO FOLLOW.]

**ABACUS CORPORATION**

\_\_\_\_\_  
*(Signature)*

\_\_\_\_\_  
*(Typed or Printed Name)*

\_\_\_\_\_  
*(Title)*

\_\_\_\_\_  
*(Date Signed)*

ATTEST:

\_\_\_\_\_  
*(Signature)*

\_\_\_\_\_  
*(Printed)*

\_\_\_\_\_  
*(Title)*

**CONTRACT  
FOR  
TEMPORARY STAFFING SERVICES  
REQUEST FOR PROPOSAL 20-015P**

This Contract, entered into this \_\_\_\_ day of May 2021, by and between the Flagler County Board of County Commissioners, a political subdivision of the State of Florida, whose address is 1769 East Moody Blvd., Building 2, Bunnell, FL 32110, hereinafter called the **COUNTY**, and ManpowerGroup, Inc., a Florida profit corporation, whose address is 18901 W. Dixie Hwy., Box #630215, Miami, FL, 33180, hereinafter called the **VENDOR**.

WITNESSETH: That the **COUNTY** agrees with the **VENDOR**, as follows:

1. The Contract shall consist of the following, all of which are hereby made a part hereof:
  - a. 20-015P Solicitation Documents including Addendums No. 1 & No. 2; and
  - b. 20-015P Proposal Submission, including Insurance Certificate(s).
  
2. The **VENDOR** agrees to furnish all labor, equipment, material and the skill necessary for the complete work as set forth in the component parts of the Contract described herein and to the satisfaction of the **COUNTY** or its duly authorized representative.
  
3. The **VENDOR** agrees to commence the work to be done under this Contract, beginning on or before May 17, 2021 for a period of one (1) year, with the option to renew for four (4) additional one (1) year periods if mutually agreed to in writing by both parties, at least thirty (30) days prior to the expiration of the then-existing term.
  
4. The **COUNTY** agrees to pay the **VENDOR** for the services rendered, in accordance with the pricing structure set forth in the Solicitation Submission.

[THIS SPACE INTENTIONALLY LEFT BLANK. SIGNATURE PAGES TO FOLLOW.]

In WITNESS WHEREOF, the undersigned have executed this Agreement on the day and year set forth below.

ATTEST:

**FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS**

\_\_\_\_\_  
TOM BEXLEY  
Clerk of the Circuit Court and Comptroller

\_\_\_\_\_  
DONALD T. O'BRIEN JR., CHAIR

\_\_\_\_\_  
*(Date Signed)*

APPROVED-AS-TO-FORM

Sean S. Moylan Digitally signed by Sean S. Moylan  
Date: 2021.05.10 12:11:12 -04'00'

\_\_\_\_\_  
SEAN S. MOYLAN  
Assistant County Attorney

As authorized for execution by the Board of  
Flagler County Board of County  
Commissioners at its May 17, 2021 regular  
meeting.

[SIGNATURE PAGE TO FOLLOW.]

**MANPOWERGROUP, INC.**

\_\_\_\_\_  
*(Signature)*

\_\_\_\_\_  
*(Typed or Printed Name)*

\_\_\_\_\_  
*(Title)*

\_\_\_\_\_  
*(Date Signed)*

ATTEST:

\_\_\_\_\_  
*(Signature)*

\_\_\_\_\_  
*(Printed)*

\_\_\_\_\_  
*(Title)*



**Purchasing**  
 1769 E. Moody Blvd Bldg 2  
 Bunnell, FL 32110



[www.flaglercounty.org](http://www.flaglercounty.org)

Phone: (386)313-4001

Fax: (386)313-4101

To: Jerry Cameron – County Administrator

From: Holly Durrance – Purchasing Manager  
 Holly Durrance  
Digitally signed by Holly Durrance  
 Date: 2021.04.29 09:57:16 -04'00'

Date: April 28, 2021  
 Jerry Cameron  
Digitally signed by Jerry Cameron  
 Date: 2021.04.29 10:33:01 -04'00'

Subject: Recommendation of Bid Protest for 21-015P – Temporary Staffing Services

On April 13, 2021, the Flagler County Purchasing Department received a formal bid protest from Blue Arbor, LLC (“Blue Arbor”) in regards to the final ranking for 20-015P – Temporary Staffing Services. This protest was timely and was accompanied by the required bond in the amount of \$500.00, sent in the form of a Cashier’s Check.

Blue Arbor requested that the final ranking be re-evaluated based on the rankings of Selection Committee Member, Amy Lukasik, who’s overall scores dropped this vendor out of the shortlist. The vendor specifically asked for the County to focus on Ms. Lukasik’s comments and score regarding the “References” component of the RFP submission.

A Bid Protest Committee was assembled per Purchasing Policy requirements. The committee consisted of three (3) directors, Mike Dickson (Chairman), John Brower and Jarrod Shupe, with the Assistant County Attorney, Sean Moylan, also in attendance. Each member of the Committee reviewed this protest and all accompanying documentation provided by Purchasing.

The Committee met with Blue Arbor on April 28, 2021 to discuss the protest and allowed Blue Arbor the opportunity to present its case. Under the Purchasing Policy, the Committee must submit a written recommendation regarding the protest to the County Administrator, who then either issues a final decision or calls for an evidentiary hearing if disputed issues of material fact remain. (A copy of the relevant portion of the Purchasing Policy is submitted herewith for your convenience.)

At the protest hearing, Blue Arbor did not dispute any issues of fact, but asserted that Ms. Lukasik misunderstood the references that Blue Arbor submitted with its proposal. Ultimately, the Committee decided to recommend to the County Administrator that the County should deny the protest and move forward with awarding the contract to the top two ranked vendors as originally intended because Blue Arbor would only rank third even if Ms. Lukasik had given it

**Andy Dance**  
 District 1

**Greg Hansen**  
 District 2

**David Sullivan**  
 District 3

**Joe Mullins**  
 District 4

**Donald O’Brien Jr.**  
 District 5

the highest score for references. Put another way, even if given the benefit of every doubt raised by the protest, it would not make a material difference in the outcome.

The Purchasing Department is happy to provide any backup documentation, should it be requested.

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT AGENDA ITEM # 7i**

**SUBJECT:** Approval of New Financial Services Grant Policy and Procedure.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** Staff is seeking approval of new and updated policies and procedures for the application, management, and closing of County grants.

This policy has been created to promote management efficiency, consistent procedures and compliance assurances for grants being obtained in the name of the Flagler County Board of County Commissioners.

This policy allows County Departments to be more proactive and responsive to grant needs while maximizing the value of grant funds received and expended within the County. It will allow more cohesion and organization within the County and prevent possible future findings during audits which could result in loss of grant funds.

The new policy currently under consideration is a complete rewrite of previous management practices and is designed to work with future operational systems.

**FUNDING INFORMATION:** N/A

**DEPARTMENT CONTACT:** E. John Brower, Financial Services Director (386) 313-4036  
Michael Catalano, Grant and Project Accountant, (386) 313-4049

**RECOMMENDATIONS:** Request the Board approve the Resolution - Grant Policy and Procedure to be effective June 1, 2021.

**ATTACHMENTS:**

1. Resolution – Grant Policy and Procedure

**RESOLUTION NO. 2021 - \_\_\_\_**

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY, FLORIDA, ESTABLISHING THE GRANT POLICY AND PROCEDURES TO BE UTILIZED IN AND FOR GRANT REPORTING, FINANCIAL MONITORING, AND OTHER APPROPRIATE AND RELEVANT EVENTS COVERED WITHIN; PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, Chapters 129 and 200, Florida Statutes, provide the authority and procedure for the Board of County Commissioners to utilize within the continuous management of County’s fiscal position; and

**WHEREAS**, the Flagler County Board of County Commissioners desires to newly adopt a Grant Policy and Procedure.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY, FLORIDA, AS FOLLOWS:**

(1) That the Grant Policy and Procedure, attached hereto and incorporated herein, will constitute the grant guidelines, procedures, and requirements that will govern the financial monitoring, managing, and reporting for Flagler County and its Board of County Commissioners.

(2) That any resolution in conflict with the guidelines, procedures, and requirements established by this resolution is hereby repealed.

(3) That this resolution shall take effect June 1, 2021.

**DULY ADOPTED** this 17<sup>th</sup> day of May 2021.

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS**

**ATTEST:**

\_\_\_\_\_  
Tom Bexley, Clerk of the Circuit Court and Comptroller

\_\_\_\_\_  
Donald T. O’Brien Jr., Chair

**APPROVED AS TO FORM:**

Sean S. Moylan Digitally signed by Sean S. Moylan  
Date: 2021.05.10 14:19:34 -04'00'  
\_\_\_\_\_  
Sean S. Moylan, Assistant County Attorney



# Administrative Policy

Resolution Number: 2021-\_\_\_\_  
Review Date: May 17, 2021

Effective Date: June 1, 2021  
Revised Date: May 17, 2021

This Administrative Procedure supersedes and replaces any previous versions

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## Grant Policy and Procedure

**Purpose:** To establish a countywide reference guide for grant related issues. This document contains essential information to promote management efficiency, consistent procedures and compliance assurances for grants being obtained in the name of the Flagler County Board of County Commissioners. The County Departments will be proactive and responsive to grant needs while maximizing the value of grant funds received and expended within the County.

**Applicability:** This policy applies to all county departments and Constitutional Officers that intend to or have engaged in grant activities with the BOCC. Because every grant is different, some sections of this manual may not apply.

In each section, this manual identifies specific responsibilities of County Departments, Clerks' Office and Financial Services Department (FSD). In general, each County Department is responsible for applying for and managing their own grant awards. FSD's role is to support and assist departments on matters that pertain to the financial aspects of the grant(s). FSD is the centralized location of review by external auditors and maintains complete grant files needed for annual audits.

### ROLES

- A. FSD's primary role is to support and assist county departments on matters that pertain to grants and contracts with federal, state and other agencies. FSD is utilized to review and validate all grant contracts and ensure that grant transactions are properly identified in the accounting records to maintain proper accounting and reporting controls. All grant information and requests will be sent by departments receiving the grants through email to: [Grants@flaglercounty.org](mailto:Grants@flaglercounty.org)
- B. The Department wishing to pursue the grant is responsible for writing, applying, and managing the grant. The Department applying for the grant will be in charge of communications with the granting agencies' liaison. It is the applicant's responsibility to compile all necessary data needed for the grant and reimbursement. The applicant is also responsible for tracking program requirements and reporting dates.

### ASSESSING AVAILABLE ASSISTANCE PROGRAMS

Once a department has located a potential grant, the applicant needs to evaluate that the grant meets local needs. Costs must also be weighed against the services being provided or offered.

Additionally, the department/applicant must consider whether future funding sources will be required for the project, such as maintenance costs.

### **TO APPLY OR NOT TO APPLY?**

Before applying, research and consider grant requirements that could potentially commit more from the county. Conduct a cost benefit analysis to ensure the grant is worth the county resources. These determinations can be made through discussions with agency representatives and by reviewing the program documents. Below is a list of questions to consider when making the decision to apply for funding assistance.

- A. Is there available staff with the time and expertise to devote to this project?** The application process is labor intensive and requires extensive data collection and research. Starting the process early increases your chances of being awarded the grant, but rushing to complete an application or proposal will lead to errors.
- B. What application conditions must be met?** Examples of conditions to review before submitting an application are community participation and drug-free workplace requirements, environmental impact studies and prohibitions on discrimination.
- C. Can you meet the matching requirements?** Grants may require a matching percentage of funds from applicant for the grant program; it is important to secure matching funds before applying. Are in-kind contributions acceptable for satisfying the match requirement? In-kind contributions are defined under federal guidelines as "contributions other than cash." While they usually add real value to a project, they do not require an actual cash outlay. Some examples of in-kind contributions are third-party contributions, donated labor, materials, and services. Funding of in-kind matches must be identified in the budget.

### **THE APPLICATION PROCESS**

- A.** It is the responsibility of the department/applicant to write its own applications.
- B.** The department prepares an agenda item(s) for the Board meeting and attaches a copy of the application. This agenda item should be forwarded to Legal for review and signature. **Please keep in mind, the deadline and requirements for agenda items when beginning this process.**
- C.** All grants require a two-step Board review, before an application is submitted and once the grant is awarded. Notifying the Board with regards to applying is essential so that the effects on the government, for example, budget, cash flow, procurement requirements, and financial reporting can be reviewed and understood.

- D. Once the Board has approved the grant application request, the department/applicant can officially submit to the granting agency ensuring to include [grants@flaglercounty.org](mailto:grants@flaglercounty.org) on the submittal. Double-check deadline requirements carefully and confirm that the application arrives to the granting agency on time.
- E. The Department will coordinate with the FSD to establish appropriate accounts for grant revenues and expenditures and to request amendments, as needed
- F. For each grant the Department Director will appoint a Grant Liaison who will be the point of contact and assist with process and performance updates.

### **DURING THE GRANT PERIOD**

- A. **SPEND THE MONEY!** – Avoid waiting until the end of the grant period to spend the funds. (In some cases, however, the granting agency will only reimburse for expenses AFTER the project is completed.) Waiting until the end of the grant period leaves the department at a higher chance of not spending all of the funds and places pressure on doing financial reports, i.e., waiting for invoices to come in and for checks to clear the bank.
- B. FSD will establish a review system to ensure that only allowable expenditures are claimed under the grant.
- C. The department’s Grant Liaison shall forward a copy of each request for reimbursement, request for advance payments and all required financial reports to the FSD for review, along with the Grant File Form for signature, a week prior to submission to the granting agency for payment, along with supporting documentation for the cost claimed. A copy of the Grant File Form is attached to this policy.
- D. Recommended changes or revisions will be reviewed and approved through the FSD and the department head or designee. Copies of all financial requests shall also be sent to the Clerk’s Office by the FSD.
- E. All requests for payments should be completed using the granting agency’s format as well as completing the Grant File Form.
- F. If the granting agency’s reporting requirements are less frequent, or reimbursement can only occur after a project is finished, quarterly reports are required by the County to be sent to FSD via [Grants@flagercounty.org](mailto:Grants@flagercounty.org) and are used as interim updates that can be combined when needed.
- G. Ask and justify the need for extensions/deviations as soon as they become apparent. This keeps the granting agency informed and shows that the Department is managing and monitoring grant funds efficiently. It is the goal of the County to complete all grants within the initially awarded grant period.

### **\*Flagler County Fiscal Year End\***

If there are expenses that happened in previous FY that still have not received reimbursement, the department will send RFR to [Grants@flaglercounty.org](mailto:Grants@flaglercounty.org) by Oct 15th or will have to submit a formal letter signed by their Director to the County Administrator explaining the delay. Loss of future grants could happen if this occurs.

### **CLOSING THE GRANT**

- A. The department should submit closeout reports in compliance with grant requirements.
- B. After the final invoice or closeout report has been sent to the granting agency, the agency will usually send a letter to the department indicating that the grant is closed. That letter will be sent to [Grants@flaglercounty.org](mailto:Grants@flaglercounty.org) where FSD will then store all grant data for allotted time period and to be available for audits.
- C. The department is responsible for reconciliation upon close out to ensure expenditures and revenues are matching and no further funding is owed.

### **WHY ARE THESE PROCEDURES IMPORTANT?**

At the end of each fiscal year, an external auditor reviews the accounting practices of the County. The auditors report any findings for the County to improve on. *EVERY granting agency receives a copy of this audit report.* Should the auditor report findings that do not meet standards, the County's ability to apply for and receive future grant awards can be negatively affected.

Preparing quarterly progress reports and reimbursement requests gives the department a better understanding of the status of its grants. It enables the department to track expenditures more accurately and effectively handle situations that may occur to the project.

These procedures allow the County to complete the year end close out process in order to create mandatory reports such as the Schedule of Expenditures of Federal Awards (SEFA) report to the public.



## GRANT FILE FORM

Grant/Project Name: _____	Grant Program Period: _____
Grant ID#: _____	Grant Liaison Contact Name: _____
Funding Agency: _____	Contact Phone Number: _____
GRT#: _____	CSFA#: _____
	CFDA#: _____
Award Amount: _____	Project#: _____
	Expense Account#: _____
	Revenue Account#: _____
County Department: _____	Type of Match: _____

Award Balance: _____	Inv/RFR#: _____	Date: _____
RFR Amount on this invoice: _____	Fiscal Year: _____	Date Range: _____
Award Balance After RFR \$ _____ -	Was there an extension? Y / N	is this grant completed? Y / N
Annual Audit Requirement: _____		
		Financial Services Signature: _____

# GRANT FLOW CHART

## SHOULD I APPLY?

- Department will find and research grant opportunities
- Does department have staff to devote to grant?
- Is there funding for match costs?



## APPLICATION PROCESS

- Department prepares Agenda item for Board Approval
- Documents go to Legal for signature
- Department writes grant application



- Once approved by Board, Financial Services receives grant documents
- Department submits grant to agency and is awarded grant
- Grant goes to BOCC for 2<sup>nd</sup> approval.



- Department contacts Financial Services to create accounts
- Financial Services will provide all grant information to Clerk Office



## DURING GRANT PERIOD

- Grant File Form is filled out by Department and sent with backup to: [Grants@flaglercounty.org](mailto:Grants@flaglercounty.org)
- **The Grant File Form will be resubmitted with each RFR request or quarterly update**



- Department will track deadlines and requirements
- Financial Services will establish a review system to track grant



- Department will begin using funds for grant and assure they are going into proper grant expenditure account
- Department will send RFR submittal to: [Grants@flaglercounty.org](mailto:Grants@flaglercounty.org)



- Financial Services will review RFR submittal and approve for department to submit
- RFR's should be completed using proper format and Grant File Form



## GRANT COMPLETE!



## CLOSING OUT THE GRANT

- GRANT IS RECONCILED BY DEPARTMENT
- GRANT IS CLOSED OUT AND LETTER IS PROVIDED BY GRANT AGENCY
- FINANCIAL SERVICES RECEIVES LETTER AND STORES ALL DATA FOR AUDIT PURPOSES FOR REQUIRED TIME PERIOD



- Any amendments or extensions to grant need to be notified to Financial Services ASAP
- **Financial Services will be sent copies of any changes to grant**



**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT AGENDA ITEM # 7j**

**SUBJECT:** Request Approval of the Unanticipated Revenue Resolution Related to the Painter's Hill Seawall Debt Service Fund.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** Staff is seeking approval of the Unanticipated Revenue Resolution for the early payoffs of two property owner's Special Assessments created to pay for the Painter's Hill Seawall Construction Project.

Early payoffs can only be made once per year during the month of July. After making the additional payments, a new amortization schedule will be prepared with our Financial Advisor and the Lender.

**FUNDING INFORMATION:** Funding for the additional debt service payments will be appropriated with the attached Unanticipated Revenue Resolution.

**DEPARTMENT CONTACT:** E. John Brower, Financial Services Director (386) 313-4036

**RECOMMENDATIONS:** Request the Board approve the Unanticipated Revenue Resolution.

**ATTACHMENTS:**

1. Unanticipated Revenue Resolution

## RESOLUTION NO. 2021 - \_\_\_\_

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY TO AMEND THE BND-TXBL SP ASMT RV S2018 FUND 213 FOR THE FISCAL YEAR 2020-21 TO RECOGNIZE AND APPROPRIATE UNANTICIPATED REVENUE.**

**WHEREAS**, the Flagler County Board of County Commissioners has received \$126,894 from early payoffs of property owners within the Painters Hill Seawall Special Assessment District; and

**WHEREAS**, Chapter 129, Florida Statutes, authorizes the Board of County Commissioners to amend, by resolution, its budget to provide for the receipt and expenditure of unanticipated funds.

**NOW, THEREFORE, BE IT RESOLVED** by the Flagler County Board of County Commissioners, in a meeting assembled on the 17<sup>th</sup> day of May 2021, that the Bnd-Txbl SP Asmt Rv S2018 be amended, as follows:

**BND-TXBL SP ASMT RV S018 FUND 213**

**FUNDING SOURCES:**

213-0000-325.20-01	Special Assessments	<b>\$126,894</b>
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**EXPENDITURES:**

213-3607-517.71-10	Debt Service/Principal	<b>\$126,894</b>
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BOARD OF COUNTY COMMISSIONERS  
FLAGLER COUNTY, FLORIDA.

BY: \_\_\_\_\_  
Donald T. O'Brien Jr., Chair

ATTEST:

\_\_\_\_\_  
Tom Bexley, Clerk of the Circuit  
Court and Comptroller

APPROVED AS TO FORM:

Sean S. Moylan Digitally signed by Sean S. Moylan  
Date: 2021.05.10 14:42:51 -04'00'  
\_\_\_\_\_  
Sean S. Moylan, Assistant County  
Attorney

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7k**

**SUBJECT:** Approval of an Unanticipated Revenue Resolution for the American Rescue Plan Act of 2021.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** On March 11, 2021 President Biden signed into law the American Rescue Plan Act passed by Congress. Staff is seeking approval to appropriate the funding allocated to the Flagler County Board of County Commissioners from the American Rescue Plan Act of 2021. Unlike the CARES Act, funding will come directly from the Federal Government to Flagler County. The Municipalities in our county will receive their own distributions. The total allocation for Flagler County is estimated at \$22,353,135, with 50% (\$11,176,567.50) being received this fiscal year, and the remaining 50% coming in approximately 1 year.

Stakeholder discussions are ongoing and specific projects are expected to be determined in the near future. As projects are finalized they will be brought back to the Board for discussion and approval.

**FUNDING INFORMATION:** Budget in the amount of \$22,353,135 will be appropriated with the attached Unanticipated Revenue Resolution.

**DEPARTMENT CONTACT:** E. John Brower, Financial Services Director (386) 313-4036

**RECOMMENDATION:** Request the Board approve the Unanticipated Revenue Resolution for the expected total of \$22,353,135 from the American Rescue Plan Act of 2021.

**ATTACHMENTS:**

1. Unanticipated Revenue Resolution

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY TO AMEND THE FEDERAL RELIEF FUND 185 FOR THE FISCAL YEAR 2020-21 TO RECOGNIZE AND APPROPRIATE UNANTICIPATED REVENUE.**

**WHEREAS**, the Flagler County Board of County Commissioners has received \$22,353,135 from the Department of Treasury, via the American Rescue Plan Act of 2021; and

**WHEREAS**, Chapter 129, Florida Statutes, authorizes the Board of County Commissioners to amend, by resolution, its budget to provide for the receipt and expenditure of unanticipated funds.

**NOW, THEREFORE, BE IT RESOLVED** by the Flagler County Board of County Commissioners, in meeting assembled on the 17<sup>th</sup> day of May 2021, that the Federal Relief Fund 185 be amended, as follows:

**FEDERAL RELIEF FUND 185**

**FUNDING SOURCES:**

185-0000-331.20-31	American Rescue Plan	<b>\$22,353,135</b>
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**EXPENDITURES:**

185-8647-525.63-10 Project # 102583	Improvements Other than Bldg	<b>\$18,353,135</b>
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185-8647-525.81-42 Project #102583	Grants/Aid/Contrib/Other Govts	<b>\$ 4,000,000</b>
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BOARD OF COUNTY COMMISSIONERS  
FLAGLER COUNTY, FLORIDA.

BY: \_\_\_\_\_  
Donald T. O'Brien Jr., Chair

ATTEST:

\_\_\_\_\_  
Tom Bexley, Clerk of the Circuit  
Court and Comptroller

APPROVED AS TO FORM:

Sean S. Moylan Digitally signed by Sean S. Moylan  
Date: 2021.05.11 08:41:36 -04'00'  
\_\_\_\_\_  
Sean S. Moylan, Assistant County  
Attorney

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
CONSENT / AGENDA ITEM # 7I**

**SUBJECT:** Consideration of Fiscal Year 2021/2022 Acceptance of the Commission for the Transportation Disadvantaged (CTD) Trip and Equipment Grant in the amount of \$480,437.00 for Public Transportation Operating Funds.

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** The Commission for the Transportation Disadvantaged (CTD) has awarded the Trip and Equipment Grant for providing trips for various medical and professional appointments, as well as to provide transportation for those individuals without viable transportation alternatives.

The total project cost is \$480,438, with the award from CTD in the amount of \$432,344, a local match of \$48,038 and Department of Motor Vehicle voluntary contributions of \$50.00, with an in-kind match of \$6.00.

**FUNDING INFORMATION:** This CTD Trip and Equipment Grant requires a local match of \$48,038. Funding for this grant is currently budgeted as part of the proposed FY 21/22 Budget within Fund 001-1910 – Public Transportation.

**DEPARTMENT CONTACT:** General Services, Heidi Petito, 313-4185

**RECOMMENDATIONS:** Request the Board authorize the County Administrator to execute and submit the application for the Trip and Equipment Grant to the Commission for the Transportation Disadvantaged; also authorize the County Administrator to accept the award of the grant for FY 21/22 in the amount of \$480,438, and authorize the County Administrator to execute the grant agreement and any other documents necessary to implement the grant including agreement amendments, all as approved to legal form by the County Attorney.

**ATTACHMENTS:**

1. Resolution
2. Application

**RESOLUTION 2021 - \_\_\_\_**

**A RESOLUTION OF THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS AUTHORIZING THE FILING OF THE APPLICATION FOR A TRANSPORTATION DISADVANTAGED TRUST FUND GRANT AND, IF AWARDED, AUTHORIZING THE EXECUTION OF THE GRANT AGREEMENT.**

WHEREAS, the Flagler County Board of County Commissioners is eligible to receive a Transportation Disadvantaged Trust Fund Grant and to undertake a transportation disadvantaged service project as authorized by Section 427.0159, Florida Statutes, and Rule 41-2, Florida Administrative Code.

NOW THEREFORE, BE IT RESOLVED BY THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS, FLORIDA;

1. The Flagler County Board of County Commissioners has the authority to file this grant application and enter into this grant agreement.
2. The execution of a Transportation Disadvantaged Trust Fund Grant Agreement with the Florida Commission for the Transportation Disadvantaged for FY 21-22 is approved.
3. The Flagler County Board of County Commissioners authorizes the Flagler County Administrator to sign the application and any and all agreements or contracts which are required in connection with the grant agreement, unless specifically rescinded.
4. The Flagler County Board of County Commissioners authorizes the Flagler County Administrator to sign any and all assurances, reimbursement invoices, warranties, certifications and any other documents which may be required in connection with the agreement or subsequent agreements, unless specifically rescinded.

DULY PASSED AND ADOPTED in open session of the Flagler County Board of County Commissioners, Florida, on this 17th day of May 2021.

FLAGLER COUNTY BOARD OF  
COUNTY COMMISSIONERS

\_\_\_\_\_  
Donald T. O'Brien Jr.  
Chair

Attest:

\_\_\_\_\_  
Tom Bexley  
Clerk of the Circuit Court and Comptroller

Digitally signed by Sean S. Moylan  
Date: 2021.05.11 08:51:42 -0400  
\_\_\_\_\_  
Sean S. Moylan  
Assistant County Attorney





# Transportation Disadvantaged Trip & Equipment Grant Recipient Information

<b>Legal Name</b>	Flagler County Board of County Commissioners		
<b>Federal Employer Identification Number</b>	59-6000605		
<b>Registered Address</b>	1769 E. Moody Blvd. Building 5		
<b>City and State</b>	Bunnell, Florida	<b>Zip Code</b>	32110
<b>Contact Person for this Grant</b>	Tishia Peterson	<b>Phone Number Format 111-111-1111</b>	386-313-4190
<b>E-Mail Address [Required]</b>	tpeterson@flaglercounty.org		
<b>Project Location [County(ies)]</b>	Flagler	<b>Proposed Project Start Date</b>	7/1/2021
<b>Budget Allocation</b>			
	Grant Amount – State Allocation [90%]		\$432,344.00
	Grant Amount – Local Match [10%]		\$48,038.00
	Voluntary Dollar Amount		\$50.00
	Local Match for Voluntary Dollars [In Kind]		\$6.00
	<b>Total Project Amount</b>		<b>\$480,438.00</b>

Capital Equipment Request	
Description of Capital Equipment	\$ Amount
	0.00
<b>Total Project Amount</b>	<b>\$ 0.00</b>

*Local Coordinating Board Review IS Required if Requesting Capital Equipment*

The purchase of capital equipment is included and has been reviewed by the \_\_\_\_\_ Local Coordinating Board.

\_\_\_\_\_  
**Signature of Local Coordinating Board Chairperson**

\_\_\_\_\_  
**Date**

I, the authorized Grantee Representative, hereby certify that the information herein is true and accurate and is submitted in accordance with the 2021-22 Program Manual and Instructions for the Trip & Equipment Grant.

\_\_\_\_\_  
**Signature of Grant Recipient Representative**

\_\_\_\_\_  
**Date**

*SSM*

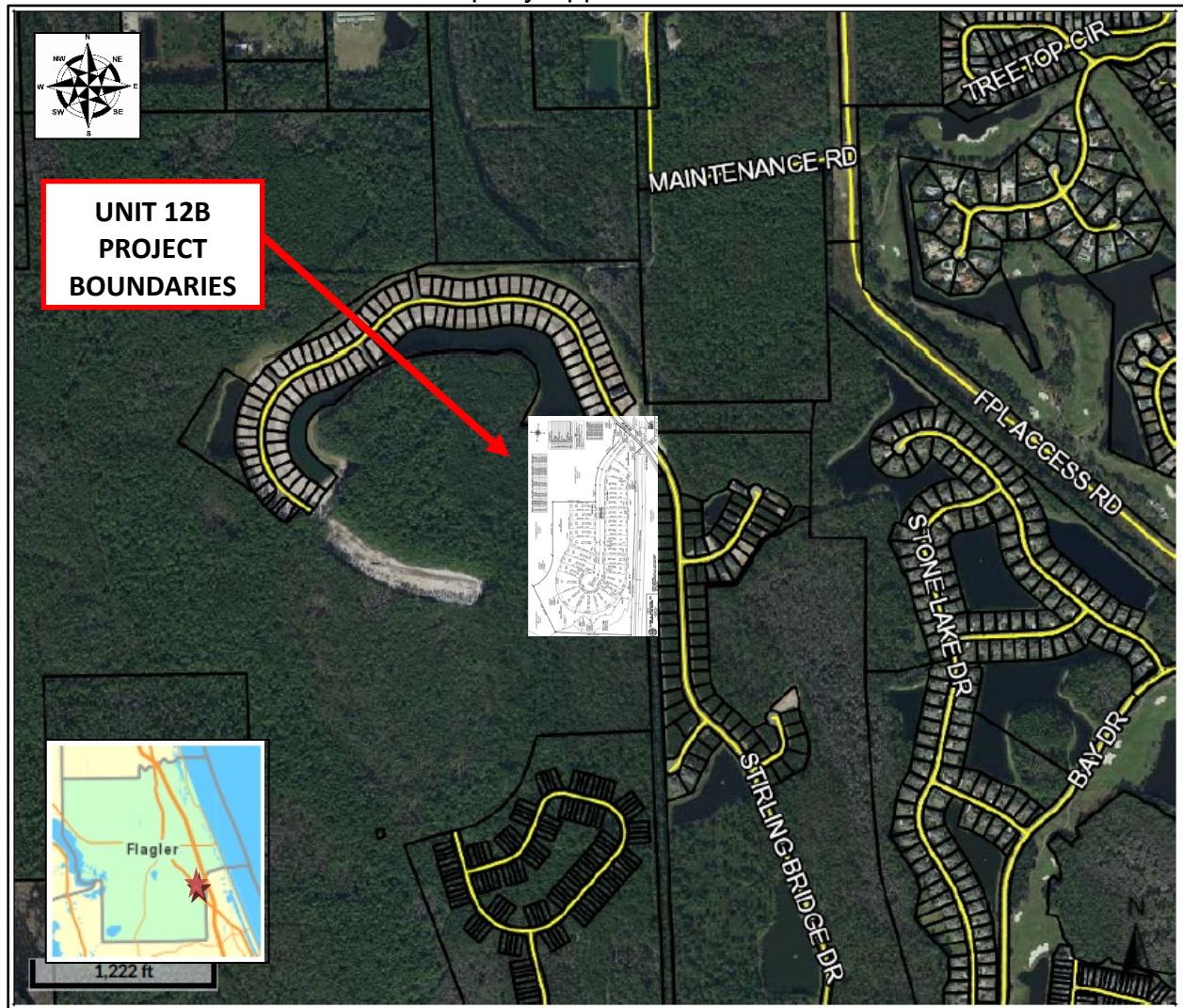
**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
PUBLIC HEARING/AGENDA ITEM #9a**

**SUBJECT: QUASI-JUDICIAL** – Application #3245 – Request for Approval of a PUD (Planned Unit Development) Site Development Plan and Adoption of Specific Development Standards for Plantation Bay Section 2A-F, Unit 12B. Owner: WL Residential Land, LLC; Agent: Jerry K. Finley, P.E., Finley Engineering Group (Project #SDP-000391-2021).

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** This request is quasi-judicial in nature and requires disclosure of ex parte communication. The subject parcel lies South of Old Dixie Highway between U.S. Highway 1 to the West and Interstate-95 to the East:

Property Appraiser Aerial



The agent on behalf of the owner filed an application and related documents with the County on February 9, 2021. This request seeks approval of a Planned Unit Development

(PUD) Site Development Plan (SDP) for Unit 12B. In addition to approving Unit 12B's PUD Site Development Plan, this application also seeks to amend the Specific Development Standards by adopting development standards for Unit 12B; the draft ordinance (attached) will add Unit 12B to the Standards and adopt a new overall map depicting Unit 12B's location.

As proposed, Unit 12B will consist of 25 single-family detached residential lots. The Plantation Bay Development of Regional Impact (DRI) Development Order (D.O.) states at Special Condition 13.4.b that allowable density "within each designated development area is calculated as the acreage of the parcel multiplied by the density range indicated on Map 'H-1'." Based on the 9.95+/- acres described as Unit 12B, a density range of 40 to 60 dwelling units would be permitted. The 25 proposed lots falls below this range, corresponding to a density of 2.5 units per gross acre. The D.O. stipulates a maximum of 3,931 units in Flagler County, with a maximum overall density (inclusive of units in Volusia County) of 5,000 units.

The application for amendment of the PUD Site Development Plan was discussed by the Technical Review Committee on March 17, 2021. The applicant has reviewed staff's comments and will address any outstanding comments through revisions prior to the Board of County Commissioners' meeting in May.

The Planning and Development Board reviewed this request at its April 13, 2021 regular meeting. The Board unanimously recommended approval of this request.

BCC review authority: Section 3.04.03, LDC, requires that the Board of County Commissioners review and approve, modify or deny PUD Site Development Plans following consideration of the Planning and Development Board's recommendations and the factual data presented during the public hearing in support of the request.

This agenda item is:

  X   quasi-judicial, requiring disclosure of ex-parte communication; or  
       legislative, not requiring formal disclosure of ex-parte communication.

Public Notice: Public notice has been provided in accordance with Section 2.07.00 of the LDC.

**DEPARTMENT CONTACT:** Growth Management, Adam Mengel (386) 313-4065

**OPTIONS FOR THE BOARD:** The Board of County Commissioners, based on the Planning and Development Board's public hearing and recommendation, the staff report, and the factual data presented during the public hearing:

1. **Approves** the PUD Site Development Plan for Plantation Bay Section 2A-F, Unit 12B and the amendment to the Specific Development Standards for Plantation Bay Section

2A-F to include standards for Unit 12B as adopted through an ordinance titled similar to:

AN ORDINANCE OF THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS, FLAGLER COUNTY, FLORIDA AMENDING ATTACHMENT #1 PLANTATION BAY, SECTION 2A-F, UNITS 5, 6, 7, 8, 9, AND 13 SUPPLEMENTAL PUD DEVELOPMENT AGREEMENT TO FLAGLER COUNTY ORDINANCE NO. 2007-16, AS AMENDED BY ORDINANCE NO. 2012-01, ORDINANCE NO. 2016-06, ORDINANCE NO. 2018-16, AND ORDINANCE NO. 2019-07; AMENDING THE SUPPLEMENTAL PUD DEVELOPMENT AGREEMENT TO PROVIDE SPECIFIC DEVELOPMENT STANDARDS FOR UNIT 12B; PROVIDING FOR FINDINGS; AND PROVIDING FOR AN EFFECTIVE DATE.

2. **Denies** the PUD Site Development Plan for Plantation Bay Section 2A-F, Unit 12B and the amendment to the Specific Development Standards for Plantation Bay Section 2A-F, Unit 12B.
3. **Continues (Tables)** the PUD Site Development Plan for Plantation Bay Section 2A-F, Unit 12B and the amendment to the Specific Development Standards for Plantation Bay Section 2A-F, Unit 12B to a time and date certain.

**ATTACHMENTS:**

1. Technical Staff Report (TSR)
2. Proposed PUD Site Development Plan for Unit 12B
3. Draft Ordinance
4. Application and supporting documents
5. TRC review comments dated March 17, 2021
6. Planning and Development Board draft April 13, 2021 meeting minutes (in part)
7. Public notice

**APPLICATION #3245  
PUD SITE DEVELOPMENT PLAN FOR  
PLANTATION BAY SECTION 2A-F, UNIT 12B SUBDIVISION AND  
ADOPTION OF SPECIFIC DEVELOPMENT STANDARDS FOR UNIT 12B  
TECHNICAL STAFF REPORT**

LDC Section 3.04.03 provides for minimum PUD Site Development Plan submittal requirements.

**PUD Site Development Plan Specific Review**

The amendment provides for the development of Unit 12B as 25 single-family detached lots. Minimum lot width is set at 50 feet (as measured at the “restrictive” setback line) with a minimum lot size of 6,500 square feet. The specific requirements for the PUD Site Development Plan are listed in subsection 3.04.03.B of the Land Development Code. The revised PUD Site Development Plan meets the County’s requirements.

The minimum building setbacks listed on the site plan and repeated within the amendment to the development standards (to be adopted by ordinance) are:

Front: 20 feet

Side: 5 feet

Side Street: 20 feet

Rear Pool/Screen Room: 5 feet

A minimum rear setback is typically also provided and will likely be added before the site plan and ordinance are provided to the Board of County Commissioners. Staff has added a 20 foot rear setback to the draft ordinance.

**DRI Obligations**

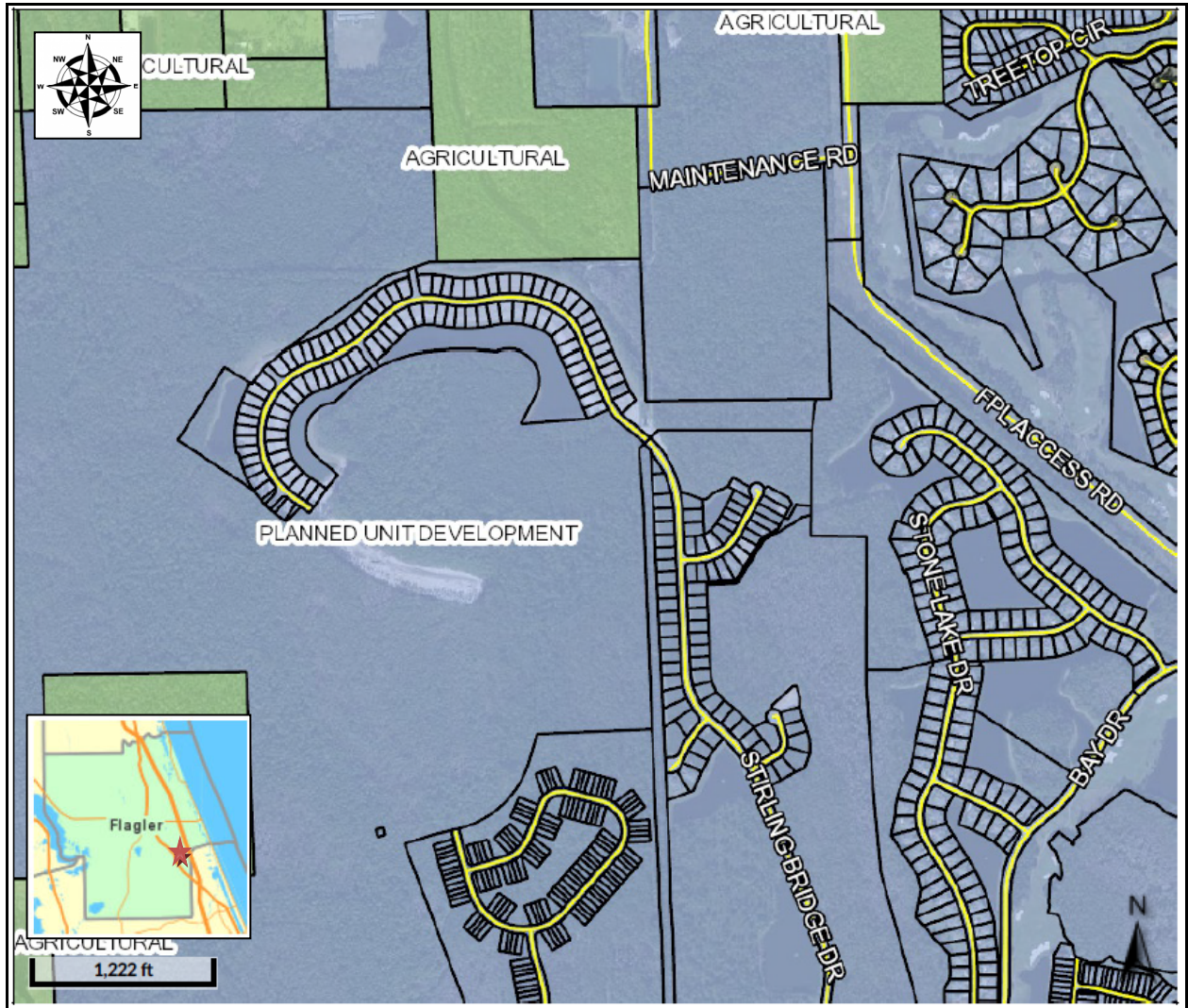
There are no outstanding DRI obligations related to Unit 12B. The construction of Bay Drive extension to connect with U.S. Highway 1 is underway now, and once completed will provide both secondary means of both ordinary and emergency ingress and egress.

The proposed PUD amendment is consistent with the approved Map H (Map H-1, Master Development Plan) bearing a revision date of November 30, 2017 and a submittal date of February 10, 2021 for Unit 12B. This portion of the DRI is designated as Low Density Residential (4-6 dwelling units per acre) with a maximum potential buildout of 60 units based on the 9.95+/- acres allocated to Unit 12B.

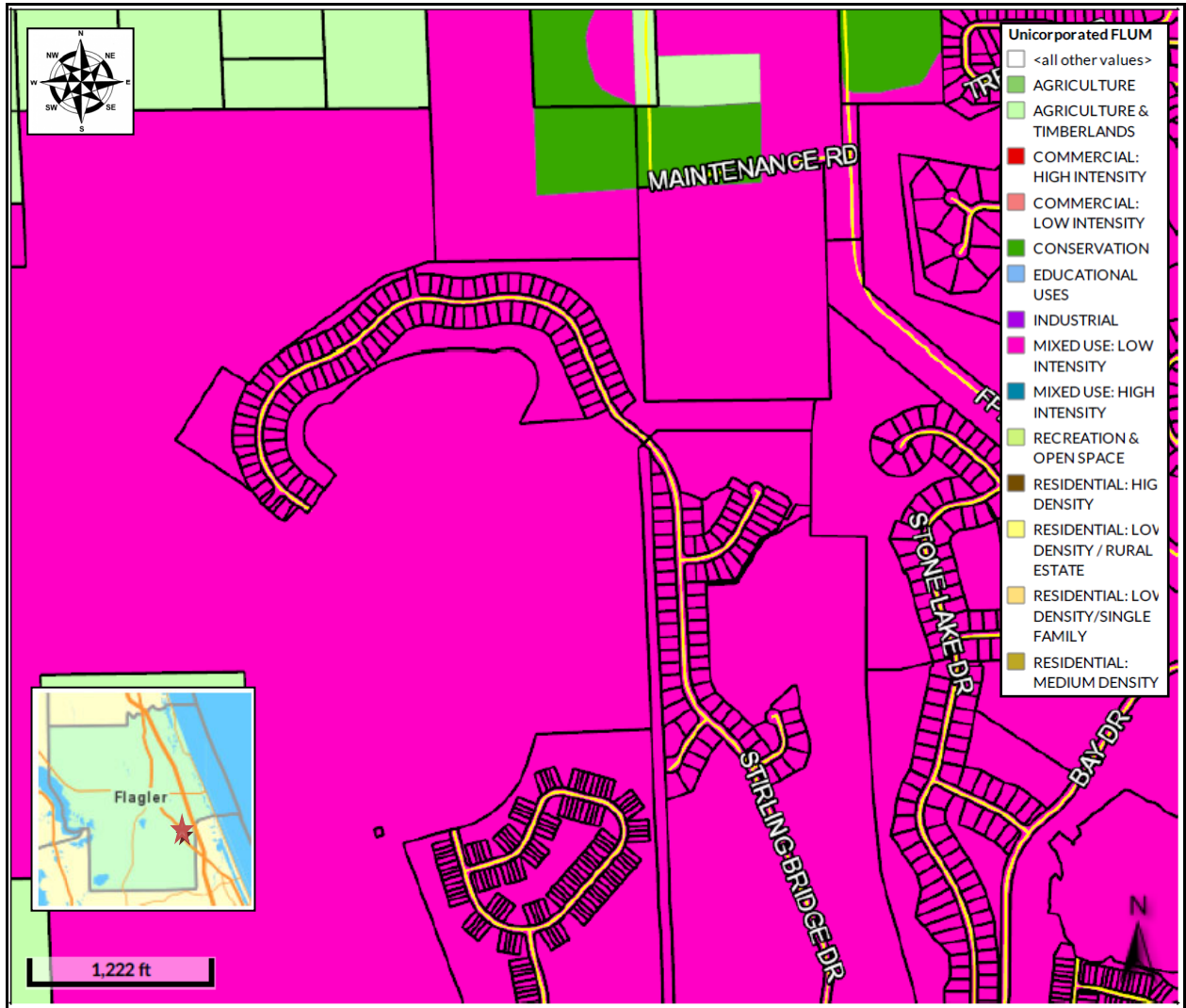
**Adoption of Specific Development Standards**

Adoption of the Specific Development Standards for the most part conform to other units recently platted within the Plantation Bay Development of Regional Impact (DRI). Setbacks have been reduced where needed to reflect the current lot product and to accommodate the smaller lot sizes. The attached ordinance (Attachment #3) reflects these changes.

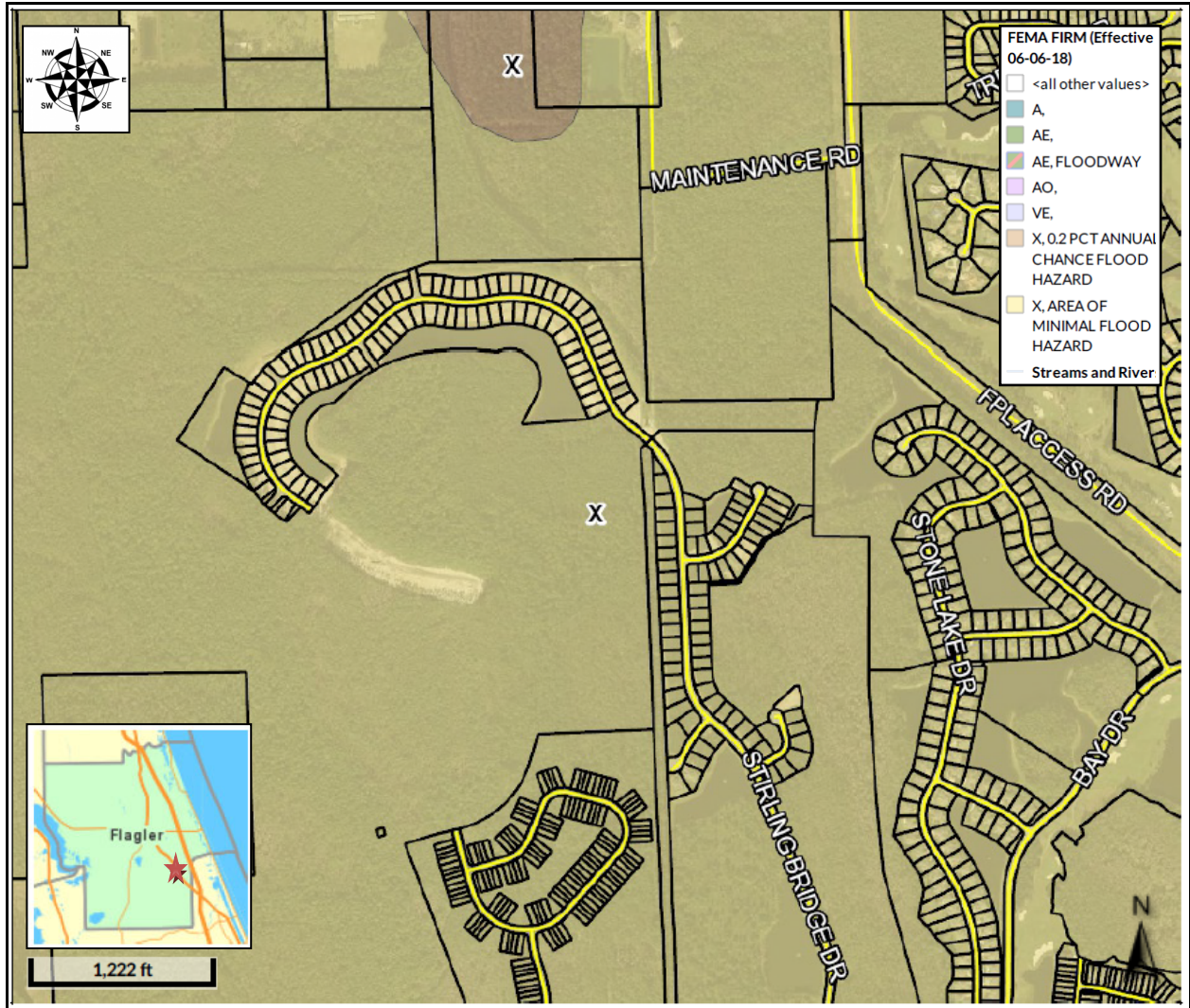
# Official Zoning Map



# Future Land Use Map

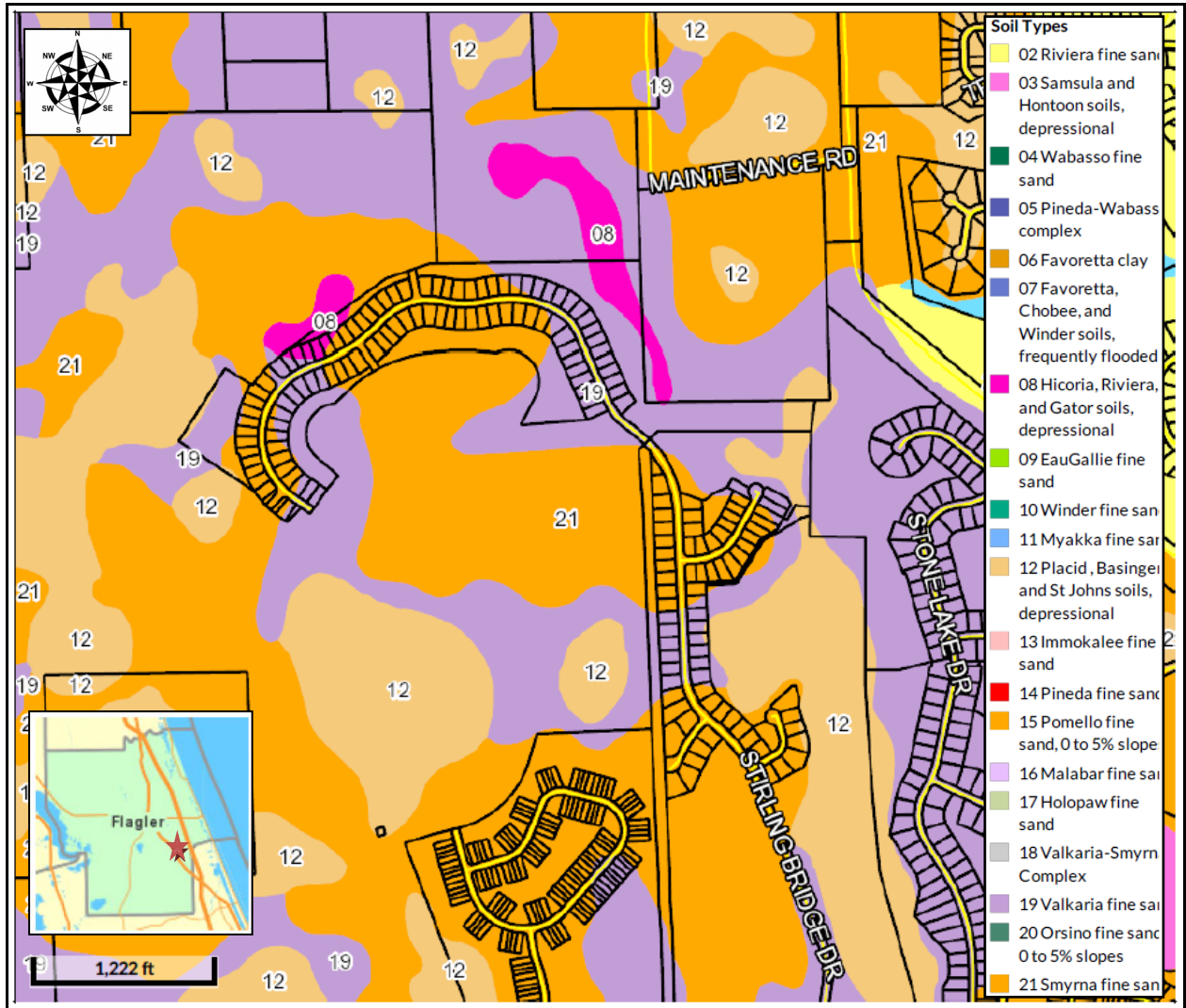


# Flood Zone Map

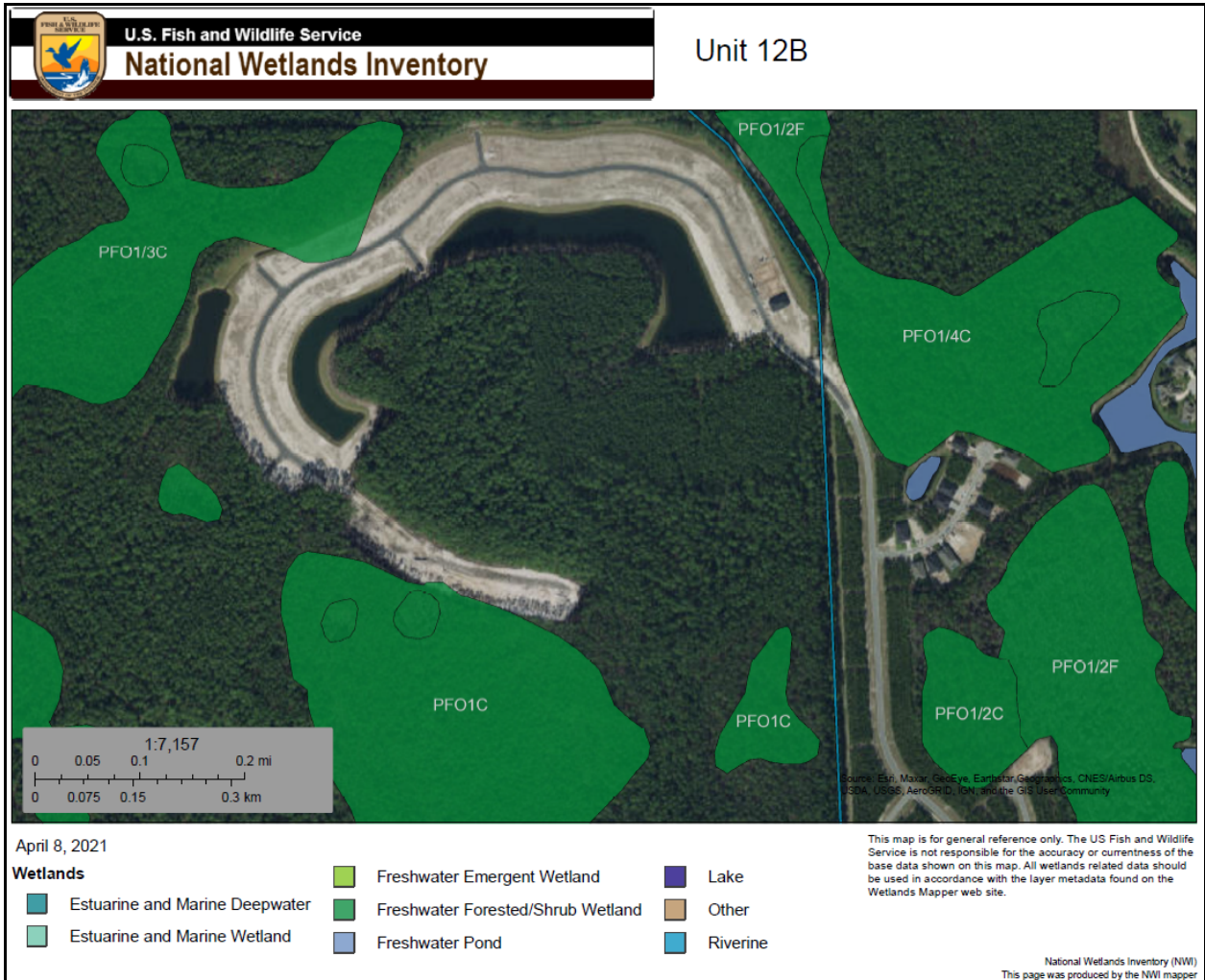




# Soils Map



# Wetlands Map



# PLANTATION BAY SECTION 2 A-F, UNIT 12B PUD SITE PLAN

## DATA TABLE

OWNER: WL RESIDENTIAL LAND, LLC, BY HOSSEINI VENTURES, LLP,  
BY WEST DUVAL INVESTMENTS, INC.

2379 BEVILLE ROAD  
DAYTONA BEACH, FLORIDA 32119  
386.236.4160

ZONING: PLANTATION BAY PUD / DRI

SURROUNDING LAND USES: PLANTATION BAY PUD/DRI

MAINTENANCE OF ROADS AND COMMON AREAS: BY TOMOKA COMMUNITY DEVELOPMENT DISTRICT

FIRE PROTECTION: FIRE HYDRANTS SERVED BY FLORIDA GOVERNMENT UTILITY AGENCY

WATER AND SEWER: SERVICE PROVIDED BY FLORIDA GOVERNMENT UTILITY AGENCY

COVENANTS AND RESTRICTIONS: EXISTING PLANTATION BAY DOCUMENTS

BUILDING HEIGHT: 35 FEET MAXIMUM

## BUILDING SETBACKS

FRONT: 20 FEET  
SIDE: 5 FEET  
SIDE STREET: 20 FEET  
REAR POOL/SCREEN ROOM: 5 FEET

## LOT REQUIREMENTS

MINIMUM LOT SIZE: 6,500 S.F.  
MINIMUM LOT WIDTH: 50 FEET (MEASURED AT RESTRICTIVE SETBACK LINE)

THIS IS NOT AN AGE RESTRICTED COMMUNITY

## DRI ANALYSIS - MAP H-1 USES

USE UNIT 12B

DEVELOPMENT AREA..... 9.953 ACRES

(MEDIUM DENSITY) 60 MAXIMUM ALLOWABLE UNITS  
4-6 UNITS/AC

## PROPOSED PLANS

PLAT AREA 9.95 ACRES  
LOT AREA 4.82 ACRES

(ACRES)

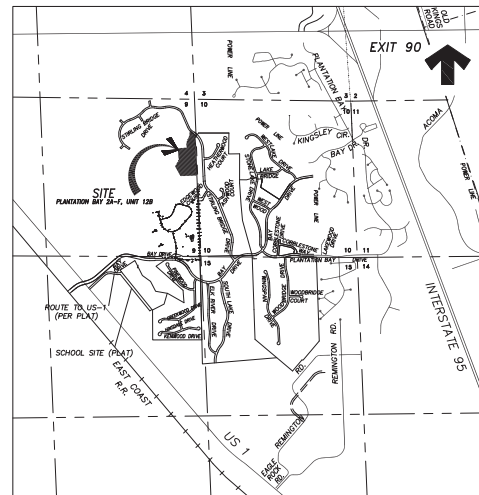
LAKE/WETLANDS 4.02  
TRANSPORTATION 1.11  
RESIDENTIAL 4.82

TOTAL UNITS = 25 LOTS (SINGLE FAMILY)

## GENERAL NOTES

- NO CONSTRUCTION TRAFFIC ALLOWED IN UNDESIGNATED AREAS.
- ALL ROADWAY AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE FLAGLER COUNTY DEVELOPMENT AND SUBDIVISION REGULATIONS OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SUBDIVISION REGULATIONS OR FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN MEMORANDUM 06036 SPECIFICATIONS.
- PIPE SHALL BE PVC CASTN 30334R OR REINFORCED CONCRETE PIPE (CLASS III). ALL PIPE SHALL MEET ASTM, AASHTO, AND FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN MEMORANDUM 06036 SPECIFICATIONS.
- WATER-TIGHT, ANNUAL BANDING OF CORRUGATED METAL PIPE JOINTS SHALL BE REQUIRED.
- ALL UNDERGROUND UTILITIES, ETC. SHALL BE IN PLACE PRIOR TO SURGRADE COMPACTION AND ROADWAY CONSTRUCTION.
- WHERE HARBOR IS ENCOUNTERED WITHIN SWALES, IT SHALL BE REMOVED FOR A WIDTH OF 2 FEET AT THE INVERT AND REPLACED WITH A GRANULAR MATERIAL.
- IF MUD OR UNSUITABLE MATERIAL IS ENCOUNTERED, IT SHALL BE COMPLETELY REMOVED FROM THE CONTAINING, A DISTANCE OF 10 FEET BEYOND THE EDGE OF PAVEMENT AND BACKFILLED WITH A GRANULAR MATERIAL.
- LOCATIONS OF DRAINAGE STRUCTURES SHALL GOVERN AND PIPE LENGTHS MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.
- ALL SIGNING AND PAVEMENT MARKING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, FLORIDA DEPARTMENT OF TRANSPORTATION AND FLAGLER COUNTY SPECIFICATIONS.
- BEFORE STARTING WORK, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND REQUEST LOCATION OF EXISTING UNDERGROUND SERVICES.
- WHERE NEW UTILITIES CROSS EXISTING UTILITIES, THE CONTRACTOR SHALL FIELD VERIFY CLEARANCE PRIOR TO INSTALLATION OF ANY PORTION OF NEW UTILITY. IF UTILITIES WOULD CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF NEW UTILITY.
- BENCH MARK: (ELEVATIONS HEREON REFER TO N. G.V.D. 1929 DATUM).
- CONTRACTOR WILL CONSULT WITH OWNER OR OWNERS' REPRESENTATIVE PRIOR TO ANY CLEARING, GRUBBING OR SWALE CONSTRUCTION FOR VEGETATION TO REMAIN, BE TRANSPLANTED OR REMOVED.
- PRIORITY OF CONSTRUCTION SCHEDULING WILL BE DETERMINED BY THE OWNER. TECHNIQUES AND METHODOLOGIES ARE RESPONSIBILITY OF THE CONTRACTOR.
- ANY VARIATION TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL EXCESS EXCAVATION WILL BE NEATLY STOCKPILED ON SITE IN A LOCATION DETERMINED BY THE OWNER.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE LINES AND GRADES OF ALL DESIGNATED SWALE AREAS UNTIL FINAL VEGETATION IS ESTABLISHED.
- ALL TESTING WILL BE PAID FOR AND PERFORMED BY THE OWNER. ALL TESTING WILL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- CONSTRUCTION TO UTILIZE BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND PRESERVE SURROUNDING WATER QUALITY (I.E. HAYBALES, TURBIDITY SCREENS).
- ALL WATER AND SEWER CONSTRUCTION SHALL COMPLY WITH FLAGLER COUNTY REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH NPDES PERMIT REQUIREMENTS AND MAINTAINING A WEEKLY INSPECTION LOG IN ACCORDANCE WITH PERMIT.
- SOB ALL SLOPES WITHIN 30 DAYS OF FINAL GRADING.

CANALS WITHIN THE LIMITS OF THIS PROJECT ARE TO BE MAINTAINED WITHIN THIS PROJECT



VICINITY MAP

PROJECT AREA: 9.95 ACRES

## LOT AREA TABLE

Lot	Area (sq ft)
1	18,001
2	8,921
3	6,500
4	7,150
5	7,150
6	6,500
7	6,500
8	7,241
9	7,150
10	7,150
11	6,989
12	8,988
13	7,182
14	10,920
15	10,920
16	12,832
17	12,832
18	7,547
19	9,296
20	9,226
21	10,908
22	7,200
23	7,200
24	7,200
25	7,200

PRIOR TO PROJECT COMPLETION AND THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, AN "AS-BUILT" SURVEY AND AN ENGINEER'S CERTIFICATION OF COMPLETION MUST BE COMPLETED ON FORM E-1 FOUND WITHIN THE FLAGLER COUNTY CERTIFICATIONS FOR PLATS AND STANDARD FORMS MANUAL.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JEFFRY K. FINLEY, P.E., STATE OF FLORIDA PROFESSIONAL ENGINEER, LICENSE # 28909 ON THE DATE INDICATED. UNLESS A DIGITAL SIGNATURE PRINTED COPIES OF THIS DOCUMENT WITHOUT A HAND WRITTEN SIGNATURE ARE NOT CONSIDERED SIGNED AND SEALED. THE ELECTRONIC SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.



SHEET TITLE

COVER SHEET

SHEET

1

PROJECT NUMBER  
FE04 2021

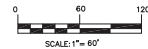
FINLEY ENGINEERING SOLUTIONS, INC.  
CERTIFICATE OF AUTHORIZATION NUMBER 31891  
E-MAIL: JFINLEY@FINLEYENGINEERS.COM

3955 SO. NOVA ROAD, SUITE B-34  
PORT ORANGE, FL 32127  
(386) 759-8676

PLANTATION BAY  
SECTION 2A-F, UNIT 12B  
PUD SITE PLAN

## INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL DEVELOPMENT PLAN
3	DRI MASTER PLAN



NO.	DATE	DESCRIPTION
1	2/20/21	SUBMIT TO COUNTY

3959 SO NOVA ROAD, SUITE B-34  
 PORT ORANGE, FLORIDA 32127  
 (386)756-8876  
 CERTIFICATE OF AUTHORIZATION NUMBER 31991  
 JFINLEY@FINLEYENGINEERS.COM

**FINLEY**  
**ENGINEERING**  
**SOLUTIONS, INC.**

**WESTLAKE UNIT 12B**  
 PLANTATION BAY SECTION 2A-F, UNIT 12B  
 SITE PLAN IN A PUD

PROJECT NUMBER  
 FE04 1251



THIS ITEM HAS BEEN ELECTRONICALLY  
 SIGNED AND SEALED BY  
 JERRY K. FINLEY, P.E.,  
 STATE OF FLORIDA PROFESSIONAL  
 ENGINEER, LICENSE # 28909  
 ON THE DATE INDICATED  
 USING A DIGITAL SIGNATURE.  
 PRINTED COPIES OF THIS DOCUMENT  
 WITHOUT A HAND WRITTEN SIGNATURE  
 ARE NOT CONSIDERED SIGNED AND  
 SEALED. THE ELECTRONIC SIGNATURE MUST  
 BE VERIFIED ON ELECTRONIC COPIES.

**SHEET TITLE**  
**OVERALL**  
**PLAN**

**SHEET**  
**2**

## ORDINANCE NO. 2021 - \_\_\_\_

**AN ORDINANCE OF THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS, FLAGLER COUNTY, FLORIDA AMENDING ATTACHMENT #1 PLANTATION BAY, SECTION 2A-F, UNITS 5, 6, 7, 8, 9, AND 13 SUPPLEMENTAL PUD DEVELOPMENT AGREEMENT TO FLAGLER COUNTY ORDINANCE NO. 2007-16, AS AMENDED BY ORDINANCE NO. 2012-01, ORDINANCE NO. 2016-06, ORDINANCE NO. 2018-16, AND ORDINANCE NO. 2019-07; AMENDING THE SUPPLEMENTAL PUD DEVELOPMENT AGREEMENT TO PROVIDE SPECIFIC DEVELOPMENT STANDARDS FOR UNIT 12B; PROVIDING FOR FINDINGS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Intervest at Plantation Bay (hereafter “Applicant”) is the owner and developer of the Plantation Bay Development of Regional Impact (DRI), consisting of multiple parcels within Flagler and Volusia Counties; and

**WHEREAS**, the Applicant’s parcels within Flagler County are designated as Mixed Use: Low Intensity, Low/Medium Density on the Flagler County Future Land Use Map; and

**WHEREAS**, the original Development Order (D.O.) for Plantation Bay classified Plantation Bay as a Planned Unit Development (PUD); and

**WHEREAS**, the original Development Order did not establish development criteria that is a requirement for the implementation and development of a PUD; and

**WHEREAS**, the development criteria for the implementation of Plantation Bay, Section A-F Units 5, 6, 7, 8 and 9 were initially adopted on November 19, 2007 by Flagler County Ordinance No. 2007-16; and

**WHEREAS**, the development criteria were subsequently amended, specific to reducing Unit 5’s minimum rear pool/screenroom setback for Parcel “J” on March 5, 2012 by Flagler County Ordinance No. 2012-01; and

**WHEREAS**, the development criteria were subsequently amended, specific to the minimum rear yard setback for pools/screenrooms within Units 5, 6 and 7 of Plantation Bay, Section 2A-F, and by amending Unit 7 to add single-family detached lots and development criteria for this lot type within Unit 7, all through adoption of Flagler County Ordinance No. 2016-06 on June 6, 2016; and

**WHEREAS**, the development criteria were subsequently amended, specific to Unit 8 for consistency with the Unit 8 final plat on October 15, 2018 by Flagler County Ordinance No. 2018-16; and

**WHEREAS**, the development criteria were subsequently amended specific to Unit 13 on November 4, 2019 through adoption of Flagler County Ordinance No. 2019-07; and

**WHEREAS**, the County and the Applicant mutually desire to establish the development criteria through amendment of the attached Agreement and Exhibits for the purposes of site plan and plat preparation and commencement of construction in the Plantation Bay Section 2A-F, Unit 12B Subdivision; and

**WHEREAS**, the Planning and Development Board held a public hearing on April 13, 2021 to consider this amendment and unanimously recommended approval of the ordinance; and

**WHEREAS**, the Board of County Commissioners held a public hearing on May 17, 2021 to consider this request and approved this ordinance and amendment; and

**WHEREAS**, public notice of this action has been provided in accordance with Chapter 125.66, F.S., and Section 2.07.00, Flagler County Land Development Code.

**NOW, THEREFORE, BE IT ORDAINED BY THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS:**

**Section 1. FINDINGS**

- A. The Board of County Commissioners, pursuant Section 3.04.04 of the Flagler County Land Development Code, finds as follows:
1. The existing PUD does not adversely affect the orderly development of Flagler County and complies with applicable Comprehensive Plan goals, objectives and policies; and
  2. The existing PUD does not adversely affect the health and safety of residents or workers in the area and will not be detrimental to the use of adjacent properties or the general neighborhood; and
  3. The existing PUD, while consistent with the adopted DRI D.O. and Comprehensive Plan, does not include specific development standards; and
  4. The subject property is located within Plantation Bay and includes seven (7) predominantly residential subdivisions generally depicted at Exhibit "A" of the attached Supplemental Development Agreement being Attachment 1 to this Ordinance.
  5. This Ordinance, together with the Attachments and Exhibits thereto, shall constitute the entire Agreement between the Applicant and the County.

**Section 2. ADOPTION**

- A. Development within the boundaries of the subject property shall take place in accord with the Plantation Bay DRI D.O., the Flagler County Land Development Code as may be modified or amended and the attached Supplemental PUD Development Agreement being Attachment 1 to this Ordinance.

- B. The applicant shall signify its acceptance of this Supplemental PUD Development Agreement by filing its written acceptance with the Clerk of the Circuit Court within thirty (30) days.

**Section 3. EFFECTIVE DATE**

This Ordinance shall take effect upon Official Acknowledgement by the Secretary of State that the Ordinance has been filed.

**PASSED AND GRANTED BY THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY, FLORIDA THIS 17TH DAY OF MAY, 2021.**

**BOARD OF COUNTY COMMISSIONERS  
OF FLAGLER COUNTY, FLORIDA**

\_\_\_\_\_  
Donald T. O'Brien Jr., Chair

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Tom Bexley, Clerk of the Circuit  
Court and Comptroller

\_\_\_\_\_  
Albert J. Hadeed, County Attorney

**Attachment #1**  
**PLANTATION BAY SECTION 2A-F**  
**UNITS 5, 6, 7, 8, 9, 12B, AND 13**  
**AMENDED AND RESTATED SUPPLEMENTAL PUD DEVELOPMENT AGREEMENT**

**THIS AMENDED AND RESTATED SUPPLEMENTAL PUD DEVELOPMENT AGREEMENT** (“Agreement”) is entered into as of this \_\_\_\_\_ day of May, 2021 by and between Intervest at Plantation Bay, a Florida general partnership (“Applicant”) and Flagler County, a political subdivision of the State of Florida.

**RECITALS**

**WHEREAS**, Applicant is the owner and developer of the Plantation Bay Development of Regional Impact , consisting of multiple parcels within Flagler and Volusia Counties; and

**WHEREAS**, the Applicant’s parcels within Flagler County are designated as Mixed Use: Low Intensity, Low/Medium Density on the Flagler County Future Land Use Map; and

**WHEREAS**, the original Development Order (D.O.) for Plantation Bay classified Plantation Bay as a Planned Unit Development; and

**WHEREAS**, the D.O. did not establish development criteria that is a requirement for the implementation of a PUD; and

**WHEREAS**, in cases such as this Flagler County formerly substituted the Plat Addendum for the Development Agreement however, plat addenda are no longer utilized; and

**WHEREAS**, subsequent action by the Board of County Commissioners provided approval of PUD Site Development Plans for Plantation Bay Section 2A-F, Units 5, 6, 7, 8, 9, 12B, and 13 but did not consistently establish development criteria; and

**WHEREAS**, development criteria was subsequently established through a Supplemental PUD Development Agreement adopted by the County through Ordinance No.



2007-16, as amended by Ordinance No. 2012-01, Ordinance No. 2016-06, Ordinance No. 2018-16, and Ordinance No. 2019-07; and

**WHEREAS**, the County and the Applicant mutually desire to amend and supplement the previously established development criteria via this Agreement for the purposes of site plan and plat preparation and commencement of construction in the Plantation Bay Section 2A-F, Unit 5, 6, 7, 8, 9, 12B, and 13 Subdivisions; and

**WHEREAS**, upon the execution of this Agreement by the County and the Applicant, the prior Supplemental PUD Development Agreement shall be deemed to be superseded and replaced in its entirety by this Agreement.

#### 1. Introduction

The purpose of this Agreement is to establish development criteria within Plantation Bay Section 2A-F Westlake Units 5, 6, 7, 8, 9, 12B, and 13 (the “Units”) and shown on **Exhibit A** attached hereto (the “Property”). The Property is owned by Applicant (also referred to herein as “Owner” and “Developer”). For purposes of this application, the Owner’s address is 2379 Beville Road, Daytona Beach, Florida 32119.

All building codes and applicable land development regulations of Flagler County (the “County”), and the Plantation Bay Development of Regional Impact (DRI) will be applicable to the Units unless otherwise stated herein. Applicant agrees that no final plat approval or building permits will be approved until Applicant is in compliance with all of the conditions set forth in Resolution No. 2004-125 (the Plantation Bay DRI Development Order). The Plantation Bay DRI Development Order shall prevail in case of conflict with County regulations.

#### 2. Project Description

The Project consists of seven (7) predominantly residential subdivision units within the Plantation Bay DRI. Each subdivision includes infrastructure consisting of underground utilities including water, sanitary sewer, electric, cable, and telephone, along with paved streets and an interconnecting sidewalk/bike path system linking each of the Units with shared amenity areas. Individual amenity areas, open space, and wetland parcels vary in

the Project, with each Unit typically including substantial land areas reserved for these uses.

3. Development Plan and Land Development Code Applicability

The General Development Standards applicable within the Project area are included on **Exhibit B**, while the Specific Development Standards applicable to each Unit are included on **Exhibit C**. Each PUD Site Development Plan covering the Units and which was previously approved by the Board of County Commissioners is hereby incorporated by reference in this Agreement.

4. No Further Modification of PUD Site Development Plans/Conflicts

Except as specifically set forth in this Agreement, the PUD Site Development Plans covering the Units shall remain in full force and effect and shall not be modified or amended. To the extent that this Agreement is inconsistent with the PUD Site Development Plans or other development agreement governing the Units, the provisions of the Development Order for the Plantation Bay DRI shall control and if not addressed in the Development Order, then the PUD Site Development Plans shall control.

**BOARD OF COUNTY COMMISSIONERS  
OF FLAGLER COUNTY, FLORIDA**

\_\_\_\_\_  
Donald O'Brien, Jr., Chair

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Tom Bexley, Clerk of the Circuit  
Court and Comptroller

\_\_\_\_\_  
Albert J. Hadeed, County Attorney

**OWNER'S /APPLICANT'S CONSENT AND COVENANT**

COMES NOW, the Owner on behalf of itself and its successors, assigns and transferees of any nature whatsoever, and consents to and agrees with the covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Amended and Restated Supplemental PUD Development Agreement.

Interinvest at Plantation Bay

By: Plan-Mor, Inc., its Managing General Partner

\_\_\_\_\_  
By: Morteza Hosseini-Kargar

STATE OF FLORIDA  
COUNTY OF VOLUSIA

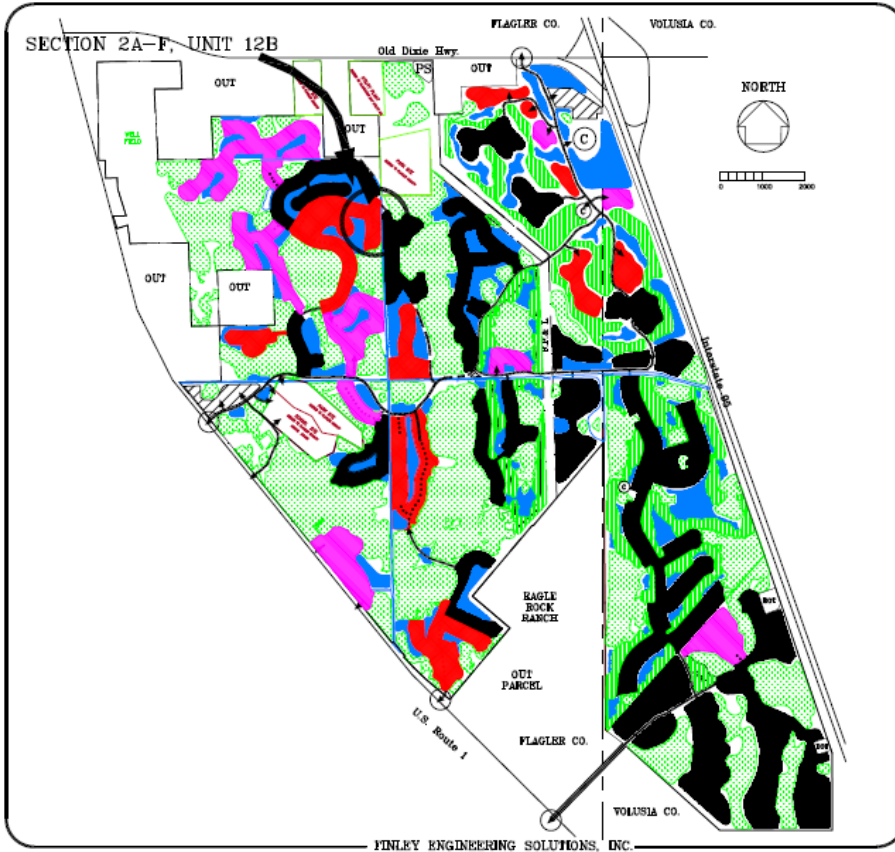
The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of May, 2021 by Morteza Hosseini-Kargar who is personally known to me or have produced a driver's license as identification

\_\_\_\_\_  
Notary Public

My commission expires:

# EXHIBIT A PROJECT AREA

## PLANTATION BAY SECTION 2A-F, UNIT 12B



MAP H - 1  
MASTER  
DEVELOPMENT PLAN

PLANTATION BAY  
REVISED  
NOVEMBER 30, 2017

UNIT 12B SITE PLAN IN A PUD - FEBRUARY 10, 2021

**LEGEND:**

	Plantation Bay Property Line
	Flagler/Volusia County Line
	Florida Power & Light Electrical Easement
	Single Family Residential (1-4du/ac)
	Low Density Residential (4-6du/ac)
	Medium Density Residential (6-8du/ac)
	Commercial
	Golf Course / Recreation
	Water
	Environmentally Significant Area
	Open Space
	Clubs (Golf, Tennis)
	Public Safety (Police, Fire)
	Land Taken by FDOT for I-95 Widening
	Collector Road Access Point
	Collector Road
	Subdivision Street

**EXHIBIT B**  
**GENERAL DEVELOPMENT STANDARDS**

1. This Supplemental PUD Development Agreement is applicable to Units 5, 6, 7, 8, 9, 12B, and 13 (Units), all lying within Plantation Bay Section 2A-F.
2. The Developer of the Units subject to this Supplemental PUD Development Agreement is Intervest at Plantation Bay, a Florida General Partnership.
3. Unless specifically dedicated otherwise by accepted and recorded final plat, the maintenance of roads and common areas will be the responsibility of the Tomoka Community Development District (CDD) and/or the Westlake at Plantation Bay Property Owners Association, Inc..
4. Provision of water for fire protection within the Units will be the responsibility of Flagler County operating as the Plantation Bay Utility Company.
5. Nothing contained herein shall render a covenant and restriction otherwise lawfully imposed and recorded within the Public Records of Flagler County, Florida to be null and void. The County's limitation in enforcement of development standards shall be limited to those in the Plantation Bay Development of Regional Impact (DRI) Development Order (D.O.), the respective Unit PUD Site Development Plan, this Supplemental PUD Development Agreement, or the Flagler County Land Development Code. In instances of conflict between the various standards, those within the DRI D.O. shall take precedence.
6. The PUD Site Development Plan (SDP) for each Unit depicts the general layout of the subdivision plan. The exact location of structures, lot lines, roadway, internal landscape buffers, drainage facilities and other improvements shown on the Site Development Plan may be modified during review of the final site construction plans and plat(s).
7. Adjustments to an approved SDP are anticipated to occur during the final construction plan and plat review processes. Non-substantial revisions which meet the intent and purpose of the County's Comprehensive Plan and Land Development Code may be approved, as long as the substantial integrity of the original SDP and the development standards contained herein are maintained for each Unit. Any modification to a SDP that increases the intensity or types of development or uses, reduces the

**EXHIBIT B**  
**GENERAL DEVELOPMENT STANDARDS**

amount or type of open space, or decreases the size of the buffer, within any Unit shall require the approval of the County Commission following the review and recommendation of the County Planning and Development Board.

8. Unless otherwise specifically modified by the terms of the Plantation Bay Development of Regional Impact (DRI) Development Order (D.O.), the respective Unit PUD Site Development Plan, or this Supplemental PUD Development Agreement, development of individual lots will comply with all applicable requirements of the Flagler County Land Development Code (LDC). These requirements include, but shall not be limited to, fence height, minimum landscaping requirements, and tree protection. Variance requests shall use the County's existing variance procedures as provided for in the LDC.
  
9. After the parties have fully executed the Supplemental Development Agreement and prior to the completion of subdivision improvements in any Unit, the County shall issue building permits to Owner for the construction of as many as six (6) model homes/temporary sales offices in any single Unit for a time period not to exceed four (4) years from the date of issuance of a certificate of occupancy (C.O.), unless such time period is extended by the County Commission, provided however that such permits comply with applicable building codes and this Agreement. The Developer, through this Supplemental PUD Development Agreement, acknowledges and agrees that the County shall not issue a C.O. for any residence, including model homes, completed in any Unit until such time as the subdivision improvements have been completed and approved by the County. Sidewalks required on lots shall be allowed to be constructed at the time of house construction. Furthermore, the developer hereby covenants and agrees that it shall not permit any party to occupy any completed residence located on the property nor shall the developer allow any party to place any furniture or other personal belongings within such completed residence until and unless the subdivision improvements have been fully and finally completed and a C.O. has been issued with respect to said residence. Once the subdivision improvements have been fully and finally completed and approved by the County, all appropriate parties shall be entitled to obtain building permits for purposes of constructing a residence on any lot located within any Unit.

**EXHIBIT B**  
**GENERAL DEVELOPMENT STANDARDS**

10. Entry features within a Unit, to include, but not be limited to, hardscape improvements consisting of signage and decorative pavers, shall be generally constructed as proposed in Units where these features have been included as part of the PUD Site Development Plan submittal.
  
11. Street lighting shall be generally constructed as proposed in Units where lighting has been included as part of the PUD Site Development Plan submittal provided however that the exact location of street lighting fixtures shall be field adjusted based upon the Florida Power and Light (FPL) Electric Distribution Plan.

**EXHIBIT C  
 SPECIFIC DEVELOPMENT STANDARDS  
 PLANTATION BAY  
 SECTION 2A-F – WESTLAKE  
 UNIT 5**

BOCC PUD Site Development Plan Approval: August 15, 2005

Development Thresholds:

Total project acreage:	148.89
Gross residential acreage:	48.4
Dwelling Units (Single Family Detached):	140
Density (Units per Acre):	2.9

*Note: Unit 5 to consist of Low Density Residential (4-6 du/ac) per Map H-1, Master Development Plan for the Plantation Bay DRI revised November 30, 2017.*

Site Plan Details:

Revision Date:	August 3, 2005
Received by Planning:	August 3, 2005

*Note: Site Plan revised per BOCC action on August 15, 2005.*

Minimum Setbacks:

Front:	25 feet
Side:	5 feet
Side Street (a/k/a street side or side corner):	20 feet
Rear:	20 feet
Rear Pool Deck/Screenroom:	5 feet
Rear Pool Deck/Screenroom (Parcel "J"):	15 feet

Other Criteria:

Maximum Height:	3 stories
Minimum Lot Size:	
Lots 1 through 76	8,100 s.f.
Lots 77 through 140	9,300 s.f.
Minimum Lot Width:	
Lots 1 through 76	60 feet
Lots 77 through 140	73 feet

*Note: Minimum lot width determined at front setback line.*

Unit 5 Specific Developer Commitments:

- Construction of six foot wide sidewalk and bike path along north side of Bay Drive and along east side of Southlake Drive.
- Construction of five foot wide concrete sidewalk on west side of Elk River Drive.
- Entry features and signage to be constructed consistent with Sheets 4 through 6 of the PUD Site Development Plan bearing revision date of August 3, 2005.



**EXHIBIT C  
SPECIFIC DEVELOPMENT STANDARDS  
PLANTATION BAY  
SECTION 2A-F – WESTLAKE  
UNIT 6**

BOCC PUD Site Development Plan Approval: August 15, 2005

Development Thresholds:

Total project acreage:	133.68
Gross residential acreage:	24.7
Dwelling Units (Single Family Detached):	73
Density (Units per Acre):	3.0

*Note: Unit 6 to consist of Single Family Residential (1-4 du/ac) per Map H-1, Master Development Plan for the Plantation Bay DRI revised November 30, 2017.*

Site Plan Details:

Revision Date:	August 3, 2005
Received by Planning:	August 3, 2005

*Note: Site Plan revised per BOCC action on August 15, 2005.*

Lots 1 through 23 and 46 through 73

Minimum Setbacks:

Front:	25 feet
Side:	7.5 feet
Side Street (a/k/a street side or side corner):	20 feet
Rear:	20 feet
Rear Pool Deck/Screenroom:	5 feet

Other Criteria:

Maximum Height:	3 stories
Minimum Lot Size:	10,400 s.f.
Minimum Lot Width:	80 feet

*Note: Minimum lot width determined at front setback line.*

Lots 24 through 45

Minimum Setbacks:

Front:	25 feet
Side:	5 feet
Side Street (a/k/a street side or side corner):	20 feet
Rear:	20 feet
Rear Pool Deck/Screenroom:	5 feet

Other Criteria:

Maximum Height:	3 stories
Minimum Lot Size:	7,500 s.f.
Minimum Lot Width:	60 feet

*Note: Minimum lot width determined at front setback line.*

Unit 6 Specific Developer Commitments:

- Construction of sidewalk/bike path along west side of Stirling Bridge Drive.
- Clubhouse development to undergo Flagler County PUD Site Development Plan review and approval consistent with Section 12.3 of the DRI D.O. and the Flagler County LDC.

**EXHIBIT C  
 SPECIFIC DEVELOPMENT STANDARDS  
 PLANTATION BAY  
 SECTION 2A-F – WESTLAKE  
 UNIT 7**

BOCC PUD Site Development Plan Approval: June 6, 2016

Development Thresholds:

Total project acreage:	96.38
Gross residential acreage:	35.2
Total Dwelling Units:	141
Single Family Attached:	60
Single Family Detached:	81
Density (Units per Acre):	3.6

*Note: Unit 7 to consist of both Low Density Residential (4-6 du/ac; approximately 12 acres) and Medium Density Residential (6-8 du/ac; approximately 29.5 acres) per Map H-1, Master Development Plan for the Plantation Bay DRI revised November 30, 2017.*

Site Plan Details:

Revision Date:	March 28, 2016
Received by Planning:	March 28, 2016
<i>Note: Site Plan revised per BOCC action on June 6, 2016.</i>	

Minimum Setbacks:

Single Family Attached	
Front:	20 feet
Side – between buildings, to exterior wall:	20 feet
Side interior units:	0 feet
Side Street (a/k/a street side or side corner):	15 feet
Rear:	20 feet
Single Family Detached	
Front:	20 feet
Side, to exterior wall:	5 feet
Side, to exterior wall adjacent to “occupied” easement:	5 feet
Rear:	20 feet
Rear (Adjoining Conservation Area):	10 feet
Rear Pool Deck/Screenroom:	5 feet
Rear Pool Deck/Screenroom (Adjoining Conservation Area):	5 feet

Other Criteria:

Single Family Attached	
Maximum Height:	3 stories
Minimum Lot Size:	3,600 s.f.
Minimum Lot Width, at front setback:	30 feet
Minimum Building Separation (exterior wall):	20 feet
Single Family Detached	
Maximum Height:	2 stories
Minimum Lot Size:	6,000 s.f.
Minimum Lot Width, at front setback:	50 feet

**EXHIBIT C**  
**SPECIFIC DEVELOPMENT STANDARDS**

Unit 7 Specific Developer Commitments:

- Construction of eight foot wide concrete sidewalk on the north side of Bay Drive.
- Future park plan to include a minimum of two acres of passive open space located east of Bay Drive; existing open play area to be incorporated into the park as additional play area.

**EXHIBIT C  
SPECIFIC DEVELOPMENT STANDARDS  
PLANTATION BAY  
SECTION 2A-F – WESTLAKE  
UNIT 8**

BOCC PUD Site Development Plan Approval:

October 15, 2018

Development Thresholds:

Total project acreage:	55.0
Gross residential acreage:	22.4
Dwelling Units (Single Family Detached):	97
Density (Units per Acre):	1.8

*Note: Unit 8 to consist of Single Family Residential (1-4 du/ac) per Map H-1, Master Development Plan for the Plantation Bay DRI revised November 30, 2017.*

Site Plan Details:

Revision Date:	September 24, 2018
Received by Planning:	September 24, 2018

*Note: Site Plan revised per BOCC action on October 15, 2018.*

Minimum Setbacks:

Front:	20 feet
Side:	5 feet
Side Street (a/k/a street side or side corner):	20 feet
Rear:	20 feet
Rear Pool Deck/Screenroom:	5 feet

Other Criteria:

Maximum Height:	3 stories
Minimum Lot Size:	
Lots 17 through 76	7,200 s.f.
Lots 1 through 16 and 77 through 97	8,400 s.f.
Minimum Lot Width:	
Lots 17 through 76	60 feet
Lots 1 through 16 and 77 through 97	70 feet

*Note: Minimum lot width determined at restrictive setback line.*

Unit 8 Specific Developer Commitments:

- Construction of five foot wide sidewalk along south side of Stirling Bridge Drive.
- Landscaping of individual lots in accordance with "Typical Landscape for Westlake Phase 8" detail shown on Cover Sheet 1 of PUD Site Development Plan bearing revision date of September 21, 2018.

**EXHIBIT C  
 SPECIFIC DEVELOPMENT STANDARDS  
 PLANTATION BAY  
 SECTION 2A-F – WESTLAKE  
 UNIT 9**

BOCC PUD Site Development Plan Approval: October 23, 2006

Development Thresholds:

Total project acreage:	121.2
Gross residential acreage:	43.3
Dwelling Units (Single Family Detached):	103
Density (Units per Acre):	2.4

*Note: Unit 9 to consist of both Single Family Residential (1-4 du/ac; approximately 8.7 acres) and Low Density Residential (4-6 du/ac; approximately 34.6 acres) per Map H-1, Master Development Plan for the Plantation Bay DRI revised November 30, 2017.*

Site Plan Details:

Revision Date:	August 31, 2006
Received by Planning:	October 9, 2006

Minimum Setbacks:

Front:	25 feet
Side:	5 feet
Side Street (a/k/a street side or side corner):	20 feet
Rear:	20 feet
Rear Pool Deck/Screenroom:	5 feet

Other Criteria:

Maximum Height:	3 stories
Minimum Lot Size:	
Lots 1 through 41	7,800 s.f.
Lots 42 through 70	9,125 s.f.
Lots 71 through 103	7,800 s.f.
Minimum Lot Width:	
Lots 1 through 41	60 feet
Lots 42 through 70	73 feet
Lots 71 through 103	60 feet

*Note: Minimum lot width determined at restrictive setback line.*

Unit 9 Specific Developer Commitments:

- Construction of six foot wide concrete sidewalk along east side of Stirling Bridge Drive.
- Construction of eight foot wide concrete path from east line of the subdivision (near Englewood Drive) west to U.S. Highway 1.
- Construction of five foot wide sidewalk to be stubbed along north side of Turnberry Lane into "Low Density" Tract to be platted with Unit 9; in the future, a five foot wide sidewalk will be continued from Unit 13 to Bay Drive.
- Development of the "Low Density" Tract to undergo Flagler County PUD Site Development Plan review and approval consistent with the DRI D.O. and the Flagler County LDC.
- Landscaping of individual lots in accordance with "Proposed Landscape Criteria for Westlake Phase 9" detail shown on Cover Sheet 1 of PUD Site Development Plan bearing revision date of August 31, 2006.

**EXHIBIT C  
SPECIFIC DEVELOPMENT STANDARDS  
PLANTATION BAY  
SECTION 2A-F – WESTLAKE  
UNIT 12B**

BOCC PUD Site Development Plan Approval: May 17, 2021

Development Thresholds:

Total project acreage:	9.95
Gross residential acreage:	4.82
Dwelling Units (Single Family Detached):	25
Density (Units per Acre):	5.2

*Note: Unit 12B to consist of Low Density Residential (4-6 du/ac) per Map H-1, Master Development Plan for the Plantation Bay DRI revised November 30, 2017.*

Site Plan Details:

Revision Date:	February 10, 2021
Received by Planning:	February 10, 2021

*Note: Site Plan revised per BOCC action on August 15, 2005.*

Minimum Setbacks:

Front:	25 feet
Side:	5 feet
Side Street (a/k/a street side or side corner):	20 feet
Rear:	20 feet
Rear Pool Deck/Screenroom:	5 feet

Other Criteria:

Maximum Height:	35 feet
Minimum Lot Size:	6,500 s.f.
Minimum Lot Width:	50 feet

*Note: Minimum lot width determined at restrictive setback line.*

**EXHIBIT C**  
**SPECIFIC DEVELOPMENT STANDARDS**  
**PLANTATION BAY**  
**SECTION 2A-F, UNIT 13 (WESTLAKE UNIT 13)**

BOCC PUD Site Development Plan Approval:

November 4, 2019

Development Thresholds:

Total project acreage:	63.19
Gross residential acreage:	29.62
Total Dwelling Units (Single Family Attached):	132
Density (Units per Acre):	4.46

*Note: Unit 13 to consist of Medium Density Residential (6-8 du/ac; approximately 30.17 acres) per Map H-1, Master Development Plan for the Plantation Bay DRI revised November 30, 2017.*

Site Plan Details:

Revision Date:	August 28, 2019
Received by Planning:	August 28, 2019

*Note: Site Plan approved per BOCC action on November 4, 2019*

Minimum Setbacks:

Single Family Attached	
Front:	20 feet
Side – between buildings, to exterior wall:	20 feet
Side interior units:	0 feet
Side Street (a/k/a street side or side corner):	15 feet
Rear:	20 feet

Other Criteria:

Single Family Attached	
Maximum Height:	3 stories
Minimum Lot Size:	3,900 s.f.
Minimum Lot Width, at front setback:	30 feet
Minimum Building Separation (exterior wall):	20 feet



# APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW IN A PUD

1769 E. Moody Blvd, Suite 105  
Bunnell, FL 32110  
Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 3245 / SDP-000391-2021

<b>PROPERTY OWNER(S)</b>	Name(s):	WLResidential Land, LLC, by Hosseini Ventures LLP by West Duval Investments, Inc.		
	Mailing Address:	2379 Beville Road		
	City: Daytona Beach	State: FL	Zip: 32119	
	Telephone Number	386.236.4163	Fax Number	

<b>APPLICANT /AGENT</b>	Name(s):	Jerry K. Finley, P.E. Finley Engineering Solutions		
	Mailing Address:	3959 So. Nova Road, Suite B-34		
	City: Port Orange	State: FL	Zip: 32127	
	Telephone Number	386.756.8676	Fax Number	
	Email Address:	jfinley@finleyengineers.com		

<b>SUBJECT PROPERTY</b>	SITE LOCATION (street address):	Stirling Bridge Rd. at canal		
	LEGAL DESCRIPTION: <i>(briefly describe, do not use "see attached")</i>	east of US1, south of Plantation Bay 2A-F, Unit 8		
	Parcel # (tax ID #):	03-13-31-0000-01010-0020		
	Parcel Size:	9.95 acres		
	Current Zoning Classification:	PUD-DRI		
	Current Future Land Use Designation:			
	Subject to A1A Scenic Corridor IDO?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	

**PURPOSE OF SUBMISSION / PROJECT DATA:**

Development of a 25 lot single family residential subdivision

\_\_\_\_\_  
Signature of Owner(s) or Applicant/Agent  
if Owner Authorization form attached

Date 2/10/21

Charlene Irland, VicePres. **\*\*OFFICIAL USE ONLY\*\***

**PLANNING BOARD RECOMMENDATION/ACTION:**

APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

**BOARD OF COUNTY COMMISSIONERS ACTION:**

APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application.

Rev. 05/08



**FLAGLER COUNTY**

**TECHNICAL REVIEW COMMITTEE COMMENTS  
CORRECTED FOR DEV ENGINEER COMMENTS**

**MEETING DATE: 03/17/2021**

**APPLICATION #3245 – SITE DEVELOPMENT PLAN  
IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT**

**OWNER: WL RESIDENTIAL LAND, LLC/  
AGENT: JERRY K. FINLEY, P.E., FINLEY ENGINEERING SOLUTIONS**

Distribution date: March 12, 2021

Plan: SDP-000391-2021

Application #: 3245

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

**REVIEWING DEPARTMENT: BUILDING DEPARTMENT**

1. No comments at this time

**REVIEWING DEPARTMENT: COUNTY ATTORNEY**

1. No comment.

**REVIEWING DEPARTMENT: DEVELOPMENT ENGINEERING**

1. ~~Will there be any additional access points from Otis Stone Hunter Road? If so, they will need to meet the access management ordinance.~~

Plantation Bay Unit 12 B – Comments SDP

1. The cover sheet indicates that the vertical datum is NAVD 29. The County requires NAVD 88 per revised FEMA maps June 2018.
2. Provide the lineal feet of roadway on the Cover Sheet of the Plans.
3. Provide the location of any proposed site lighting.
4. Call out the name of the roadway.
5. Call out the name of the roadway shown on Stirling Bridge ( Heatherwood?).
6. Clarify the scale of the plans and provide a single graphic scale.
7. Provide the roadway name.
8. Additional comments may be generated upon further submittals.

**REVIEWING DEPARTMENT: E-911 STAFF**

1. Road name requests?

**REVIEWING DEPARTMENT: ENVIRONMENTAL HEALTH DEPT**

1. Modification to the existing septic system would be required to accommodate the increased estimated sewage flow for the guest house. Alternatively, a new system may be installed that is independent from the existing system.

**REVIEWING DEPARTMENT: FIRE INSPECTOR**

1. No comment.

**REVIEWING DEPARTMENT: PLANNING DEPARTMENT**

1. Please provide evidence of compliance with the lot dimensional requirements on the site plan, specifically the minimum lot widths for the irregular lots.
2. An amendment to the Amended and Restated Supplemental PUD Development Agreement (last amended for Unit 13 through Ordinance No. 2019-07 recorded at OR 2400, P 1080, PRFCF) will be needed to provide the development criteria for Unit 12B. Attachment #1 (the Agreement), Exhibit A (the Project Area), Exhibit B (General Development Standards), and Exhibit C (Specific Development Standards) will need to be amended for Unit 12B. If any other Units are proposed, the Agreement could be amended now so as to eliminate the need for future amendments.
3. On the PUD Site Development Plan, the provider of Fire Protection Water Supply and Water and Sewer should be listed as the Florida Governmental Utility Authority.
4. On the PUD Site Development Plan, General Note 11 states that the vertical datum is NGVD 1929; please verify and correct as needed. [Flagler County's FIRM maps converted to NAVD 1988 datum in 2018; the elevation datum should be the same as used for FEMA unless there is

a compelling reason not do so. DRI requirement? Consistency with other development in the DRI?

5. On the PUD Site Development Plan, General Note 19 should be changed to state Florida Governmental Utility Authority requirements.

## FLAGLER COUNTY PLANNING AND DEVELOPMENT BOARD REGULAR MEETING

Flagler County Government Services Building,  
1769 East Moody Blvd., Board Chambers, Bunnell, FL

### MEETING MINUTES

Tuesday, April 13, 2021 at 6:00 PM

1. **Roll Call:** The meeting was called to order by the Chair and a quorum was present.

**Members Present:** Anthony Lombardo (Chair), Mike Goodman (Vice Chair), Michael Boyd, Fernando Melendez, Mark Langello, Jack Corbett, Timothy Connor

**Staff Present:** Adam Mengel, Growth Management Director, Chuck Merenda, Assistant Director, Gina Lemon, Planner

**Board Counsel:** Sean Moylan, Assistant County Attorney

2. **Pledge to the Flag:** was led by the Chair.

3. **Approval of Minutes:**

- March 10, 2020 regular meeting minutes
- July 14, 2020 regular meeting minutes
- August 11, 2020 regular meeting minutes
- September 8, 2020 regular meeting minutes
- October 13, 2020 regular meeting minutes
- November 10, 2020 regular meeting minutes
- January 12, 2021 regular meeting minutes
- February 9, 2021 regular meeting minutes
- March 9, 2021 regular meeting minutes.

**Discussion:** Mark Langello would like future minutes to include an indicator of the direction of discussion.

**Motion:** To Approve All Minutes

**Motion by:** Mark Langello

**Motion 2<sup>nd</sup> by:** Michael Boyd

**Vote:** Motion approved 7-0 by unanimous vote

4. **Application #3239 – APPLICATION FOR SEMI-PUBLIC USE IN THE R-1 (RURAL RESIDENTIAL) DISTRICT** – request for Semi-Public Use for equine therapy d/b/a Whispering Meadows Ranch at 5011 John Anderson Highway on Parcel Number 37-12-31-0610-00000-0120; 4.25+/- acres. Owner: Richard and Mary Helene Davis/Agent: Dennis K. Bayer, Esquire. *Project #COND-000350-2020 (TRC, PDB, BCC)*

#### **Board Member Disclosures:**

**Anthony Lombardo:** 1) contacted by the listing agent for board email addresses, he directed the agent to speak with staff; 2) contacted by Michael Chiumento to confirm a receipt of a memo; 3) received several emails that are all part of the agenda packet that was posted.

**Mark Langello:** 1) contacted by Michael Chiumento to confirm he read a brief he had sent; 2) received several emails that are all part of the agenda packet that was posted.

**Mike Goodman:** 1) contacted by the listing agent, he advised he could not speak about this upcoming item; 2) received several emails that are all part of the agenda packet that was posted.

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jeff McKay, Head Trustee for Hammock First Baptist Church.

**Board Questions:** Tim Connor asked if Sanchez is currently an open roadway. Mr. McKay advised it is a 50-60 foot open roadway.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mark Langelo

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

8. **Application #3245 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #SDP-000391-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley explained the project.

**Board Discussion:** Mark Langelo asked if staff had any concerns. Adam advised there are none.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Jack Corbett

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

9. **Application #3246 – PRELIMINARY PLAT IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for preliminary plat for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #PLAT-000392-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley was present but did not give a presentation.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mike Goodman

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

10. **Application #3249 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for a temporary sales office/model home at 79 Huntington Place (also described as Lot 69 of Huntington Green at Hunters Ridge, Phase 2A) on Parcel Number 22-14-31-0254-00000-0690; 0.38+/- acres. Owner: Maronda Homes, LLC of Florida/Applicant: Howard Lefkowitz, President, BADC Huntington Communities, Inc. *Project #SDP-000430-2021 (TRC, PDB, BCC)*

App #3245  
Site Development Plan in a PUD  
Plantation Bay, Unit 12B

PARCEL #	OWNER NAME	OWNER ADDRESS 1	OWNER ADDRESS 2	CITY	STATE	ZIP	
03-13-31-0000-01010-0020	WL RESIDENTIAL LAND, LLC		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	1005.23 AC PTS SEC 4,5,8,9,10, 16,21,22-13-31 ALL LYING E OF US 1 AND WEST OF PLANTATION BAY RESOL.95-52 OR S36 PG 01 46 36W ALONG W LINE 451.12' N 82 12 14E 1212.7 TO W LINE FPL ESM.T. S 01 48 15E 801.89' TO N LINE S 10,S 01 48 15 E 919.00'. S 89 20 38W 1201.23 TO W SECT 10 LINE, N 02 08 04 W 920.11 FEET
03-13-31-0000-01010-0030	WL RESIDENTIAL LAND, LLC		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	
09-13-31-5120-2AF08-0010	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	301 STIRLING BRIDGE DR
09-13-31-5120-2AF08-0020	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	STIRLING BRIDGE DR
09-13-31-5120-2AF08-0030	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	STIRLING BRIDGE DR
09-13-31-5120-2AF08-0040	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	STIRLING BRIDGE DR
09-13-31-5120-2AF08-0050	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	STIRLING BRIDGE DR
09-13-31-5120-2AF08-00A0	WESTLAKE AT PLANTATION BAY	PROPERTY OWNERS ASSOC, INC.	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 5
09-13-31-5120-2AF08-00C0	WESTLAKE AT PLANTATION BAY	PROPERTY OWNERS ASSOC, INC.	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	PLANTATION BAY SEC 2AF, UNIT 8 PARCEL "A"
09-13-31-5120-2AF08-0930	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	PLANTATION BAY SEC 2AF, UNIT 8 PARCEL "C"
09-13-31-5120-2AF08-0940	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	308 STIRLING BRIDGE DR
09-13-31-5120-2AF08-0950	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	306 STIRLING BRIDGE DR
09-13-31-5120-2AF08-0960	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	304 STIRLING BRIDGE DR
09-13-31-5120-2AF08-0970	VOLUSIA RESIDENTIAL	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119	302 STIRLING BRIDGE DR
10-13-31-5120-2AF06-00A0	TOMOKA COMMUNITY DEVELOPMENT	DISTRICT	12051 CORPORATE BLVD	ORLANDO	FL	32817	300 STIRLING BRIDGE DR
10-13-31-5120-2AF06-00A0	TOMOKA COMMUNITY DEVELOPMENT	DISTRICT	12051 CORPORATE BLVD	ORLANDO	FL	32817	STIRLING BRIDGE DR
10-13-31-5120-2AF06-00B0	FLAGLER COUNTY BOARD OF	COUNTY COMMISSIONERS	1769 EAST MOODY BLVD, BI BUNNELL		FL	32110	291 STIRLING BRIDGE DR
10-13-31-5120-2AF06-00E0	WESTLAKE AT PLANTATION BAY	PROPERTY OWNERS ASSC, INC	103A NORTH LAKE DRIVE	ORMOND BEACH	FL	32174	
10-13-31-5120-2AF06-0180	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	268 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0190	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	270 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0200	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	272 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0210	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	274 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0220	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	276 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0230	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	278 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0240	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	202 HEATHERWOOD CT
10-13-31-5120-2AF06-0450	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	201 HEATHERWOOD CT
10-13-31-5120-2AF06-0460	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	284 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0470	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	286 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0480	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	288 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0490	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	289 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0500	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	287 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0510	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	285 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0520	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	283 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0530	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	281 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0540	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	279 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0550	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	277 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0560	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	275 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0570	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	273 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0580	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	271 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0590	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	269 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0600	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	267 STIRLING BRIDGE DR
10-13-31-5120-2AF06-0610	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119	265 STIRLING BRIDGE DR

Hasler  
03/26/2021  
US POSTAGE \$000.00



ZIP 32110  
011E11679462

I hereby affirm mailed notice to each owner on March 26, 2021 for the Planning Development Board Meeting on April 13, 2021 at 6:00 pm.

*Gina Lemon*  
Gina Lemon

**Growth Management Department**  
Planning & Development  
1769 E. Moody Blvd, Bldg. 2  
Bunnell, FL 32110



[www.flaglercounty.org](http://www.flaglercounty.org)  
Phone: (386)313-4003  
Fax: (386)313-4102

March 26, 2021

WL RESIDENTIAL LAND, LLC  
2379 BEVILLE RD  
DAYTONA BEACH, FL 32119

Re: Application #3245 – Site Development Plan in a PUD (Planned Unit Development) - Parcel Number: 03-13-31-0000-01010-0020

Dear Property Owner:

As an owner of property within 300' of the property referenced herein, Flagler County Planning Department in accordance with Section 2.07.00 of the Flagler County Land Development Code, advises you that:

A request by Jerry K. Finley, P. E., Finley Engineering Solutions on behalf of owner W L Residential Land, LLC for a Site Development Plan in a PUD District on approximately 9.95 acres generally lying east of U S Highway 1 and west of Stirling Bridge Drive and being a portion of parcel number 03-13-31-0000-01010-0020. The site development plan is for a proposed 25 lot subdivision being Plantation Bay, Section 2A-F, Unit 12.

You are hereby notified that a public hearing before the **Flagler County Planning and Development Board**, required by law, will be held in the Flagler County Government Services Building, Board Chambers, at 1769 E. Moody Boulevard, Building 2, Bunnell, Florida on **April 13, 2021**, beginning at **6:00 p.m.** or as soon thereafter as possible. You are welcome to attend and express your opinion.

Sincerely,

A handwritten signature in purple ink that reads "Gina Lemon".

Gina Lemon  
Development Review Planner III

Andy Dance  
District 1

Greg Hansen  
District 2

David Sullivan  
District 3

Joe Mullins  
District 4

Donald O'Brien, Jr.  
District 5

Mar 29, 2021 at 3:03:21 PM  
6384-6554 S US-1  
Bunnell FL 32110  
United States



NOTICE OF  
PUBLIC HEARING

FOR THE PROPOSED CONSTRUCTION OF A  
NEW 100-FOOT WIDE ROADWAY AND  
ADJACENT UTILITIES AND EROSION CONTROL  
MEASURES AT THE INTERSECTION OF  
STATE ROAD 1 AND STATE ROAD 6384  
IN BUNNELL, FLORIDA.

THE PUBLIC HEARING WILL BE HELD ON  
WEDNESDAY, APRIL 14, 2021 AT 10:00 AM  
AT THE BUNNELL COMMUNITY CENTER,  
100 W. BUNNELL AVENUE, BUNNELL, FL 32110.

FOR MORE INFORMATION, CONTACT THE  
FLORIDA DEPARTMENT OF TRANSPORTATION  
AT (904) 437-7000.



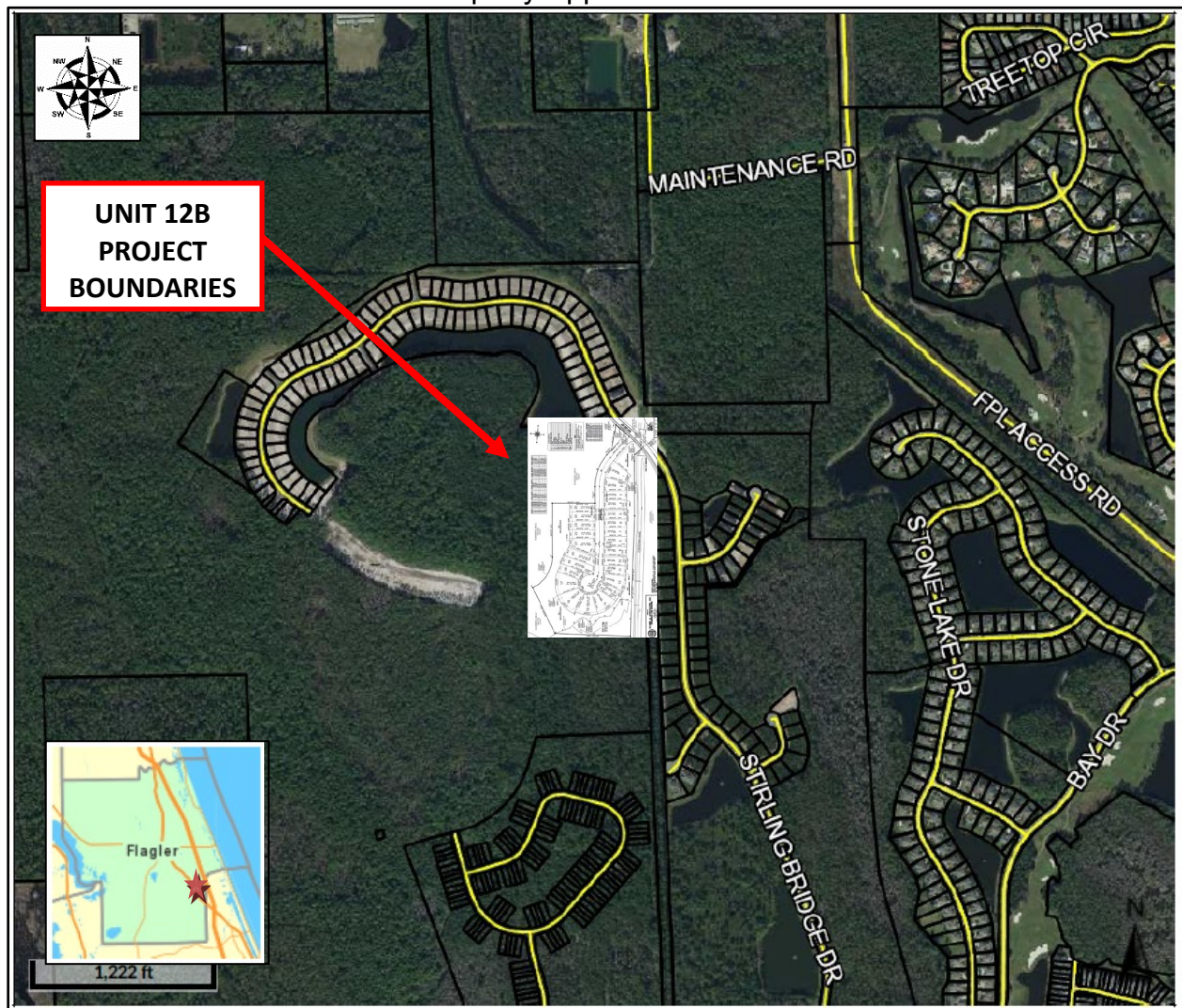
**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
PUBLIC HEARING/AGENDA ITEM #9b**

**SUBJECT: QUASI-JUDICIAL** – Application #3246 – Request for Approval of a Preliminary Plat for Plantation Bay Section 2A-F, Unit 12B; Parcel Number: 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC; Agent: Jerry K. Finley, P.E., Finley Engineering Group (Project #PLAT-000392-2021).

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** This request is quasi-judicial in nature and requires disclosure of ex parte communication. The subject parcel lies South of Old Dixie Highway between U.S. Highway 1 to the West and Interstate-95 to the East:

Property Appraiser Aerial



The agent on behalf of the owner submitted a preliminary plat application and supporting documents to the County on February 9, 2021. Through the submittal, the applicant is

seeking approval of a preliminary plat for 25 single-family detached residential lots on 9.95 acres within the Plantation Bay Development of Regional Impact (DRI).

Unit 12B is also being reviewed under Application #3245, which seeks adoption of the PUD Site Development Plan and supplemental development criteria (referenced as “Specific Development Standards”) for Unit 12B.

The application for amendment of the preliminary plat was discussed by the Technical Review Committee on March 17, 2021. The applicant has agreed to respond to staff’s comments through revisions that will be made prior to the Board of County Commissioners’ meeting in May.

The Planning and Development Board reviewed this request at its April 13, 2021 regular meeting. The Board unanimously recommended approval of this request.

BCC review authority: Section 4.05.02, LDC, requires that the Board of County Commissioners review and approve, approve with conditions, or disapprove preliminary plats following consideration of the Planning and Development Board’s recommendations and the factual data presented during the public hearing in support of the request.

This agenda item is:

  X   quasi-judicial, requiring disclosure of ex-parte communication; or  
       legislative, not requiring formal disclosure of ex-parte communication.

Public Notice: Public notice has been provided in accordance with Section 2.07.00 of the LDC.

**DEPARTMENT CONTACT:** Growth Management/Adam Mengel/386-313-4065

**OPTIONS FOR THE BOARD:** The Board of County Commissioners, based on the Planning and Development Board’s public hearing and recommendation, the staff report, and the factual data presented during the public hearing:

1. **Approves** the preliminary plat and construction plans for the Plantation Bay Section 2A-F, Unit 12B subdivision, subject to:
  - a. no construction to commence prior to issuance of a County land development permit;
  - b. no final plat approval to occur until extension of potable water and sanitary sewer is installed and approved by the Florida Governmental Utility Authority as the utility provider; and
  - c. any subdivision improvements not completed by the developer to be bonded or other surety provided consistent with the requirements of the Land Development Code.

2. **Denies** the preliminary plat and construction plans for the Plantation Bay Section 2A-F, Unit 12B subdivision.
3. **Continues (Tables)** the preliminary plat and construction plans for the Plantation Bay Section 2A-F, Unit 12B subdivision to a time and date certain.

**ATTACHMENTS:**

1. Technical Staff Report (TSR)
2. Application and supporting documents
3. TRC review comments dated March 17, 2021
4. Planning and Development Board draft April 13, 2021 meeting minutes (in part)
5. Public notice
6. Proposed Preliminary Plat
7. Construction plans (provided in pdf format online)

**APPLICATION #3246  
PRELIMINARY PLAT FOR  
PLANTATION BAY SECTION 2A-F, UNIT 12B SUBDIVISION  
TECHNICAL STAFF REPORT**

Chapter 177, Florida Statutes, includes statewide platting requirements, while LDC Section 4.05.02 provides for minimum plat submittal requirements. The Comprehensive Plan does not specifically address platting requirements, but does include provisions related to concurrency and public facilities.

**Plat Specific Review**

The preliminary plat depicts 25 single-family detached lots. The largest lot is Lot 16 (0.29 acres; 12,832 s.f.) and the smallest lot is Lots 3, 6, and 7 (0.15 acres; 6,500 s.f.).

As described on the plat, Tract "A" is intended for Common Area, Drainage, and Recreation purposes, and is to be dedicated to the Tomoka Community Development District for ownership and maintenance.

The roadway, identified as Kingswood Court, is identified as a 50-foot wide private road tract and is approximately 900 feet in length, and while dedicated for "ingress and egress by lot owners and their guests, emergency vehicles and government services" this tract will need to be dedicated to an ownership and maintenance entity. For the Unit 13 subdivision, the Westlake at Plantation Bay Property Owners Association, Inc., was identified as the ownership and maintenance entity of the private roadway tract. The preliminary plat includes a certificate for the acceptance of reservations by the Creekside Townhomes at Westlake Property Owners Association, Inc., although there are no specific dedications listed on the plat to the Creekside Townhomes Association.

Dedications made to Flagler County for utility purposes – especially the reservation of the 10 foot utility easement across the front of each lot – will need to be changed to the new owner of the Plantation Bay Utility System, the Florida Governmental Utility Authority (FGUA).

***Public Services and Utilities***

FGUA provides water and sewer service. Electric is provided by Florida Power and Light. Fire and EMS services are available from Volusia County's Station 16 located in Halifax Plantation (through Mutual Aid Agreement), with fire water supply provided through the development's central water system with the supply water provided by FGUA and the three fire hydrants located so that a hydrant is within 400 feet of any single family residence (the three hydrants are approximately 350 feet from each other). The Flagler County Sheriff's Office responds to calls for law enforcement services in this area. Solid waste service is provided by WastePro and billed by Flagler County with disposal in Volusia County.

### ***Vehicular and Pedestrian Access***

The development will have a main access connection from Stirling Bridge Drive to the North.

The construction plans accompanying the preliminary plat depict a 24-foot wide asphalt roadway surface bounded on each side by a 24-inch-wide Miami gutter. No sidewalks are included within the plans.

### ***Stormwater***

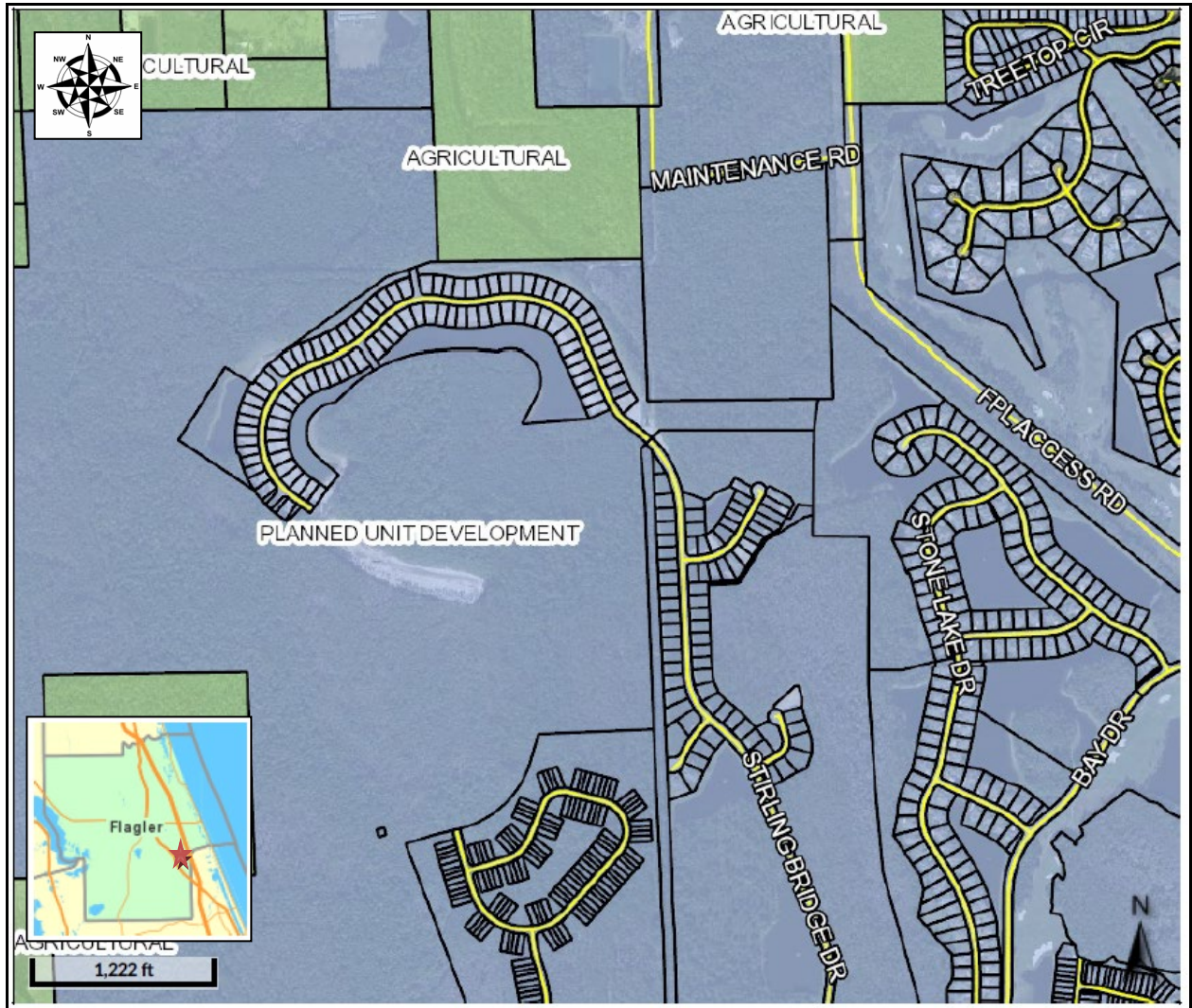
Fifteen foot wide (7.5 feet on each side of the common lot line) drainage easements are depicted between Lots 4 and 5, Lots 9 and 10, and Lots 20 and 21, with an additional discharge pipe located North of Lot 25. A 12-foot-wide drainage easement is depicted across the rear lot line of Lots 1 through 12, while a 14-foot-wide drainage easement is depicted along the rear of Lots 13 through 25. Modification of the stormwater system through St. Johns River Water Management District Permit Number 18417-35 is currently pending a decision (pending RAI response) as of the date of this report.

Areas to the South of the cul-de-sac – and generally corresponding to the area depicted as wetland on the National Wetlands Inventory Map, attached – are within a conservation easement to the St. Johns River Water Management District recorded in Official Records Book 7816, Page 4143, Public Records of Volusia County, Florida.

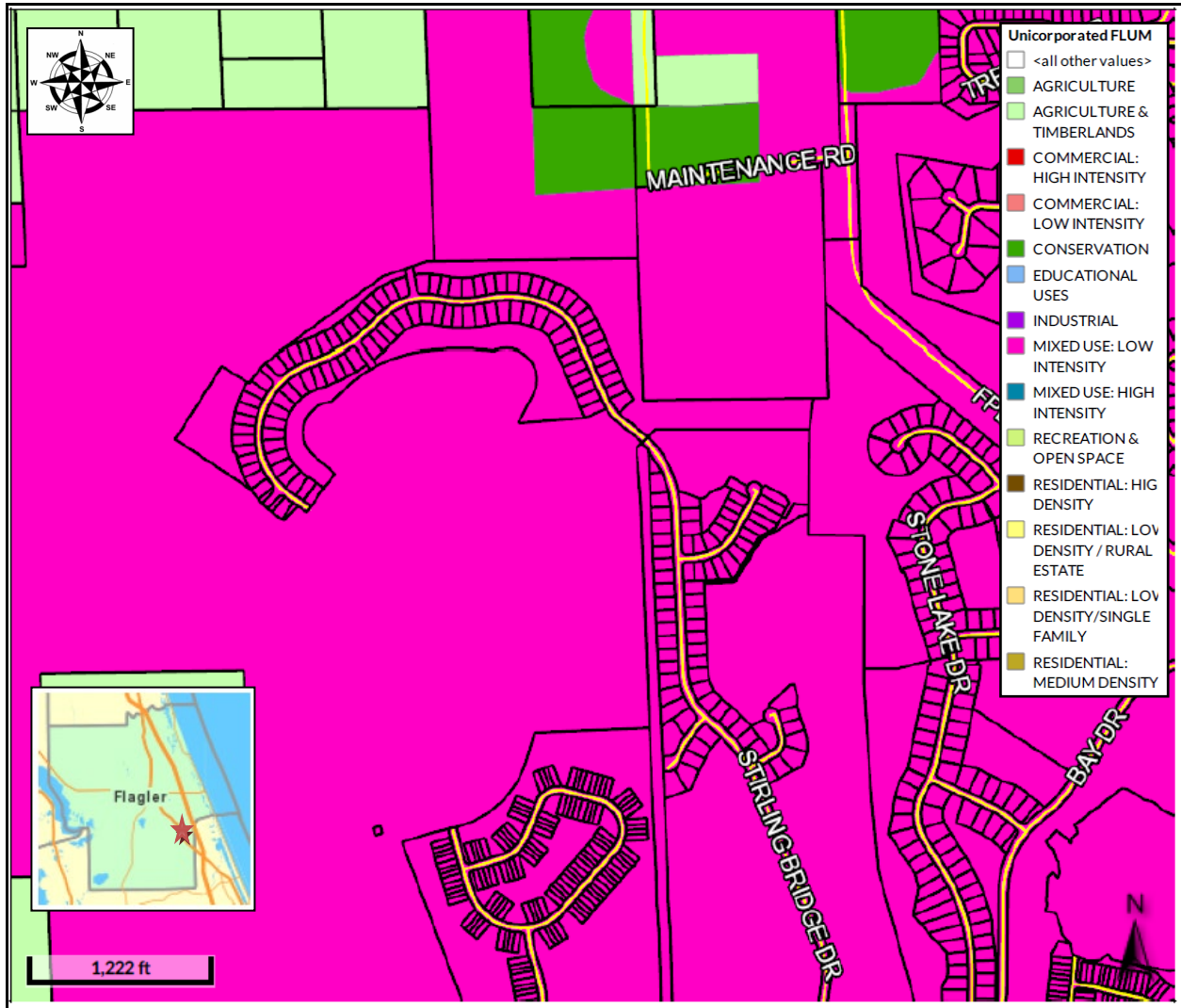
### ***DRI Obligations***

The area proposed as Unit 12B corresponds to a cluster designated on the adopted Map H-1 for Low Density Residential (4-6 du/ac) development and permitting a maximum of 60 dwelling units based on the 9.95+/- acre area for Unit 12B. Note that the adopted Development Order (D.O.) identifies “Single Family Estate Homes, Single Family Homes, Multi-Family Townhouses, Single Family Attached (Duplexes), Single Family/Zero Lot Line and Condominiums” as permissible housing units within the DRI.

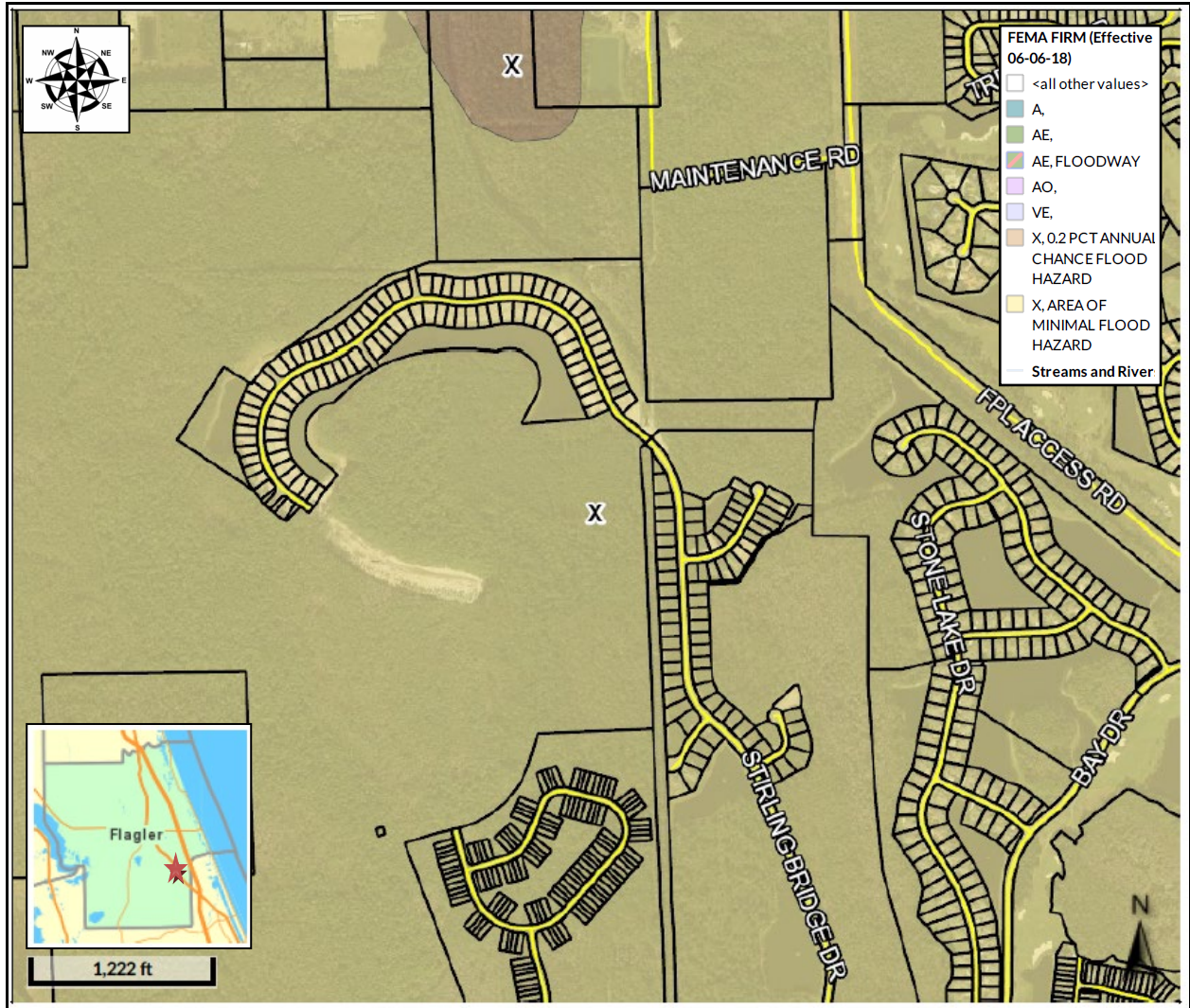
# Official Zoning Map



# Future Land Use Map

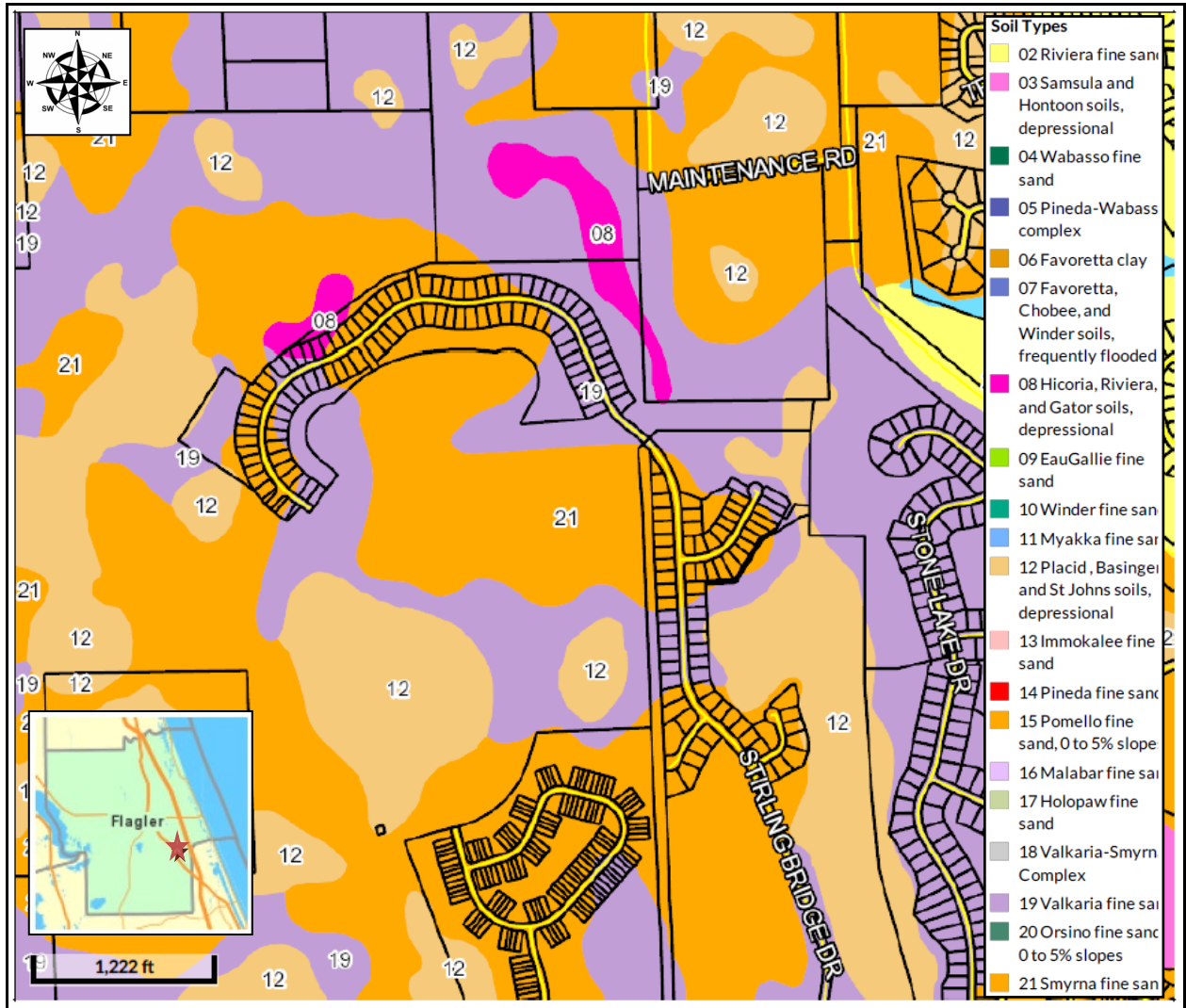


# Flood Zone Map

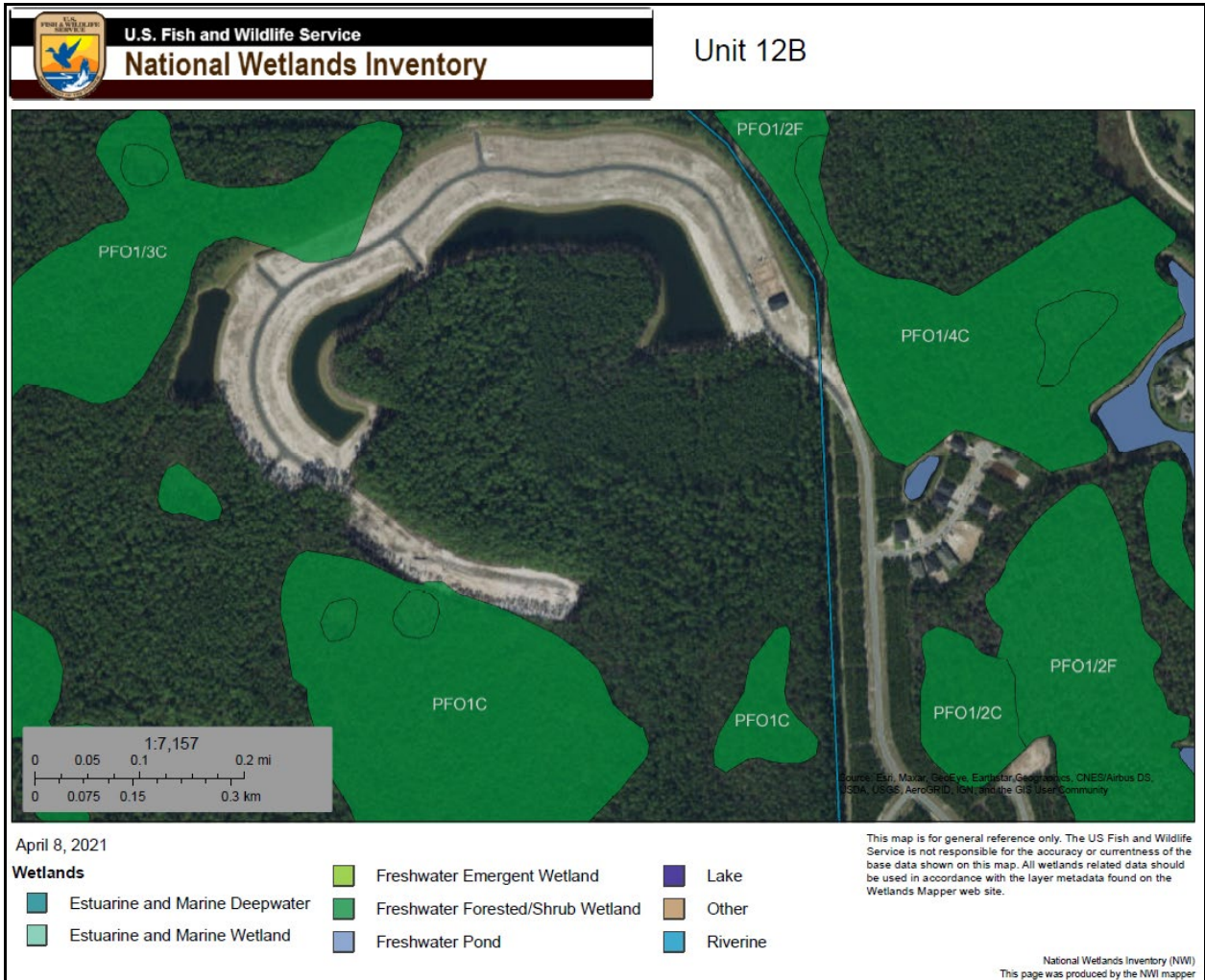




# Soils Map



# Wetlands Map





# APPLICATION FOR PRELIMINARY PLAT

FLAGLER COUNTY, FLORIDA  
 1769 E. Moody Blvd, Suite 105  
 Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

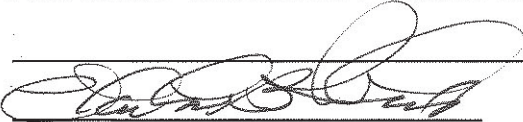
Application/Project #: 3246 / PLAT-000392-2021

<b>PROPERTY OWNER(S)</b>	Name(s):	WL Residential Land, LLC by Hosseini Ventures, LLLP, by West Duval Investments, Inc.		
	Mailing Address:	2379 Beville Road		
	City: <small>Daytona Beach</small>	State: <small>Florida</small>	Zip: <small>32119</small>	
	Email: <small>dsmith@icihomes.com</small>	Telephone #	<small>386.236.4163</small>	Fax #

<b>APPLICANT/AGENT</b>	Name(s):	Jerry K. Finley, P.E. Finley Engineering Solutions, Inc.		
	Mailing Address:	3959 So. Nova Road Suite B34		
	City: <small>Port Orange</small>	State: <small>Florida</small>	Zip: <small>32127</small>	
	Email: <small>jfinley@finleyengineers.com</small>	Telephone #	<small>386.756.8676</small>	Fax #

<b>SUBJECT PROPERTY</b>	SITE LOCATION ( <i>street address</i> ):	Stirling Bridge Road at canal
	LEGAL DESCRIPTION: ( <i>briefly describe, do not use "see attached"</i> )	
	Parcel # ( <i>tax ID #</i> ):	03-13-31-0000-01010-0020
	Parcel Size:	9.95 acres
	Number of Miles of New Road(s):	0.18 miles
	Current Zoning Classification:	PUD-DRI
	Current Future Land Use Designation:	
	Subject to A1A Scenic Corridor IDO?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

**PURPOSE OF SUBMISSION / PROJECT DATA:** Preliminary Plat/Construction Plan approval

  
 Signature of Owner(s) or Applicant/Agent  
 if Owner Authorization form attached  
 Charlene Irland, VicePres\*\*

2/9/21  
 Date

**OFFICIAL USE ONLY\*\***

PLANNING BOARD RECOMMENDATION/ACTION: APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_  
 Date: \_\_\_\_\_ \*approved with conditions, see attached.

BOARD OF COUNTY COMMISSIONERS ACTION: APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_  
 Date: \_\_\_\_\_ \*approved with conditions, see attached.

FINLEY ENGINEERING SOLUTIONS, INC.  
3959 SO. NOVA ROAD, SUITE B34, PORT ORANGE, FL. 2127  
(386) 756-8676

February 10, 2021

Plantation Bay Section 2A-F, Unit 12B  
Stormwater Calculations


From 2006-2008, permitting was finalized with the St. Johns River Water Management District for the construction of Unit 8, Unit 9 and Unit 9A (Road to US Highway 1) as well as Conceptual Permitting of Units 8 through 15 at Plantation Bay (Permit 18417).

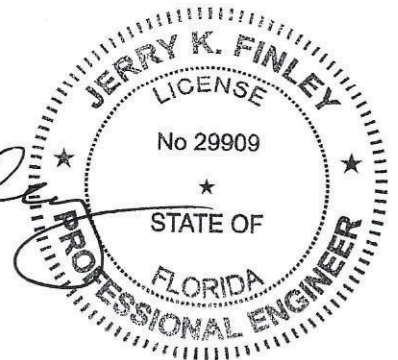
Since that time, certain changes have been made and revised permits obtained for Westlake Unit 8 and Westlake Unit 13. The latest approved modification was for Unit 13. The "Stormwater Routing Summary", found on the following page, details that approval which allows 69.434 cfs to discharge to the South-to-North portion of the Strickland Canal. Further, it was determined at the time of the Unit 13 permitting that, because this northerly flow does not drain into "impaired waters" that no Nitrogen/Phosphorus treatment is required.

Because of changing market conditions, the golf course, once shown through this portion of the PUD, has been eliminated. Residential units and additional lake area take the place of this golf course in the area west of proposed Unit 12B. The revisions to the development plan and revisions to Basins 81, 82 and 91 are shown on the attached Basin Map.

Basins, Nodes and connecting Links have been updated. Mark-ups for these changes are included along with the several new worksheets used for ICPR Input. The Node Maximum Report provides the new peak discharge to the South-to-North Canal of

	Previously Approved	Current Design
Flow to NS_CANAL	69.434 cfs	69.081 cfs

  
2-10-21  
Jerry K. Finley, P.E. #29909



# STORMWATER ROUTING SUMMARY

December 6, 2019

Re: Plantation Bay Section 2A-F, Unit 13  
 Modification of Permit # 18417-19

To summarize, the Post Development Peak discharge going to the canal system has been limited to 136.426 cfs which is lower than the Predevelopment discharge of 136.960 cfs.

From the "Node-Max Report"

To Canal	Simulation	Predevelopment	Post Development
EW_CANAL	WL13route	—	66.992 cfs
NS_CANAL	WL13route	—	69.434 cfs
EW_CANAL	WLNW_PREROUT	82.212 cfs	—
NS_CANAL	WLNW_PREROUT	54.748 cfs	—
		TOTAL 136.960 cfs	136.426 cfs

Jerry K. Finley, P.E. #29909

Professional Engineer Seal for Jerry K. Finley, P.E. #29909, State of Florida. The seal includes the text "FLORIDA PROFESSIONAL ENGINEERS & SURVEYORS" and "STATE OF FLORIDA". A handwritten signature and the date "12-6-19" are present over the seal.

WESTLAKE  
AT  
PLANTATION BAY

SECTION 2A-F, UNIT 12B

REVISED MODELING INPUT  
RED-LINED MARK-UP WITH NEW WORKSHEETS

Plantation Bay 2A-F, NORTHWEST QUADRANT  
 POST DEVELOPMENT MODEL  
 INPUT SUMMARY

Rainfall File: Flmod  
 Rainfall Amount(in): 9.000  
 Area(ac): 10.629  
 Curve Number: 90.00  
 DCIA(%): 0.00

Storm Duration(hrs): 24.00  
 Time of Conc(min): 31.00  
 Time Shift(hrs): 0.00  
 Max Allowable Q(cfs): 999999.000

Name: LAKE 113  
 Group: 2AF11

Node: LAKE 113A  
 Type: SCS Unit Hydrograph

Status: Onsite

Unit Hydrograph: Uh484  
 Rainfall File: Flmod  
 Rainfall Amount(in): 9.000  
 Area(ac): 23.722  
 Curve Number: 87.00  
 DCIA(%): 0.00

Peaking Factor: 484.0  
 Storm Duration(hrs): 24.00  
 Time of Conc(min): 29.00  
 Time Shift(hrs): 0.00  
 Max Allowable Q(cfs): 999999.000

Name: LAKE 81  
 Group: 2AF8

Node: LAKE 81  
 Type: SCS Unit Hydrograph

Status: Onsite

Unit Hydrograph: Uh484  
 Rainfall File: Flmod  
 Rainfall Amount(in): 9.000  
 Area(ac): 31.319  
 Curve Number: 90.00  
 DCIA(%): 0.00

Peaking Factor: 484.0  
 Storm Duration(hrs): 24.00  
 Time of Conc(min): 22.00  
 Time Shift(hrs): 0.00  
 Max Allowable Q(cfs): 999999.000

91.6 → 32.94

Name: LAKE 81B  
 Group: 2AF8

Node: LAKE 81  
 Type: SCS Unit Hydrograph

Status: Onsite

Unit Hydrograph: Uh484  
 Rainfall File: Flmod  
 Rainfall Amount(in): 9.000  
 Area(ac): 2.429  
 Curve Number: 84.00  
 DCIA(%): 0.00

Peaking Factor: 484.0  
 Storm Duration(hrs): 24.00  
 Time of Conc(min): 20.00  
 Time Shift(hrs): 0.00  
 Max Allowable Q(cfs): 999999.000

Name: LAKE 81C  
 Group: 2AF8

Node: LAKE 81  
 Type: SCS Unit Hydrograph

Status: Onsite

Unit Hydrograph: Uh484  
 Rainfall File: Flmod  
 Rainfall Amount(in): 9.000  
 Area(ac): 5.160  
 Curve Number: 84.00  
 DCIA(%): 0.00

Peaking Factor: 484.0  
 Storm Duration(hrs): 24.00  
 Time of Conc(min): 78.00  
 Time Shift(hrs): 0.00  
 Max Allowable Q(cfs): 999999.000

Name: LAKE 82  
 Group: 2AF8

Node: LAKE 82  
 Type: SCS Unit Hydrograph

Status: Onsite

Unit Hydrograph: Uh484  
 Rainfall File: Flmod  
 Rainfall Amount(in): 9.000  
 Area(ac): 20.223  
 Curve Number: 89.00  
 DCIA(%): 0.00

Peaking Factor: 484.0  
 Storm Duration(hrs): 24.00  
 Time of Conc(min): 30.00  
 Time Shift(hrs): 0.00  
 Max Allowable Q(cfs): 999999.000

90.3 → 21.12

Name: LAKE 83  
 Group: 2AF8

Node: LAKE 83  
 Type: SCS Unit Hydrograph

Status: Onsite

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 21.00
Area(ac): 8.428	Time Shift(hrs): 0.00
Curve Number: 90.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

Name: LAKE 91	Node: LAKE 91	Status: Onsite
Group: 2AF9	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 35.00	
Area(ac): 48.915	Time Shift(hrs): 0.00	
Curve Number: 88.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

*91.6* → *46.4 Ac*

Name: LAKE 92	Node: LAKE 92	Status: Onsite
Group: 2AF9	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 32.00	
Area(ac): 34.550	Time Shift(hrs): 0.00	
Curve Number: 89.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

Name: LAKE 93	Node: LAKE 93	Status: Onsite
Group: 2AF9	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 33.00	
Area(ac): 14.386	Time Shift(hrs): 0.00	
Curve Number: 88.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

Name: LAKE 94	Node: LAKE 94	Status: Onsite
Group: 2AF9	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 33.00	
Area(ac): 11.899	Time Shift(hrs): 0.00	
Curve Number: 87.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

Name: LAKE 95	Node: LAKE 95	Status: Onsite
Group: 2AF9	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 22.00	
Area(ac): 4.354	Time Shift(hrs): 0.00	
Curve Number: 91.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		



Name: LAKE 81      Base Flow(cfs): 0.000      Init Stage(ft): 25.000  
 Group: 2AF8      Warn Stage(ft): 28.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
25.000	5.9590
26.000	6.2820
27.000	6.6070
28.000	6.9340
28.500	7.0990

13.084  
 13.45  
 13.81  
 14.17

Name: LAKE 82      Base Flow(cfs): 0.000      Init Stage(ft): 25.000  
 Group: 2AF8      Warn Stage(ft): 28.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
25.000	2.4140
26.000	2.6170
27.000	2.8220
28.000	3.0300
28.500	3.1340

Now Combined  
 in Lake 81

Name: LAKE 83      Base Flow(cfs): 0.000      Init Stage(ft): 25.000  
 Group: 2AF8      Warn Stage(ft): 28.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
25.000	1.5320
26.000	1.6470
27.000	1.7630
28.000	1.8820
28.500	1.9420

Name: LAKE 91      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9      Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
26.000	4.7640
27.000	5.0320
28.000	5.3030
29.000	5.5760
29.500	5.7130

NEW  
 7.482  
 8.033  
 8.585  
 9.137

Name: LAKE 92      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9      Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
26.000	6.9530
27.000	7.3490
28.000	7.7480
29.000	8.1490
29.500	8.3500

Name: LAKE 93      Base Flow(cfs): 0.000      Init Stage(ft): 26.000

LAKE 81 & 82 ARE NOW COMBINED

Basin	Node	Basin Area	Lake Area
Lake 81	Lake 81	31.32 acres	5.96 acres
Length of Street	ft	x	24 ft = 0 s.f.
	2625 ft	x	28 ft = 73500 s.f.
	210 ft	x	12 ft = 2520 s.f.
Length of Sidewalk	2625 ft	x	5 ft = 13125 s.f.
Front of Lots	79	x	2700 sf = 213300 s.f.
Rear of Lots	24+ 52	x	2400 sf = 124800 s.f.
Misc. Impervious - Cul de sac	1	42' Radius	= 1385.44236 s.f.
Total Impervious			= 428630.442 s.f. = 9.84000097 acres
Composite CN		[Lake*100 + Impervious*98 + Pervious * 80] / Total Area	= 89.46076
Time of Concentration			= 22 minutes

32.94 + 21.12 = 54.06 AC  
 ADD  
 FRONT REAR  
 38  
 14 TO LK 82  
 24 TO LK 81  
 DISTRIBUTE ADDED LAKE BY 14/38 & 24/38  
 RATIOS  
 LAKE ADDED = 4.71 AC  
 24/38 = 2.97 AC  
 14/38 = 1.74

ADDED = 486230  
 - 428630  
 57600

Basin	Node	Basin Area	Lake Area
Lake 82	Lake 82	20.22257 acres	2.414073 acres
Length of Street	1550 ft	x	28 ft = 43400 s.f.
	155 ft	x	24 ft = 3720 s.f.
	210 ft	x	12 ft = 2520 s.f.
Length of Sidewalk	1550 ft	x	5 ft = 7750 s.f.
	0 ft	x	7 ft = 0
Front of Lots	49	x	2700 sf = 132300 s.f.
Rear of Lots	14+ 41	x	2400 sf = 98400 s.f.
Misc. Impervious - Cul de sac	1	42' Radius	= 1385.44236 s.f.
Total Impervious			= 289475.442 s.f. = 6.64544174 acres
Composite CN		[Lake*100 + Impervious*98 + Pervious * 80] / Total Area	= 88.30258
Time of Concentration			= 30 minutes

21.12  
 + 1.74  
 4.154

ADDED = 7.4167  
 6.6454  
 0.7713

323075  
 289475  
 33600

TOTAL IMPERV ADDED = 0.7713 = 57,600  
 + 33,600  
 91,200

Basin	<u>Lake 81</u>	Node	<u>Lake 81</u>	Basin Area	<u>32.94</u> acres
				Lake Area	<u>8.93</u> acres
Length of Street	<u>        </u> ft	x	<u>        </u> ft	=	<u>        </u> s.f.
	<u>2625</u> ft	x	<u>28</u> ft	=	<u>73500</u> s.f.
	<u>210</u> ft	x	<u>12</u> ft	=	<u>2520</u> s.f.
Length of Sidewalk	<u>2625</u> ft	x	<u>5</u> ft	=	<u>13125</u> s.f.
Front of Lots	<u>79</u>	x	<u>2700</u> sf	=	<u>213300</u> s.f.
Rear of Lots	<u>76</u>	x	<u>2400</u> sf	=	<u>182400</u> s.f.
Misc. Impervious -- Cul de sac	<u>1</u>		<u>42' Radius</u>	=	<u>1385.44236</u> s.f.
Total Impervious				=	<u>486230.442</u> s.f.
				=	<u>11.162315</u> acres
Composite CN =	[Lake*100 + Impervious*98 + Pervious * 80] / Total Area				= <u>91.52161</u>
Time of Concentration =	<u>22</u> minutes				

Basin	<u>Lake 82</u>	Node	<u>Lake 82</u>	Basin Area	<u>21.12</u> acres
				Lake Area	<u>4.154</u> acres
Length of Street	<u>        </u> ft	x	<u>        </u> ft	=	<u>        </u> s.f.
	<u>1550</u> ft	x	<u>28</u> ft	=	<u>43400</u> s.f.
	<u>155</u> ft	x	<u>24</u> ft	=	<u>3720</u> s.f.
	<u>210</u> ft	x	<u>12</u> ft	=	<u>2520</u> s.f.
Length of Sidewalk	<u>1550</u> ft	x	<u>5</u> ft	=	<u>7750</u> s.f.
	<u>0</u> ft	x	<u>7</u> ft	=	<u>0</u>
Front of Lots	<u>49</u>	x	<u>2700</u> sf	=	<u>132300</u> s.f.
Rear of Lots	<u>55</u>	x	<u>2400</u> sf	=	<u>132000</u> s.f.
Misc. Impervious -- Cul de sac	<u>1</u>		<u>42' Radius</u>	=	<u>1385.44236</u> s.f.
Total Impervious				=	<u>323075.442</u> s.f.
				=	<u>7.41679161</u> acres
Composite CN =	[Lake*100 + Impervious*98 + Pervious * 80] / Total Area				= <u>90.25484</u>
Time of Concentration =	<u>30</u> minutes				

1055  
 1975  
 866  
 3896

46.4 Ac.

Basin	<u>Lake 91</u>	Node	<u>Lake 91</u>	Basin Area	<u>48.92</u> acres
				Lake Area	<u>4.76</u> acres
Length of Street	<u>2260</u> ft	x	<u>28</u> ft	=	<u>63280</u> s.f.
	<u>1720</u> ft	x	<u>30</u> ft	=	<u>51600</u> s.f.
	ft	x	ft	=	<u>0</u> s.f.
Length of Sidewalk	<u>1720</u> ft	x	<u>6</u> ft	=	<u>10320</u> s.f.
Front of Lots	<u>168</u> <del>111</del>	x	<u>2700</u> sf	=	<u>299700</u> s.f.
Rear of Lots	<u>130</u> <del>111</del>	x	<u>2400</u> sf	=	<u>266400</u> s.f.
Misc. Impervious - Cul de sac	2		42' Radius	=	<u>2770.88472</u> s.f.
Total Impervious				=	<u>694070.885</u> s.f. = <u>15.933675</u> acres

FRONT REAR  
 72 72  
 25 25  
 33 33  
 38  
 168 130

Composite CN = [Lake\*100 + Impervious\*98 + Pervious \* 80] / Total Area = 87.81125  
 Time of Concentration = 34.58554379 minutes

Basin	<u>Lake 92</u>	Node	<u>Lake 92</u>	Basin Area	<u>34.54959</u> acres
				Lake Area	<u>6.952663</u> acres
Length of Street	<u>1700</u> ft	x	<u>30</u> ft	=	<u>51000</u> s.f.
	<u>1575</u> ft	x	<u>28</u> ft	=	<u>44100</u> s.f.
	ft	x	ft	=	<u>0</u> s.f.
Length of Sidewalk	<u>1700</u> ft	x	<u>6</u> ft	=	<u>10200</u> s.f.
	<u>0</u> ft	x	<u>7</u> ft	=	<u>0</u>
Front of Lots	<u>39</u>	x	<u>2700</u> sf	=	<u>105300</u> s.f.
Rear of Lots	<u>39</u>	x	<u>2400</u> sf	=	<u>93600</u> s.f.
CONDOS	<u>6</u>	x	<u>18000</u> sf	=	<u>108000</u> s.f.
Misc. Impervious - Cul de sac			42' Radius	=	<u>0</u> s.f.
Total Impervious				=	<u>412200</u> s.f. = <u>9.46280992</u> acres

Composite CN = [Lake\*100 + Impervious\*98 + Pervious \* 80] / Total Area = 88.95478  
 Time of Concentration = 31.20048443 minutes

Basin Lake 91 Node Lake 91 Basin Area 46.40 acres  
 Lake Area 7.48 acres

Length of Street 3896 ft x 28 ft = 109088 s.f.  
1720 ft x 30 ft = 51600 s.f.  
         ft x          ft = 0 s.f.

Length of Sidewalk 1720 ft x 6 ft = 10320 s.f.

Front of Lots 168 x 2700 sf = 453600 s.f.

Rear of Lots 130 x 2400 sf = 312000 s.f.

Misc. Impervious  
 -- Cul de sac 2 42' Radius = 2770.88472 s.f.

Total Impervious = 939378.885 s.f.  
 = 21.5651718 acres

Composite CN =  $[Lake*100 + Impervious*98 + Pervious * 80] / Total Area = \text{span style="border: 1px solid black; padding: 2px;">91.58994}$   
 Time of Concentration = 34.58554379 minutes

WESTLAKE -- Calculations for Wet Detention in Basin 'Lake-81', 'Lake-82', 'Lake 83', 'Lake 81B', 'Lake 81C',  
 'Wetland-8' of Plantation Bay assuming treatment occurs in Lake 81, 82, and 83  
 Consider treatment of Basins named: LAKE 81, LAKE 82, LAKE 83, LAKE 81B, LAKE 81C, WETLAND-8  
 - Post Development

			Now ACRES		
Total Basin Area	ADD 1.62 + 0.9	3,251,509	s.f.	3,361,280	74.64
Impervious Area	TOTAL ADD = 91,200	910,026	s.f.	1,001,226	20.89
(Pervious Area)		2,341,483			53.75
Treatment Volume					27.99%
Wet Detention					72.01%

1.0" runoff or 2.5" times impervious area  
 whichever is greater

1.0" Runoff	270,959.08	c.f.
2.5" x Impervious	189,588.7	c.f.

Treatment Volume Required = 270,959.1 c.f.

Lake	Stage	area	Treatment Volume	NEW AREA
81	25	431474	-	636,420
	26	459348	445,411.00	680,163
	27	487527	918,848.50	723,942
	28	516009	1,420,616.50	768,024
	28.5	530365	1,682,210.00	790,180

Treatment Volume falls between el = 25  
 and el = 26  
 Find Treatment volume elev.

Treatment Vol. Elev. =	25.62		
Half Treatment Height	25.32	440394	139,498.83
Treatment Height	25.62	448756	272,871.26
			136,435.63

Step 1. Size a means of drawdown stepped weir (square orifice) -- Full developmewnt of NW Quadrant  
 Final drawdown size once Unit 8 and Unit 10 have been developed.

Treatment Volume Depth (h1) =	0.62 ft
Half Treatment Volume	135479.54
Stage at Half Treatment Height (h2) =	25.32

h2 =	0.32 ft
h =	0.47 ft

The average flow rate required to drawdown one-half the volume in 27 hrs. is found to be: (Find Q required to drawdown 1/2 in 24 - 30 hrs, no more than 1/2 in first 24 hours)	1.394 cfs	=	270959
			27*3600

PLUS ... Drawdown from Lake 106 1.398

Total Drawdon Required = 2.792

WESTLAKE -- Calculations for Wet Detention for the northern section of Westlake, assuming treatment occurs in Lake 81, 82, and 83

Consider treatment of Basins named: LAKE 81, LAKE 82, LAKE 83  
 -- Post Development

		ACRES	
Total Basin Area	3,361,280 s.f.	77.16	
Impervious Area	1,001,226 s.f.	22.98	29.79%
(Pervious Area)	2,360,054	54.18	70.21%
Treatment Volume			
Wet Detention			

1.0" runoff or 2.5" times impervious area  
 whichever is greater

1.0" Runoff	280,106.67 c.f.
2.5" x Impervious	208,588.8 c.f.

Treatment Volume Required = 280,106.7 c.f.

	Stage	area	Treatment Volume
Lake 81	25	636420	-
	26	680163	658,291.50
	27	723942	1,360,344.00
	28	768024	2,106,327.00
	28.5	790180	2,495,878.00

Treatment Volume falls between el = 25  
 and el = 26

Find Treatment volume elev.

Treatment Vol. Elev. =	<b>25.44</b>		
Half Treatment Height	25.22	646043	141,070.98
Treatment Height	25.44	655667	284,259.12 142,129.56

Step 1. Size a means of drawdown stepped weir (square orifice)

Treatment Volume Depth (h1) =	0.44 ft
Half Treatment Volume	140053.33
Stage at Half Treatment Height (h2) =	25.22

h2 =	0.22 ft
h =	0.33 ft

The average flow rate required to drawdown  
 one-half the volume in 27 hrs. is found to be:  
 (Find Q required to drawdown 1/2 in 24 - 30  
 hrs, no more than 1/2 in first 24 hours)

$$1.441 \text{ cfs} = \frac{280107}{27 \times 3600}$$

Find the area of the orifice

$$Q = 3.0 * w * h^{(3/2)} \quad (\text{weir eqn.})$$

Q =	1.441 ft <sup>2</sup>
h =	0.33 ft
w	2.534 ft

Setting 'w' = 2.50 ft = 30 inches

Q = 1.422 cfs  
 Time Required to drawdown 1/2 volume = 27.36 hours

Since 27.36 hours is between 24 & 30 hours, this design is acceptable for proper drawdown.

Step 2. Calculate Permanent Pool Volume

$$PPV = \frac{DA * C * R * RT}{WS * CF}$$

**Rational Coefficient**

$$C = \frac{(\text{Impervious Area} + \text{Lake Area})(0.9) + (\text{Pervious})(0.2)}{\text{Total Area}}$$

= 0.54

R = Wet Season Rainfall depth = 30 in.  
 C = 0.54

RT = Residence Time = 21 days  
 WS = Wet Season Length = 153 days  
 CF = Conversion Factor = 12 in / ft

**PPV = 624032.2 cubic-ft**  
**= 14.33 ac-ft**

	Stage	area	Permanent Pool Vol. (sf)	Permanent Pool Vol. (ac-ft)
	13	210800	0	0.00
Normal Water Level	<b>25</b>	<b>636420</b>	<b>5083320</b>	<b>116.70</b>

The actual permanent pool volume (77.61 ac-ft) is greater than the required permanent pool volume (12.53 ac-ft)

**Step 3. Check the Mean Depth**

$$MD = \frac{PPV}{Ap} = \frac{116.70}{14.610}$$

Ap = Area of Pond measured at the control elevation.  
 ( Stage = 25' )

= 636420 s.f.  
 = 14.610 acres

MD = 7.99

This mean depth (7.83') corresponds to the criteria for required mean depth (2' - 8').



**WESTLAKE – Calculations for Wet Detention in Basin 'Lake-91' of Plantation Bay 2A-F, Unit 9**  
 assuming treatment occurs in Lake 91.

Consider treatment of Basins named: LAKE 91

– Post Development

Total Basin Area	2,021,184 → 2,130,738 s.f.	ACRES	46.4	
Impervious Area	694,071 s.f.		48.92	
(Pervious Area)	1,436,667		15.93	32.57%
Treatment Volume			32.98	67.43%
Wet Detention				

1.0" runoff or 2.5" times impervious area  
 whichever is greater

1.0" Runoff	177,561.50 c.f.
2.5" x Impervious	144,598.1 c.f.

Treatment Volume Required = 177,561.5 c.f.

Lake 91	NEW AREAS	Stage	area	Treatment Volume
	329,935	26	207523	-
	349,935	27	219201	213,362.00
	373,950	28	230985	438,455.00
	398,000	29	242875	675,385.00
		29.5	248860	798,318.75

Treatment Volume falls between el = 26  
 and el = 27

Find Treatment volume elev.

Treatment Vol. Elev. =	26.84			
Half Treatment Height	26.43	212545	90,314.52	
Treatment Height	26.84	217333	178,439.32	89,219.66

Step 1. Size a circular Orifice

Find the area of the orifice

Step 1. Size a means of drawdown stepped weir (square orifice)

Treatment Volume Depth (h1) =	0.84 ft
Half Treatment Volume	88780.75
Stage at Half Treatment Height (h2) =	26.43

h2 =	0.43 ft
h =	0.64 ft

The average flow rate required to drawdown  
 one-half the volume in 24 - 30 hrs. is found  
 to be:

$$0.000 \text{ cfs} = \frac{0.12}{27.2 \text{ hours} \times 3600}$$

Find the area of the orifice

$$Q = 3.0 * w * h^{3/2} \quad (\text{weir eqn.})$$

Q =	0.000 ft <sup>3</sup> /s
h =	0.64 ft

WESTLAKE -- Calculations for Wet Detention in Basin 'Lake-91' of Plantation Bay 2A-F, Unit 9  
 assuming treatment occurs in Lake 91.

Consider treatment of Basins named: LAKE 91  
 -- Post Development

		ACRES	
Total Basin Area	2,021,184 s.f.	46.40	
Impervious Area	939,379 s.f.	21.57	46.48%
(Pervious Area)	1,081,805	24.83	53.52%
Treatment Volume			
Wet Detention			

1.0" runoff or 2.5" times impervious area  
 whichever is greater

1.0" Runoff	168,432.00 c.f.
2.5" x Impervious	195,703.9 c.f.

Treatment Volume Required = 195,703.9 c.f.

Lake 91	Stage	area	Treatment Volume
	26	325935	-
	27	349935	337,935.00
	28	373950	699,877.50
	29	398000	1,085,852.50

Treatment Volume falls between el = 26  
 and el = 27  
 Find Treatment volume elev.

Treatment Vol. Elev. =	<b>26.59</b>		
Half Treatment Height	26.30	333135	98,860.50
Treatment Height	26.59	340095	196,478.85 98,239.43

Step 1. Size a circular Orifice

**Find the area of the orifice**

Step 1. Size a means of drawdown stepped weir (square orifice)

Treatment Volume Depth (h1) =	0.59 ft
Half Treatment Volume	97851.97
Stage at Half Treatment Height (h2) =	26.30

h2 =	0.30 ft
h =	0.45 ft

The average flow rate required to drawdown  
 one-half the volume in 24 - 30 hrs. is found  
 to be:

$$0.964 \text{ cfs} = \frac{195704 / 2}{28.2 \text{ hours} \times 3600}$$

**Find the area of the orifice**

$$Q = 3.0 * w * h^{3/2} \quad (\text{weir eqn.})$$

Q =	0.964 ft <sup>2</sup>
h =	0.45 ft

w = 1.082 ft  
 Setting 'w' = 1.08 ft = 12.984 inches  
 USE 13"  
 Q = 0.964 cfs  
 Time Required to drawdown 1/2 volume = 28.21 hours

Since 28.21 hours is between 24 & 30 hours, this design is acceptable for proper drawdown.

Step 2. Calculate Permanent Pool Volume

$$PPV = \frac{DA * C * R * RT}{WS * CF}$$

**Rational Coefficient**

$$C = \frac{(\text{Impervious Area} + \text{Lake Area})(0.9) + (\text{Pervious})(0.2)}{\text{Total Area}}$$

$$= 0.64$$

R = Wet Season Rainfall depth = 30 in.  
 C = 0.64

RT = Residence Time = 21 days  
 WS = Wet Season Length = 153 days  
 CF = Conversion Factor = 12 in / ft

$$PPV = 442632.1 \text{ cubic-ft}$$

$$= 10.16 \text{ ac-ft}$$

Stage	area	Permanent Pool Vol. (sf)	Permanent Pool Vol. (ac-ft)
16	140000	0	0.00
26	325935	2329675	53.48

The actual permanent pool volume (34.83 ac-ft) is greater than the required permanent pool volume (8.75 ac-ft)

**Step 3. Check the Mean Depth**

$$MD = \frac{PPV}{Ap} = \frac{53.48}{7.482}$$

Ap = Area of Pond measured at the control elevation.  
 ( Stage = 26' )

$$= 325935 \text{ s.f.}$$

$$= 7.482 \text{ acres}$$

$$MD = 7.15$$

This mean depth (7.31') corresponds to the criteria for required mean depth (2' - 8').

WESTLAKE  
AT  
PLANTATION BAY  
SECTION 2A-F, UNIT 12B

ICPR INPUT

=====  
Basins  
=====

Name: 9A-1                      Node: 9A-2                      Status: Onsite  
Group: 2AF9A                    Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 10.00  
Area(ac): 1.185                      Time Shift(hrs): 0.00  
Curve Number: 87.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

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Name: 9A-2                      Node: 9A-2                      Status: Onsite  
Group: 2AF9A                    Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 10.00  
Area(ac): 4.110                      Time Shift(hrs): 0.00  
Curve Number: 89.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

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Name: 9A-3                      Node: 9A-3                      Status: Onsite  
Group: 2AF9A                    Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 10.00  
Area(ac): 4.500                      Time Shift(hrs): 0.00  
Curve Number: 85.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

-----

Name: 9A-4                      Node: 9A-4                      Status: Onsite  
Group: 2AF9A                    Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 10.00  
Area(ac): 3.720                      Time Shift(hrs): 0.00  
Curve Number: 85.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

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Name: 9COM                      Node: 9COM                      Status: Onsite  
Group: 2AF9                    Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00

---

Rainfall Amount(in): 9.000	Time of Conc(min): 10.00
Area(ac): 16.420	Time Shift(hrs): 0.00
Curve Number: 89.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: 9COM_PRE	Node: EW CANAL	Status: Onsite
Group: BASE	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 45.00	
Area(ac): 8.000	Time Shift(hrs): 0.00	
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 101	Node: LAKE 101	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 32.00	
Area(ac): 19.052	Time Shift(hrs): 0.00	
Curve Number: 91.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 102	Node: LAKE 102	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 20.00	
Area(ac): 9.856	Time Shift(hrs): 0.00	
Curve Number: 93.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 103	Node: LAKE 103	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 16.00	
Area(ac): 4.396	Time Shift(hrs): 0.00	
Curve Number: 89.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 104	Node: LAKE 104	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	

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Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 30.00
Area(ac): 9.061	Time Shift(hrs): 0.00
Curve Number: 91.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: LAKE 105	Node: LAKE 105	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 33.00
Area(ac): 13.967	Time Shift(hrs): 0.00
Curve Number: 91.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: LAKE 106	Node: LAKE 106	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 21.00
Area(ac): 13.967	Time Shift(hrs): 0.00
Curve Number: 91.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: LAKE 111	Node: LAKE 111	Status: Onsite
Group: 2AF11	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 30.00
Area(ac): 7.967	Time Shift(hrs): 0.00
Curve Number: 90.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: LAKE 112	Node: LAKE 112	Status: Onsite
Group: 2AF11	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 31.00
Area(ac): 10.629	Time Shift(hrs): 0.00
Curve Number: 90.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: LAKE 113	Node: LAKE 113A	Status: Onsite
Group: 2AF11	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 29.00	
Area(ac): 23.722	Time Shift(hrs): 0.00	
Curve Number: 87.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 81	Node: LAKE 81	Status: Onsite
Group: 2AF8	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 22.00	
Area(ac): 32.940	Time Shift(hrs): 0.00	
Curve Number: 91.60	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 81B	Node: LAKE 81	Status: Onsite
Group: 2AF8	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 20.00	
Area(ac): 2.429	Time Shift(hrs): 0.00	
Curve Number: 84.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 81C	Node: LAKE 81	Status: Onsite
Group: 2AF8	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 78.00	
Area(ac): 5.160	Time Shift(hrs): 0.00	
Curve Number: 84.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: LAKE 82	Node: LAKE 81	Status: Onsite
Group: 2AF8	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 30.00	
Area(ac): 21.120	Time Shift(hrs): 0.00	
Curve Number: 90.30	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

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-----  
Name: LAKE 83                      Node: LAKE 83                      Status: Onsite  
Group: 2AF8                        Type: SCS Unit Hydrograph  
  
Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount (in): 9.000                      Time of Conc(min): 21.00  
Area(ac): 8.428                      Time Shift(hrs): 0.00  
Curve Number: 90.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

-----  
Name: LAKE 91                      Node: LAKE 91                      Status: Onsite  
Group: 2AF9                        Type: SCS Unit Hydrograph  
  
Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount (in): 9.000                      Time of Conc(min): 35.00  
Area(ac): 46.400                      Time Shift(hrs): 0.00  
Curve Number: 91.60                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

-----  
Name: LAKE 92                      Node: LAKE 92                      Status: Onsite  
Group: 2AF9                        Type: SCS Unit Hydrograph  
  
Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount (in): 9.000                      Time of Conc(min): 15.00  
Area(ac): 20.890                      Time Shift(hrs): 0.00  
Curve Number: 90.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

-----  
Name: LAKE 93                      Node: LAKE 93                      Status: Onsite  
Group: 2AF9                        Type: SCS Unit Hydrograph  
  
Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount (in): 9.000                      Time of Conc(min): 33.00  
Area(ac): 14.386                      Time Shift(hrs): 0.00  
Curve Number: 88.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

-----  
Name: LAKE 94                      Node: LAKE 94                      Status: Onsite  
Group: 2AF9                        Type: SCS Unit Hydrograph  
  
Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount (in): 9.000                      Time of Conc(min): 10.00

---

Area(ac): 11.660                      Time Shift(hrs): 0.00  
Curve Number: 87.00                  Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: LAKE 95                      Node: LAKE 95                      Status: Onsite  
Group: 2AF9                      Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 22.00  
Area(ac): 4.354                      Time Shift(hrs): 0.00  
Curve Number: 91.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: LAKE 96                      Node: LAKE 96                      Status: Onsite  
Group: 2AF9                      Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 23.00  
Area(ac): 11.564                      Time Shift(hrs): 0.00  
Curve Number: 91.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: LAKE 97                      Node: LAKE 97                      Status: Onsite  
Group: 2AF9                      Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 12.00  
Area(ac): 14.920                      Time Shift(hrs): 0.00  
Curve Number: 90.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: LAKE 98                      Node: LAKE 98                      Status: Onsite  
Group: 2AF9                      Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 20.00  
Area(ac): 4.690                      Time Shift(hrs): 0.00  
Curve Number: 91.50                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: NW-A                      Node: NW-A                      Status: Onsite  
Group: PRE                      Type: SCS Unit Hydrograph

---

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 89.00
Area(ac): 39.825	Time Shift(hrs): 0.00
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: NW-B	Node: NW-B	Status: Onsite
Group: PRE	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 91.00
Area(ac): 3.093	Time Shift(hrs): 0.00
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: NW-C	Node: NW-C	Status: Onsite
Group: PRE	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 117.00
Area(ac): 18.059	Time Shift(hrs): 0.00
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: NW-D	Node: NW-D	Status: Onsite
Group: PRE	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 106.00
Area(ac): 31.221	Time Shift(hrs): 0.00
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

---

Name: NW-E	Node: NW-E	Status: Onsite
Group: PRE	Type: SCS Unit Hydrograph	

Unit Hydrograph: Uh484	Peaking Factor: 484.0
Rainfall File: Flmod	Storm Duration(hrs): 24.00
Rainfall Amount(in): 9.000	Time of Conc(min): 32.00
Area(ac): 63.314	Time Shift(hrs): 0.00
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00	

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---

Name: NW-F	Node: NW-F	Status: Onsite
Group: PRE	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 109.00	
Area(ac): 108.630	Time Shift(hrs): 0.00	
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: NW-G	Node: NW-G	Status: Onsite
Group: PRE	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 89.00	
Area(ac): 108.810	Time Shift(hrs): 0.00	
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: WETLAND 10A	Node: WETLAND 10A	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 30.00	
Area(ac): 11.580	Time Shift(hrs): 0.00	
Curve Number: 80.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: WETLAND 10B	Node: WETLAND 10B	Status: Onsite
Group: 2AF10	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 13.00	
Area(ac): 38.501	Time Shift(hrs): 0.00	
Curve Number: 80.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---

Name: WETLAND 9A	Node: WETLAND 9A	Status: Onsite
Group: 2AF9	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File: Flmod	Storm Duration(hrs): 24.00	
Rainfall Amount(in): 9.000	Time of Conc(min): 20.00	
Area(ac): 12.840	Time Shift(hrs): 0.00	
Curve Number: 80.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

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Name: WETLAND 9B                      Node: WETLAND 9B                      Status: Onsite  
Group: 2AF9                              Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 49.00  
Area(ac): 38.501                      Time Shift(hrs): 0.00  
Curve Number: 80.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: WETLAND 9C                      Node: WETLAND 9C                      Status: Onsite  
Group: 2AF9                              Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 19.00  
Area(ac): 27.856                      Time Shift(hrs): 0.00  
Curve Number: 80.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: WETLAND 9D                      Node: WETLAND 9D                      Status: Onsite  
Group: 2AF9                              Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 31.00  
Area(ac): 29.847                      Time Shift(hrs): 0.00  
Curve Number: 80.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: WETLAND 9E                      Node: WETLAND 9E                      Status: Onsite  
Group: 2AF9                              Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 19.00  
Area(ac): 1.919                      Time Shift(hrs): 0.00  
Curve Number: 80.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

---

Name: WETLAND 9F                      Node: WETLAND 9F                      Status: Onsite  
Group: 2AF9                              Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
Rainfall Amount(in): 9.000                      Time of Conc(min): 30.00  
Area(ac): 16.240                      Time Shift(hrs): 0.00

Curve Number: 80.00                      Max Allowable Q(cfs): 999999.000  
 DCIA(%): 0.00

-----  
 Name: WETLAND 9G                      Node: WETLAND 9G                      Status: Onsite  
 Group: 2AF9                              Type: SCS Unit Hydrograph  
  
 Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
 Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
 Rainfall Amount(in): 9.000                      Time of Conc(min): 30.00  
 Area(ac): 14.710                      Time Shift(hrs): 0.00  
 Curve Number: 80.00                      Max Allowable Q(cfs): 999999.000  
 DCIA(%): 0.00

-----  
 Name: WETLAND-8                      Node: WETLAND-8                      Status: Onsite  
 Group: 2AF8                              Type: SCS Unit Hydrograph  
  
 Unit Hydrograph: Uh484                      Peaking Factor: 484.0  
 Rainfall File: Flmod                      Storm Duration(hrs): 24.00  
 Rainfall Amount(in): 9.000                      Time of Conc(min): 75.00  
 Area(ac): 7.086                      Time Shift(hrs): 0.00  
 Curve Number: 80.00                      Max Allowable Q(cfs): 999999.000  
 DCIA(%): 0.00

=====  
 Nodes =====  
 =====

Name: 9A-2                      Base Flow(cfs): 0.000                      Init Stage(ft): 26.000  
 Group: 2AF9A                      Warn Stage(ft): 29.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	1.1663
29.000	1.4471

-----  
 Name: 9A-3                      Base Flow(cfs): 0.000                      Init Stage(ft): 26.000  
 Group: 2AF9A                      Warn Stage(ft): 29.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	0.3896
29.000	0.5409

-----  
 Name: 9A-4                      Base Flow(cfs): 0.000                      Init Stage(ft): 26.000  
 Group: 2AF9A                      Warn Stage(ft): 29.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	0.6331
29.000	0.9110

Name: 9COM                      Base Flow(cfs): 0.000                      Init Stage(ft): 25.500  
 Group: 2AF9                      Warn Stage(ft): 30.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
25.500	2.9680
29.000	3.5580

Name: EW\_CANAL                      Base Flow(cfs): 0.000                      Init Stage(ft): 21.000  
 Group: BOTH                      Warn Stage(ft): 27.000  
 Type: Time/Stage

Time (hrs)	Stage (ft)
0.00	21.000
8.00	22.000
12.00	25.000
14.00	26.000
16.00	25.700
18.00	25.400
20.00	25.000
24.00	24.750
30.00	24.500
36.00	23.000
48.00	21.000
100.00	21.000

Name: LAKE 101                      Base Flow(cfs): 0.000                      Init Stage(ft): 27.500  
 Group: 2AF10                      Warn Stage(ft): 31.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
27.500	1.9060
28.500	2.0660
29.500	2.2280
30.500	2.3920
31.000	2.4750

Name: LAKE 102                      Base Flow(cfs): 0.000                      Init Stage(ft): 27.000  
 Group: 2AF10                      Warn Stage(ft): 30.500  
 Type: Stage/Area

---

Stage(ft)	Area(ac)
27.000	1.5150
28.000	1.6560
29.000	1.7990
30.000	1.9440
30.500	2.0180

---

Name: LAKE 103	Base Flow(cfs): 0.000	Init Stage(ft): 27.000
Group: 2AF10		Warn Stage(ft): 30.500
Type: Stage/Area		

---

Stage(ft)	Area(ac)
27.000	1.4840
28.000	1.6630
29.000	1.8460
30.000	2.0300
30.500	2.1230

---

Name: LAKE 104	Base Flow(cfs): 0.000	Init Stage(ft): 27.000
Group: 2AF10		Warn Stage(ft): 30.500
Type: Stage/Area		

---

Stage(ft)	Area(ac)
27.000	0.8520
28.000	0.9820
29.000	1.1130
30.000	1.2470
30.500	1.3150

---

Name: LAKE 105	Base Flow(cfs): 0.000	Init Stage(ft): 27.000
Group: 2AF10		Warn Stage(ft): 30.500
Type: Stage/Area		

---

Stage(ft)	Area(ac)
27.000	2.1310
28.000	2.2990
29.000	2.4700
30.000	2.5740
30.500	2.7310

---

Name: LAKE 106	Base Flow(cfs): 0.000	Init Stage(ft): 27.000
Group: 2AF10		Warn Stage(ft): 30.500
Type: Stage/Area		



---

Stage(ft)	Area(ac)
27.000	3.0720
28.000	3.3150
29.000	3.5610
30.000	3.8090
30.500	3.9330

---

Name: LAKE 111      Base Flow(cfs): 0.000      Init Stage(ft): 27.000  
 Group: 2AF11      Warn Stage(ft): 30.500  
 Type: Stage/Area

---

Stage(ft)	Area(ac)
27.000	0.7660
28.000	0.8350
29.000	0.9060
30.000	0.9800
30.500	1.0170

---

Name: LAKE 112      Base Flow(cfs): 0.000      Init Stage(ft): 27.000  
 Group: 2AF11      Warn Stage(ft): 30.500  
 Type: Stage/Area

---

Stage(ft)	Area(ac)
27.000	1.1700
28.000	1.2770
29.000	1.3870
30.000	1.4990
30.500	1.5560

---

Name: LAKE 113A      Base Flow(cfs): 0.000      Init Stage(ft): 27.000  
 Group: 2AF11      Warn Stage(ft): 30.500  
 Type: Stage/Area

---

Stage(ft)	Area(ac)
27.000	2.0150
28.000	2.1530
29.000	2.2930
30.000	2.4350
30.500	2.5070

---

Name: LAKE 113B      Base Flow(cfs): 0.000      Init Stage(ft): 27.000  
 Group: 2AF11      Warn Stage(ft): 30.500  
 Type: Stage/Area

---

Stage(ft)	Area(ac)
-----------	----------

Plantation Bay - Westlake Unit 12B  
POST DEVELOPMENT MODE  
INPUT DATA

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27.000	3.1900
28.000	3.4460
29.000	3.7050
30.000	3.9660
30.500	4.0980

---

Name: LAKE 81                    Base Flow(cfs): 0.000                    Init Stage(ft): 25.000  
Group: 2AF8                        Warn Stage(ft): 28.500  
Type: Stage/Area

Stage(ft)	Area(ac)
25.000	13.0840
26.000	13.4500
27.000	13.8100
28.000	14.1700
28.500	14.3500

---

Name: LAKE 83                    Base Flow(cfs): 0.000                    Init Stage(ft): 25.000  
Group: 2AF8                        Warn Stage(ft): 28.500  
Type: Stage/Area

Stage(ft)	Area(ac)
25.000	1.5320
26.000	1.6470
27.000	1.7630
28.000	1.8820
28.500	1.9420

---

Name: LAKE 91                    Base Flow(cfs): 0.000                    Init Stage(ft): 26.000  
Group: 2AF9                        Warn Stage(ft): 29.500  
Type: Stage/Area

Stage(ft)	Area(ac)
26.000	4.7640
27.000	5.0320
28.000	5.3030
29.000	5.5760
29.500	5.7130

---

Name: LAKE 92                    Base Flow(cfs): 0.000                    Init Stage(ft): 26.800  
Group: 2AF9                        Warn Stage(ft): 29.500  
Type: Stage/Area

Stage(ft)	Area(ac)
26.800	2.4667
28.000	2.8870

29.000      3.2400  
 29.500      3.4200

-----  
 Name: LAKE 93      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9      Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
26.000	1.8360
27.000	1.9730
28.000	2.1130
29.000	2.2560
29.500	2.4000

-----  
 Name: LAKE 94      Base Flow(cfs): 0.000      Init Stage(ft): 26.800  
 Group: 2AF9      Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
26.800	1.2420
28.000	1.3790
29.000	1.4960
30.000	1.6160

-----  
 Name: LAKE 95      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9      Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
26.000	1.4220
27.000	1.5900
28.000	1.7610
29.000	1.9340
29.500	2.0210

-----  
 Name: LAKE 96      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9      Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage(ft)	Area(ac)
26.000	0.2920
27.000	0.3450
28.000	0.4000
29.000	0.4570
29.500	0.4870

-----  
 Name: LAKE 97                  Base Flow(cfs): 0.000                  Init Stage(ft): 26.000  
 Group: 2AF9                          Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	2.4960
27.000	2.6590
28.000	2.9030
29.000	3.1490

-----  
 Name: Lake 97B                  Base Flow(cfs): 0.000                  Init Stage(ft): 26.000  
 Group: BASE                          Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	1.3290
27.000	1.4760
28.000	1.6260
29.000	1.7800

-----  
 Name: LAKE 98                  Base Flow(cfs): 0.000                  Init Stage(ft): 26.000  
 Group: 2AF9                          Warn Stage(ft): 29.500  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	1.7610
27.000	1.9010
28.000	2.0430
29.000	2.1870

-----  
 Name: NS\_CANAL                  Base Flow(cfs): 0.000                  Init Stage(ft): 21.000  
 Group: BOTH                          Warn Stage(ft): 27.000  
 Type: Time/Stage

Time (hrs)	Stage (ft)
0.00	21.000
8.00	22.000
12.00	25.000
14.00	26.000
16.00	25.700
18.00	25.400
20.00	25.000
24.00	24.750
30.00	24.500
36.00	23.000
48.00	21.000

100.00            21.000

-----  
 Name: NW-A                    Base Flow(cfs): 0.000            Init Stage(ft): 24.700  
 Group: PRE                    Warn Stage(ft): 28.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
24.700	0.0050
25.000	2.5800
26.000	27.5500

-----  
 Name: NW-B                    Base Flow(cfs): 0.000            Init Stage(ft): 25.000  
 Group: PRE                    Warn Stage(ft): 28.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
25.000	0.0050
26.500	0.3100
27.000	2.4100

-----  
 Name: NW-C                    Base Flow(cfs): 0.000            Init Stage(ft): 24.000  
 Group: PRE                    Warn Stage(ft): 28.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
24.000	0.0050
25.000	0.0100
26.500	4.4800
27.500	11.0020

-----  
 Name: NW-D                    Base Flow(cfs): 0.000            Init Stage(ft): 25.000  
 Group: PRE                    Warn Stage(ft): 28.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
25.000	1.7100
26.000	11.4800

-----  
 Name: NW-E                    Base Flow(cfs): 0.000            Init Stage(ft): 25.000  
 Group: PRE                    Warn Stage(ft): 28.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
------------	-----------

---

25.000	0.0800
26.000	7.6200
27.000	63.3100

---

Name: NW-F	Base Flow(cfs): 0.000	Init Stage(ft): 24.700
Group: PRE		Warn Stage(ft): 28.000
Type: Stage/Area		

Stage (ft)	Area (ac)
24.700	0.0100
25.000	9.4700
26.000	78.5000

---

Name: NW-G	Base Flow(cfs): 0.000	Init Stage(ft): 24.800
Group: PRE		Warn Stage(ft): 28.000
Type: Stage/Area		

Stage (ft)	Area (ac)
24.800	0.0100
25.000	1.6100
26.000	79.4000

---

Name: WETLAND 10A	Base Flow(cfs): 0.000	Init Stage(ft): 26.000
Group: 2AF10		Warn Stage(ft): 29.000
Type: Stage/Area		

Stage (ft)	Area (ac)
26.000	2.7250
29.000	4.1820

---

Name: WETLAND 10B	Base Flow(cfs): 0.000	Init Stage(ft): 26.000
Group: 2AF10		Warn Stage(ft): 29.000
Type: Stage/Area		

Stage (ft)	Area (ac)
26.000	3.0220
29.000	9.7580

---

Name: WETLAND 9A	Base Flow(cfs): 0.000	Init Stage(ft): 27.000
Group: 2AF9		Warn Stage(ft): 30.000
Type: Stage/Area		

Stage (ft)	Area (ac)
27.000	10.0810
29.000	11.5800

---

Name: WETLAND 9B      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9              Warn Stage(ft): 29.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	35.7230
29.000	38.5010

---

Name: WETLAND 9C      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9              Warn Stage(ft): 29.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	7.6930
27.000	11.0870
29.000	27.8560

---

Name: WETLAND 9D      Base Flow(cfs): 0.000      Init Stage(ft): 25.000  
 Group: 2AF9              Warn Stage(ft): 29.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
25.000	0.0100
25.500	2.6520
25.700	7.6570
26.000	15.2990
27.000	23.6190
29.000	29.8470

---

Name: WETLAND 9E      Base Flow(cfs): 0.000      Init Stage(ft): 26.000  
 Group: 2AF9              Warn Stage(ft): 29.000  
 Type: Stage/Area

Stage (ft)	Area (ac)
26.000	1.0400
29.000	1.9870

---

Name: WETLAND 9F      Base Flow(cfs): 0.000      Init Stage(ft): 24.500  
 Group: 2AF9              Warn Stage(ft): 27.000  
 Type: Stage/Area

---

Stage(ft)	Area(ac)
24.500	0.0050
25.000	7.2980
26.000	13.6020
27.000	15.2220

---

Name: WETLAND 9G                      Base Flow(cfs): 0.000                      Init Stage(ft): 24.000  
Group: 2AF9    Warn Stage(ft): 27.000  
Type: Stage/Area

---

Stage(ft)	Area(ac)
24.500	0.0050
25.000	0.0100
26.500	2.6560
27.000	7.1860
27.500	9.7800

---

Name: WETLAND-8                      Base Flow(cfs): 0.000                      Init Stage(ft): 27.000  
Group: 2AF8    Warn Stage(ft): 28.000  
Type: Stage/Area

---

Stage(ft)	Area(ac)
27.000	3.8700
28.000	6.6400

---

==== Cross Sections =====  
=====

Name: 9F    Group: 2AF9  
Encroachment: No

---

Station(ft)	Elevation(ft)	Manning's N
0.000	27.500	0.035000
6.000	24.700	0.035000
8.000	24.700	0.035000
16.000	27.100	0.035000

---

Name: A    Group: PRE  
Encroachment: No

---

Station(ft)	Elevation(ft)	Manning's N
0.000	26.800	0.035000



Plantation Bay - Westlake Unit 12B  
 POST DEVELOPMENT MODE  
 INPUT DATA

---

32.000	25.900	0.035000
50.000	24.700	0.035000
60.000	25.200	0.035000
70.000	26.700	0.035000

-----  
 Name: B                                      Group: PRE  
 Encroachment: No

Station(ft)	Elevation(ft)	Manning's N
0.000	26.900	0.035000
29.000	25.400	0.035000
52.000	28.600	0.035000

-----  
 Name: C                                      Group: PRE  
 Encroachment: No

Station(ft)	Elevation(ft)	Manning's N
0.000	29.300	0.035000
8.500	27.200	0.035000
16.000	24.000	0.035000
23.000	27.000	0.035000
32.000	32.000	0.035000

-----  
 Name: D                                      Group: PRE  
 Encroachment: No

Station(ft)	Elevation(ft)	Manning's N
0.000	27.300	0.035000
45.000	25.300	0.035000
55.000	27.100	0.035000

-----  
 Name: E                                      Group: PRE  
 Encroachment: No

Station(ft)	Elevation(ft)	Manning's N
0.000	27.000	0.035000
30.000	26.000	0.035000
50.000	26.000	0.035000
80.000	27.000	0.035000

-----  
 Name: F                                      Group: PRE  
 Encroachment: No

Plantation Bay - Westlake Unit 12B  
 POST DEVELOPMENT MODE  
 INPUT DATA

Station(ft)	Elevation(ft)	Manning's N
0.000	27.500	0.035000
6.000	24.700	0.035000
8.000	24.700	0.035000
16.000	27.100	0.035000

Name: G                                  Group: PRE  
 Encroachment: No

Station(ft)	Elevation(ft)	Manning's N
0.000	27.300	0.035000
11.000	26.700	0.035000
15.000	25.600	0.035000
19.000	24.800	0.035000
27.000	25.500	0.035000
34.000	27.900	0.035000

==== Operating Tables =====

Name:                                  Group: BASE  
 Type: Bottom Clip  
 Function: Time vs. Depth of Clip

Time(hrs)    Clip Depth(in)  
 -----

==== Pipes =====

Name: 102->104		From Node: LAKE 102	Length(ft): 370.00
Group: 2AF10		To Node: LAKE 104	Count: 1
		Friction Equation: Average Conveyance	
UPSTREAM	DOWNSTREAM	Solution Algorithm: Automatic	
Geometry: Circular	Circular	Flow: Both	
Span(in): 36.00	36.00	Entrance Loss Coef: 0.50	
Rise(in): 36.00	36.00	Exit Loss Coef: 1.00	
Invert(ft): 25.000	24.000	Bend Loss Coef: 0.00	
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw	
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn	
Bot Clip(in): 0.000	0.000	Stabilizer Option: None	

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

---

Name: 103->102	From Node: LAKE 103	Length(ft): 410.00
Group: 2AF10	To Node: LAKE 102	Count: 1
		Friction Equation: Average Conveyance
UPSTREAM	DOWNSTREAM	Solution Algorithm: Automatic
Geometry: Circular	Circular	Flow: Both
Span(in): 24.00	24.00	Entrance Loss Coef: 0.50
Rise(in): 24.00	24.00	Exit Loss Coef: 1.00
Invert(ft): 25.000	24.000	Bend Loss Coef: 0.00
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Stabilizer Option: None

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

---

Name: 104->105	From Node: LAKE 104	Length(ft): 370.00
Group: 2AF10	To Node: LAKE 105	Count: 1
		Friction Equation: Average Conveyance
UPSTREAM	DOWNSTREAM	Solution Algorithm: Automatic
Geometry: Circular	Circular	Flow: Both
Span(in): 42.00	42.00	Entrance Loss Coef: 0.50
Rise(in): 42.00	42.00	Exit Loss Coef: 1.00
Invert(ft): 24.500	23.500	Bend Loss Coef: 0.00
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Stabilizer Option: None

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

---

Name: 105->106	From Node: LAKE 105	Length(ft): 400.00
Group: BASE	To Node: LAKE 106	Count: 1
		Friction Equation: Average Conveyance
UPSTREAM	DOWNSTREAM	Solution Algorithm: Automatic
Geometry: Circular	Circular	Flow: Both
Span(in): 36.00	36.00	Entrance Loss Coef: 0.50
Rise(in): 36.00	36.00	Exit Loss Coef: 1.00
Invert(ft): 24.000	23.000	Bend Loss Coef: 0.00
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Stabilizer Option: None

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
Circular Concrete: Square edge w/ headwall

---

Name: 111->113A	From Node: LAKE 111	Length(ft): 450.00
Group: 2AF11	To Node: LAKE 113A	Count: 1
		Friction Equation: Average Conveyance
		Solution Algorithm: Automatic
UPSTREAM	DOWNSTREAM	Flow: Both
Geometry: Circular	Circular	Entrance Loss Coef: 0.50
Span(in): 36.00	36.00	Exit Loss Coef: 1.00
Rise(in): 36.00	36.00	Bend Loss Coef: 0.00
Invert(ft): 25.000	24.000	Outlet Ctrl Spec: Use dc or tw
Manning's N: 0.013000	0.013000	Inlet Ctrl Spec: Use dn
Top Clip(in): 0.000	0.000	Stabilizer Option: None
Bot Clip(in): 0.000	0.000	

Upstream FHWA Inlet Edge Description:  
Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
Circular Concrete: Square edge w/ headwall

---

Name: 112->113A	From Node: LAKE 112	Length(ft): 450.00
Group: 2AF11	To Node: LAKE 113A	Count: 1
		Friction Equation: Average Conveyance
		Solution Algorithm: Automatic
UPSTREAM	DOWNSTREAM	Flow: Both
Geometry: Circular	Circular	Entrance Loss Coef: 0.50
Span(in): 36.00	36.00	Exit Loss Coef: 1.00
Rise(in): 36.00	36.00	Bend Loss Coef: 0.00
Invert(ft): 25.000	24.000	Outlet Ctrl Spec: Use dc or tw
Manning's N: 0.013000	0.013000	Inlet Ctrl Spec: Use dn
Top Clip(in): 0.000	0.000	Stabilizer Option: None
Bot Clip(in): 0.000	0.000	

Upstream FHWA Inlet Edge Description:  
Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
Circular Concrete: Square edge w/ headwall

---

Name: 113A->113B	From Node: LAKE 113A	Length(ft): 130.00
Group: 2AF11	To Node: LAKE 113B	Count: 1
		Friction Equation: Average Conveyance
		Solution Algorithm: Automatic
UPSTREAM	DOWNSTREAM	Flow: Both
Geometry: Circular	Circular	Entrance Loss Coef: 0.50
Span(in): 36.00	36.00	Exit Loss Coef: 1.00
Rise(in): 36.00	36.00	Bend Loss Coef: 0.00
Invert(ft): 24.500	24.000	Outlet Ctrl Spec: Use dc or tw
Manning's N: 0.013000	0.013000	

---

Top Clip(in): 0.000                      0.000                      Inlet Ctrl Spec: Use dn  
 Bot Clip(in): 0.000                      0.000                      Stabilizer Option: None

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

---

Name: 83->81	From Node: LAKE 83	Length(ft): 360.00
Group: 2AF8	To Node: LAKE 81	Count: 1
		Friction Equation: Average Conveyance
UPSTREAM	DOWNSTREAM	Solution Algorithm: Automatic
Geometry: Circular	Circular	Flow: Both
Span(in): 36.00	36.00	Entrance Loss Coef: 0.70
Rise(in): 36.00	36.00	Exit Loss Coef: 1.00
Invert(ft): 24.000	24.000	Bend Loss Coef: 0.00
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Stabilizer Option: None

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

---

Name: 93->94	From Node: LAKE 93	Length(ft): 1114.00
Group: 2AF9	To Node: LAKE 94	Count: 1
		Friction Equation: Average Conveyance
UPSTREAM	DOWNSTREAM	Solution Algorithm: Automatic
Geometry: Circular	Circular	Flow: Both
Span(in): 36.00	36.00	Entrance Loss Coef: 0.50
Rise(in): 36.00	36.00	Exit Loss Coef: 1.00
Invert(ft): 24.500	23.500	Bend Loss Coef: 0.00
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Stabilizer Option: None

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

---

Name: 95->96	From Node: LAKE 95	Length(ft): 370.00
Group: 2AF9	To Node: LAKE 96	Count: 1

	UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry:	Circular	Circular	Solution Algorithm: Automatic
Span(in):	36.00	36.00	Flow: Both
Rise(in):	36.00	36.00	Entrance Loss Coef: 0.50
Invert(ft):	25.000	24.000	Exit Loss Coef: 1.00
Manning's N:	0.013000	0.013000	Bend Loss Coef: 0.00
Top Clip(in):	0.000	0.000	Outlet Ctrl Spec: Use dc or tw
Bot Clip(in):	0.000	0.000	Inlet Ctrl Spec: Use dn
			Stabilizer Option: None

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Name:	97->97B	From Node:	LAKE 97	Length(ft):	355.00
Group:	2AF9	To Node:	LAKE 97B	Count:	1
	UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance		
Geometry:	Circular	Circular	Solution Algorithm: Automatic		
Span(in):	36.00	36.00	Flow: Both		
Rise(in):	36.00	36.00	Entrance Loss Coef: 0.50		
Invert(ft):	25.000	24.500	Exit Loss Coef: 1.00		
Manning's N:	0.013000	0.013000	Bend Loss Coef: 0.00		
Top Clip(in):	0.000	0.000	Outlet Ctrl Spec: Use dc or tw		
Bot Clip(in):	0.000	0.000	Inlet Ctrl Spec: Use dn		
			Stabilizer Option: None		

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Name:	98->97	From Node:	LAKE 98	Length(ft):	290.00
Group:	2AF9	To Node:	LAKE 97	Count:	1
	UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance		
Geometry:	Circular	Circular	Solution Algorithm: Automatic		
Span(in):	24.00	24.00	Flow: Both		
Rise(in):	24.00	24.00	Entrance Loss Coef: 0.50		
Invert(ft):	25.500	25.000	Exit Loss Coef: 1.00		
Manning's N:	0.013000	0.013000	Bend Loss Coef: 0.00		
Top Clip(in):	0.000	0.000	Outlet Ctrl Spec: Use dc or tw		
Bot Clip(in):	0.000	0.000	Inlet Ctrl Spec: Use dn		
			Stabilizer Option: None		

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:

Circular Concrete: Square edge w/ headwall

```

-----
Name: WL9B->WL9A      From Node: WETLAND 9B      Length(ft): 80.00
Group: 2AF9            To Node: WETLAND 9A      Count: 3
                        Friction Equation: Average Conveyance
                        Solution Algorithm: Automatic
                        Flow: Both
UPSTREAM              DOWNSTREAM
Geometry: Horz Ellipse Horz Ellipse
Span(in): 23.00       23.00
Rise(in): 14.00       14.00
Invert(ft): 26.100    26.000
Manning's N: 0.013000 0.013000
Top Clip(in): 0.000   0.000
Bot Clip(in): 0.000   0.000
Entrance Loss Coef: 0.50
Exit Loss Coef: 1.00
Bend Loss Coef: 0.00
Outlet Ctrl Spec: Use dc or tw
Inlet Ctrl Spec: Use dn
Stabilizer Option: None
  
```

Upstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

Downstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

```

-----
Name: WL9C->WL9D      From Node: WETLAND 9C      Length(ft): 100.00
Group: 2AF9            To Node: WETLAND 9D      Count: 3
                        Friction Equation: Average Conveyance
                        Solution Algorithm: Automatic
                        Flow: Both
UPSTREAM              DOWNSTREAM
Geometry: Horz Ellipse Horz Ellipse
Span(in): 23.00       23.00
Rise(in): 14.00       14.00
Invert(ft): 26.100    26.000
Manning's N: 0.013000 0.013000
Top Clip(in): 0.000   0.000
Bot Clip(in): 0.000   0.000
Entrance Loss Coef: 0.50
Exit Loss Coef: 1.00
Bend Loss Coef: 0.00
Outlet Ctrl Spec: Use dc or tw
Inlet Ctrl Spec: Use dn
Stabilizer Option: None
  
```

Upstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

Downstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

```

-----
Name: WL9D->WL9E      From Node: WETLAND 9E      Length(ft): 130.00
Group: 2AF9            To Node: WETLAND 9D      Count: 2
                        Friction Equation: Average Conveyance
                        Solution Algorithm: Automatic
                        Flow: Both
UPSTREAM              DOWNSTREAM
Geometry: Horz Ellipse Horz Ellipse
Span(in): 30.00       30.00
Rise(in): 19.00       19.00
Invert(ft): 26.000    26.000
Manning's N: 0.013000 0.013000
Top Clip(in): 0.000   0.000
Bot Clip(in): 0.000   0.000
Entrance Loss Coef: 0.50
Exit Loss Coef: 1.00
Bend Loss Coef: 0.00
Outlet Ctrl Spec: Use dc or tw
Inlet Ctrl Spec: Use dn
Stabilizer Option: None
  
```

Upstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

Downstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

==== Drop Structures =====

Name: 101->104	From Node: LAKE 101	Length(ft): 600.00
Group: 2AF10	To Node: LAKE 104	Count: 1
UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 36.00	36.00	Flow: Both
Rise(in): 36.00	36.00	Entrance Loss Coef: 0.500
Invert(ft): 25.000	23.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 101->104 \*\*\*

Count: 1	Bottom Clip(in): 0.000	TABLE
Type: Vertical: Mavis	Top Clip(in): 0.000	
Flow: Both	Weir Disc Coef: 3.200	
Geometry: Circular	Orifice Disc Coef: 0.600	
Span(in): 5.00	Invert(ft): 27.500	
Rise(in): 5.00	Control Elev(ft): 27.500	

\*\*\* Weir 2 of 2 for Drop Structure 101->104 \*\*\*

Count: 1	Bottom Clip(in): 0.000	TABLE
Type: Vertical: Mavis	Top Clip(in): 0.000	
Flow: Both	Weir Disc Coef: 3.200	
Geometry: Rectangular	Orifice Disc Coef: 0.600	
Span(in): 90.00	Invert(ft): 28.490	
Rise(in): 9999.00	Control Elev(ft): 28.490	

Name: 106->81	From Node: LAKE 106	Length(ft): 625.00
Group: 2AF10	To Node: LAKE 81	Count: 1
UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic



Span(in): 18.00	24.00	Flow: Both
Rise(in): 18.00	24.00	Entrance Loss Coef: 0.500
Invert(ft): 25.000	23.750	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 106->81 \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 27.00	Invert(ft): 27.000
Rise(in): 99999.00	Control Elev(ft): 27.000

TABLE

\*\*\* Weir 2 of 2 for Drop Structure 106->81 \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 27.00	Invert(ft): 27.460
Rise(in): 9999.00	Control Elev(ft): 27.460

TABLE

-----  
 Name: 10A->106      From Node: WETLAND 10A      Length(ft): 80.00  
 Group: 2AF10      To Node: LAKE 106      Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 18.00	18.00	Flow: Both
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.500
Invert(ft): 24.000	23.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 1 for Drop Structure 10A->106 \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200

TABLE

Geometry: Rectangular                      Orifice Disc Coef: 0.600  
 Span(in): 120.00                              Invert(ft): 27.000  
 Rise(in): 9999.00                            Control Elev(ft): 27.000

-----  
 Name: 10B->102                      From Node: WETLAND 10B                      Length(ft): 80.00  
 Group: 2AF10                              To Node: LAKE 102                              Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 18.00	18.00	Flow: Both
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.500
Invert(ft): 24.000	23.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 1 for Drop Structure 10B->102 \*\*\*

TABLE

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 120.00	Invert(ft): 27.000
Rise(in): 9999.00	Control Elev(ft): 27.000

-----  
 Name: 113B->93                      From Node: LAKE 113B                      Length(ft): 750.00  
 Group: 2AF11                              To Node: LAKE 93                              Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 36.00	36.00	Flow: Both
Rise(in): 36.00	36.00	Entrance Loss Coef: 0.500
Invert(ft): 25.000	23.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 113B->93 \*\*\*

TABLE

Count: 1	Bottom Clip(in): 0.000
----------	------------------------

Type: Vertical: Mavis                      Top Clip(in): 0.000  
 Flow: Both                                      Weir Disc Coef: 3.200  
 Geometry: Rectangular                      Orifice Disc Coef: 0.600  
  
 Span(in): 14.00                                      Invert(ft): 27.000  
 Rise(in): 9999.00                              Control Elev(ft): 27.000

\*\*\* Weir 2 of 2 for Drop Structure 113B->93 \*\*\*

TABLE

Count: 1                                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis                      Top Clip(in): 0.000  
 Flow: Both                                      Weir Disc Coef: 3.200  
 Geometry: Rectangular                      Orifice Disc Coef: 0.600  
  
 Span(in): 22.00                                      Invert(ft): 27.490  
 Rise(in): 9999.00                              Control Elev(ft): 27.490

-----  
 Name: 81->OFF                      From Node: LAKE 81                      Length(ft): 510.00  
 Group: 2AF8                              To Node: NS\_CANAL                      Count: 1  
  
 UPSTREAM                      DOWNSTREAM                      Friction Equation: Average Conveyance  
 Geometry: Circular                      Circular                      Solution Algorithm: Automatic  
 Span(in): 30.00                      30.00                      Flow: Positive  
 Rise(in): 30.00                      30.00                      Entrance Loss Coef: 0.500  
 Invert(ft): 24.000                      22.000                      Exit Loss Coef: 1.000  
 Manning's N: 0.013000                      0.013000                      Outlet Ctrl Spec: Use dc or tw  
 Top Clip(in): 0.000                      0.000                      Inlet Ctrl Spec: Use dn  
 Bot Clip(in): 0.000                      0.000                      Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 81->OFF \*\*\*

TABLE

Count: 1                                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis                      Top Clip(in): 0.000  
 Flow: Both                                      Weir Disc Coef: 3.200  
 Geometry: Rectangular                      Orifice Disc Coef: 0.600  
  
 Span(in): 35.00                                      Invert(ft): 25.000  
 Rise(in): 9999.00                              Control Elev(ft): 25.000

\*\*\* Weir 2 of 2 for Drop Structure 81->OFF \*\*\*

TABLE

Count: 1                                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis                      Top Clip(in): 0.000  
 Flow: Both                                      Weir Disc Coef: 3.200  
 Geometry: Rectangular                      Orifice Disc Coef: 0.600  
  
 Span(in): 0.01                                      Invert(ft): 25.620  
 Rise(in): 99999.00                              Control Elev(ft): 25.620

-----  
 Name: 91->81                      From Node: LAKE 91                      Length(ft): 370.00

---

Group: 2AF9	To Node: LAKE 81	Count: 1
-------------	------------------	----------

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 36.00	36.00	Flow: Both
Rise(in): 36.00	36.00	Entrance Loss Coef: 0.500
Invert(ft): 25.000	23.800	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 1 for Drop Structure 91->81 \*\*\*

Count: 1	Bottom Clip(in): 0.000	TABLE
Type: Vertical: Mavis	Top Clip(in): 0.000	
Flow: Both	Weir Disc Coef: 3.200	
Geometry: Rectangular	Orifice Disc Coef: 0.600	
Span(in): 230.00	Invert(ft): 26.590	
Rise(in): 9999.00	Control Elev(ft): 26.590	

---

Name: 91->NS	From Node: LAKE 91	Length(ft): 650.00
Group: 2AF9	To Node: NS_CANAL	Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 36.00	36.00	Flow: Positive
Rise(in): 36.00	36.00	Entrance Loss Coef: 0.500
Invert(ft): 23.000	22.000	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 91->NS \*\*\*

Count: 1	Bottom Clip(in): 0.000	TABLE
Type: Vertical: Mavis	Top Clip(in): 0.000	
Flow: Both	Weir Disc Coef: 3.200	
Geometry: Rectangular	Orifice Disc Coef: 0.600	
Span(in): 13.00	Invert(ft): 26.000	
Rise(in): 99999.00	Control Elev(ft): 26.000	

\*\*\* Weir 2 of 2 for Drop Structure 91->NS \*\*\*

TABLE

Count: 1  
 Type: Vertical: Mavis  
 Flow: Both  
 Geometry: Rectangular  
 Span(in): 41.00  
 Rise(in): 99999.00  
 Bottom Clip(in): 0.000  
 Top Clip(in): 0.000  
 Weir Disc Coef: 3.200  
 Orifice Disc Coef: 0.600  
 Invert(ft): 26.590  
 Control Elev(ft): 26.590

-----  
 Name: 92>97B                      From Node: LAKE 92                      Length(ft): 190.00  
 Group: 2AF9                        To Node: LAKE 97B                      Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 48.00	48.00	Flow: Positive
Rise(in): 48.00	48.00	Entrance Loss Coef: 0.000
Invert(ft): 25.000	24.000	Exit Loss Coef: 0.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 92>97B \*\*\*

TABLE

Count: 1  
 Type: Vertical: Mavis  
 Flow: Both  
 Geometry: Rectangular  
 Span(in): 120.00  
 Rise(in): 9999.00  
 Bottom Clip(in): 0.000  
 Top Clip(in): 0.000  
 Weir Disc Coef: 3.200  
 Orifice Disc Coef: 0.600  
 Invert(ft): 27.540  
 Control Elev(ft): 27.540

\*\*\* Weir 2 of 2 for Drop Structure 92>97B \*\*\*

TABLE

Count: 1  
 Type: Vertical: Mavis  
 Flow: Both  
 Geometry: Rectangular  
 Span(in): 4.00  
 Rise(in): 9999.00  
 Bottom Clip(in): 0.000  
 Top Clip(in): 0.000  
 Weir Disc Coef: 3.200  
 Orifice Disc Coef: 0.600  
 Invert(ft): 26.800  
 Control Elev(ft): 26.800

-----  
 Name: 94->98                      From Node: LAKE 94                      Length(ft): 245.00  
 Group: 2AF9                        To Node: LAKE 98                      Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 36.00	36.00	Flow: Positive
Rise(in): 36.00	36.00	Entrance Loss Coef: 0.500
Invert(ft): 22.800	22.000	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw

---

Top Clip(in): 0.000                    0.000                    Inlet Ctrl Spec: Use dn  
 Bot Clip(in): 0.000                    0.000                    Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 94->98 \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 49.00	Invert(ft): 27.560
Rise(in): 99999.00	Control Elev(ft): 27.560

TABLE

\*\*\* Weir 2 of 2 for Drop Structure 94->98 \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 2.25	Invert(ft): 26.800
Rise(in): 99999.00	Control Elev(ft): 26.800

TABLE

---

Name: 96->WL9D	From Node: LAKE 96	Length(ft): 30.00
Group: 2AF9	To Node: WETLAND 9D	Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 24.00	24.00	Flow: Both
Rise(in): 24.00	24.00	Entrance Loss Coef: 0.500
Invert(ft): 24.500	24.000	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 96->WL9D \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Horizontal	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Circular	Orifice Disc Coef: 0.600
Span(in): 4.50	Invert(ft): 26.000
Rise(in): 4.50	Control Elev(ft): 26.000

TABLE

\*\*\* Weir 2 of 2 for Drop Structure 96->WL9D \*\*\*

Count: 1  
 Type: Vertical: Mavis  
 Flow: Both  
 Geometry: Rectangular  
 Span(in): 54.00  
 Rise(in): 9999.00  
 Bottom Clip(in): 0.000  
 Top Clip(in): 0.000  
 Weir Disc Coef: 3.200  
 Orifice Disc Coef: 0.600  
 Invert(ft): 26.880  
 Control Elev(ft): 26.880

TABLE

-----  
 Name: 97B>NS                      From Node: LAKE 97B                      Length(ft): 50.00  
 Group: 2AF9                        To Node: NS\_CANAL                        Count: 1  
 UPSTREAM                      DOWNSTREAM                      Friction Equation: Average Conveyance  
 Geometry: Circular              Circular                      Solution Algorithm: Automatic  
 Span(in): 24.00                  24.00                      Flow: Both  
 Rise(in): 24.00                  24.00                      Entrance Loss Coef: 0.500  
 Invert(ft): 22.500              22.000                      Exit Loss Coef: 1.000  
 Manning's N: 0.013000          0.013000                      Outlet Ctrl Spec: Use dc or tw  
 Top Clip(in): 0.000              0.000                      Inlet Ctrl Spec: Use dn  
 Bot Clip(in): 0.000              0.000                      Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 97B>NS \*\*\*

Count: 1  
 Type: Vertical: Mavis  
 Flow: Both  
 Geometry: Rectangular  
 Span(in): 13.00  
 Rise(in): 6.50  
 Bottom Clip(in): 0.000  
 Top Clip(in): 3.000  
 Weir Disc Coef: 3.200  
 Orifice Disc Coef: 0.600  
 Invert(ft): 26.000  
 Control Elev(ft): 26.000

TABLE

\*\*\* Weir 2 of 2 for Drop Structure 97B>NS \*\*\*

Count: 1  
 Type: Vertical: Mavis  
 Flow: Both  
 Geometry: Rectangular  
 Span(in): 13.00  
 Rise(in): 6.50  
 Bottom Clip(in): 0.000  
 Top Clip(in): 3.000  
 Weir Disc Coef: 3.200  
 Orifice Disc Coef: 0.600  
 Invert(ft): 26.370  
 Control Elev(ft): 26.370

TABLE

-----  
 Name: 9A2->OFF                      From Node: 9A-2                      Length(ft): 850.00  
 Group: 2AF9A                        To Node: EW\_CANAL                        Count: 1  
 UPSTREAM                      DOWNSTREAM                      Friction Equation: Average Conveyance  
 Geometry: Circular              Circular                      Solution Algorithm: Automatic  
 Span(in): 18.00                  18.00                      Flow: Positive  
 Rise(in): 18.00                  18.00                      Entrance Loss Coef: 0.500

Invert(ft): 24.200	22.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 9A2->OFF \*\*\*

TABLE

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 2.50	Invert(ft): 26.000
Rise(in): 9999.00	Control Elev(ft): 26.000

\*\*\* Weir 2 of 2 for Drop Structure 9A2->OFF \*\*\*

TABLE

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 84.00	Invert(ft): 26.380
Rise(in): 9999.00	Control Elev(ft): 26.380

Name: 9A3->OFF	From Node: 9A-3	Length(ft): 278.00
Group: 2AF9A	To Node: EW_CANAL	Count: 1
UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 18.00	18.00	Flow: Positive
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.500
Invert(ft): 23.100	22.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 9A3->OFF \*\*\*

TABLE

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Circular	Orifice Disc Coef: 0.600



Span(in) : 2.50                      Invert(ft) : 26.000  
 Rise(in) : 2.50                      Control Elev(ft) : 26.000

\*\*\* Weir 2 of 2 for Drop Structure 9A3->OFF \*\*\*

TABLE

Count: 1                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis              Top Clip(in): 0.000  
 Flow: Both                      Weir Disc Coef: 3.200  
 Geometry: Rectangular              Orifice Disc Coef: 0.600  
 Span(in) : 84.00                      Invert(ft) : 26.910  
 Rise(in) : 9999999.00              Control Elev(ft) : 26.910

Name: 9A4->OFF                      From Node: 9A-4                      Length(ft): 35.00  
 Group: 2AF9A                      To Node: EW\_CANAL                      Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 18.00	18.00	Flow: Positive
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.500
Invert(ft): 23.000	22.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 9A4->OFF \*\*\*

TABLE

Count: 1                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis              Top Clip(in): 0.000  
 Flow: Both                      Weir Disc Coef: 3.200  
 Geometry: Circular                      Orifice Disc Coef: 0.600  
 Span(in) : 3.50                      Invert(ft) : 26.000  
 Rise(in) : 3.50                      Control Elev(ft) : 26.000

\*\*\* Weir 2 of 2 for Drop Structure 9A4->OFF \*\*\*

TABLE

Count: 1                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis              Top Clip(in): 0.000  
 Flow: Both                      Weir Disc Coef: 3.200  
 Geometry: Rectangular              Orifice Disc Coef: 0.600  
 Span(in) : 84.00                      Invert(ft) : 26.480  
 Rise(in) : 99999.00                      Control Elev(ft) : 26.480

Name: 9COM->EW                      From Node: 9COM                      Length(ft): 50.00  
 Group: 2AF9                      To Node: EW\_CANAL                      Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic

Span(in): 24.00	24.00	Flow: Positive
Rise(in): 24.00	24.00	Entrance Loss Coef: 0.500
Invert(ft): 22.500	22.000	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure 9COM->EW \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Circular	Orifice Disc Coef: 0.600
Span(in): 6.00	Invert(ft): 25.500
Rise(in): 6.00	Control Elev(ft): 25.500

TABLE

\*\*\* Weir 2 of 2 for Drop Structure 9COM->EW \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 24.00	Invert(ft): 26.100
Rise(in): 99999.00	Control Elev(ft): 26.100

TABLE

-----  
 Name: WET8->83      From Node: WETLAND-8      Length(ft): 370.00  
 Group: 2AF8      To Node: LAKE 83      Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Horz Ellipse	Horz Ellipse	Solution Algorithm: Automatic
Span(in): 23.00	23.00	Flow: Both
Rise(in): 14.00	14.00	Entrance Loss Coef: 0.500
Invert(ft): 25.450	24.800	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

Downstream FHWA Inlet Edge Description:  
 Horizontal Ellipse Concrete: Square edge with headwall

\*\*\* Weir 1 of 2 for Drop Structure WET8->83 \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200

TABLE

Geometry: Rectangular                      Orifice Disc Coef: 0.600  
 Span(in): 56.00                                      Invert(ft): 27.000  
 Rise(in): 99999.00                                  Control Elev(ft): 27.000

\*\*\* Weir 2 of 2 for Drop Structure WET8->83 \*\*\*

TABLE

Count: 1                                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis                      Top Clip(in): 0.000  
 Flow: Both                                      Weir Disc Coef: 3.200  
 Geometry: Rectangular                      Orifice Disc Coef: 0.600  
 Span(in): 72.00                                      Invert(ft): 28.000  
 Rise(in): 9999.00                                  Control Elev(ft): 28.000

-----  
 Name: WL9A->EW                      From Node: WETLAND 9A                      Length(ft): 80.00  
 Group: 2AF9                                  To Node: LAKE 98                                  Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 24.00	24.00	Flow: Positive
Rise(in): 24.00	24.00	Entrance Loss Coef: 0.500
Invert(ft): 23.600	22.700	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 1 for Drop Structure WL9A->EW \*\*\*

TABLE

Count: 1                                      Bottom Clip(in): 0.000  
 Type: Vertical: Mavis                      Top Clip(in): 0.000  
 Flow: Both                                      Weir Disc Coef: 3.200  
 Geometry: Rectangular                      Orifice Disc Coef: 0.600  
 Span(in): 120.00                                      Invert(ft): 27.000  
 Rise(in): 99999.00                                  Control Elev(ft): 27.000

-----  
 Name: WL9D->EW                      From Node: WETLAND 9D                      Length(ft): 50.00  
 Group: BASE                                  To Node: EW\_CANAL                                  Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 18.00	18.00	Flow: Both
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.500
Invert(ft): 21.600	21.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:

Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure WL9D->EW \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Circular	Orifice Disc Coef: 0.600
Span(in): 4.00	Invert(ft): 25.000
Rise(in): 4.00	Control Elev(ft): 25.000

TABLE

\*\*\* Weir 2 of 2 for Drop Structure WL9D->EW \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 120.00	Invert(ft): 26.000
Rise(in): 9999.00	Control Elev(ft): 26.000

TABLE

-----  
 Name: WL9G->NS                      From Node: WETLAND 9G                      Length(ft): 50.00  
 Group: BASE                              To Node: NS\_CANAL                              Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 18.00	18.00	Flow: Both
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.500
Invert(ft): 21.600	21.500	Exit Loss Coef: 1.000
Manning's N: 0.013000	0.013000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall

\*\*\* Weir 1 of 2 for Drop Structure WL9G->NS \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Circular	Orifice Disc Coef: 0.600
Span(in): 4.00	Invert(ft): 25.000
Rise(in): 4.00	Control Elev(ft): 25.000

TABLE

\*\*\* Weir 2 of 2 for Drop Structure WL9G->NS \*\*\*

Count: 1	Bottom Clip(in): 0.000
----------	------------------------

TABLE

---

Type: Vertical: Mavis                      Top Clip(in): 0.000  
Flow: Both                                  Weir Disc Coef: 3.200  
Geometry: Rectangular                      Orifice Disc Coef: 0.600  
  
Span(in): 120.00                              Invert(ft): 26.000  
Rise(in): 9999.00                            Control Elev(ft): 26.000

=====  
=== Weirs ===  
=====

Name: A->EWCANAL                      From Node: NW-A  
Group: PRE                                  To Node: EW\_CANAL  
Flow: Both                                  Count: 1  
Type: Vertical: Mavis                      Geometry: Irregular  
  
    XSec: A  
    Invert(ft): 24.700  
Control Elevation(ft): 24.700  
Struct Opening Dim(ft): 9999.00  
  
    TABLE  
  
    Bottom Clip(ft): 0.000  
    Top Clip(ft): 0.000  
    Weir Discharge Coef: 3.200  
Orifice Discharge Coef: 0.600

-----  
Name: B->EWCANAL                      From Node: NW-B  
Group: PRE                                  To Node: EW\_CANAL  
Flow: Both                                  Count: 1  
Type: Vertical: Mavis                      Geometry: Irregular  
  
    XSec: B  
    Invert(ft): 25.400  
Control Elevation(ft): 25.400  
Struct Opening Dim(ft): 9999.00  
  
    TABLE  
  
    Bottom Clip(ft): 0.000  
    Top Clip(ft): 0.000  
    Weir Discharge Coef: 3.200  
Orifice Discharge Coef: 0.600

-----  
Name: C->NSCANAL                      From Node: NW-C  
Group: PRE                                  To Node: NS\_CANAL  
Flow: Both                                  Count: 1  
Type: Vertical: Mavis                      Geometry: Irregular  
  
    XSec: C  
    Invert(ft): 24.000  
Control Elevation(ft): 24.000  
Struct Opening Dim(ft): 9999.00  
  
    TABLE  
  
    Bottom Clip(ft): 0.000  
    Top Clip(ft): 0.000  
    Weir Discharge Coef: 3.200  
Orifice Discharge Coef: 0.600

-----  
Name: D->EWCANAL      From Node: NW-D  
Group: PRE              To Node: EW\_CANAL  
Flow: Both              Count: 1  
Type: Vertical: Mavis    Geometry: Irregular

        XSec: D  
          Invert(ft): 25.300  
Control Elevation(ft): 25.300  
Struct Opening Dim(ft): 9999.00

                          TABLE  
        Bottom Clip(ft): 0.000  
          Top Clip(ft): 0.000  
        Weir Discharge Coef: 3.200  
        Orifice Discharge Coef: 0.600

-----  
Name: E->A              From Node: NW-E  
Group: PRE              To Node: NW-A  
Flow: Both              Count: 1  
Type: Vertical: Mavis    Geometry: Irregular

        XSec: E  
          Invert(ft): 26.000  
Control Elevation(ft): 26.000  
Struct Opening Dim(ft): 9999.00

                          TABLE  
        Bottom Clip(ft): 0.000  
          Top Clip(ft): 0.000  
        Weir Discharge Coef: 3.200  
        Orifice Discharge Coef: 0.600

-----  
Name: F->NSCANAL      From Node: NW-F  
Group: PRE              To Node: NS\_CANAL  
Flow: Both              Count: 1  
Type: Vertical: Mavis    Geometry: Irregular

        XSec: F  
          Invert(ft): 24.700  
Control Elevation(ft): 24.700  
Struct Opening Dim(ft): 9999.00

                          TABLE  
        Bottom Clip(ft): 0.000  
          Top Clip(ft): 0.000  
        Weir Discharge Coef: 3.200  
        Orifice Discharge Coef: 0.600

-----  
Name: G->NSCANAL      From Node: NW-G  
Group: PRE              To Node: NS\_CANAL  
Flow: Both              Count: 1  
Type: Vertical: Mavis    Geometry: Irregular

XSec: G  
Invert(ft): 24.800  
Control Elevation(ft): 24.800  
Struct Opening Dim(ft): 9999.00

TABLE

Bottom Clip(ft): 0.000  
Top Clip(ft): 0.000  
Weir Discharge Coef: 3.200  
Orifice Discharge Coef: 0.600

Name: WL9F->NS From Node: WETLAND 9F  
Group: 2AF9 To Node: NS\_CANAL  
Flow: Both Count: 1  
Type: Vertical: Mavis Geometry: Irregular

XSec: 9F  
Invert(ft): 24.700  
Control Elevation(ft): 24.700  
Struct Opening Dim(ft): 9999.00

TABLE

Bottom Clip(ft): 0.000  
Top Clip(ft): 0.000  
Weir Discharge Coef: 3.200  
Orifice Discharge Coef: 0.600

=====  
Bridges  
=====

Name: From Node: Flow: Both  
Group: BASE To Node: Run WSPRO: No

XSEC TYPE	NAME	INV(ft)	STAT(ft)	SKEW(deg)	EXPAN	CONTRAC
Exit		0.000	0.00	0.000	0.500	0.000
Full Valley		0.000	0.00	0.000	0.500	0.000
Approach		0.000	0.00	0.000	0.500	0.000
Roadway		0.000	0.00	0.000		

Road Surface Material: Paved  
Road Embankment Top Width(ft): 0.00  
Road Unsubmerged Weir Q Coef: 0.000

RATING CURVE CONTROL

TW(ft)	QMin(cfs)	QMax(cfs)	QInc(cfs)
0.000	0.000	0.000	0.000

=====  
Hydrology Simulations  
=====

Name: WL13POST  
Filename: C:\Documents and Settings\All Users\Documents\2006\0601PB2AF9\CALCS\ICPR\WL13POST.R32

-----  
Override Defaults: No

Time (hrs)	Print Inc (min)
8.000	30.00
24.000	15.00
30.000	30.00

-----  
Name: WLNW\_PRE  
Filename: C:\Documents and Settings\All Users\Documents\2006\0601PB2AF9\CALCS\ICPR\WLNW\_PRE.R32

Override Defaults: No

Time (hrs)	Print Inc (min)
8.000	30.00
24.000	15.00
30.000	30.00

==== Routing Simulations =====

Name: WL13route            Hydrology Sim: WL13POST  
Filename: C:\Documents and Settings\All Users\Documents\2006\0601PB2AF9\CALCS\ICPR\WL13route.I32

Execute: Yes            Restart: No            Patch: No  
Alternative: No

Max Delta Z (ft): 1.00            Delta Z Factor: 0.01000  
Time Step Optimizer: 0.000  
Start Time (hrs): 0.000            End Time (hrs): 30.00  
Min Calc Time (sec): 1.00000      Max Calc Time (sec): 30.00000  
Boundary Stages:            Boundary Flows:

Time (hrs)	Print Inc (min)
8.000	60.000
24.000	60.000
30.000	60.000
72.000	120.000
360.000	480.000

Group	Run
2AF10	Yes
2AF11	Yes
2AF8	Yes
2AF9	Yes
2AF9A	Yes
BASE	Yes
BOTH	Yes

-----  
Name: WLNW\_PREROUT            Hydrology Sim: WLNW\_PRE  
Filename: C:\Documents and Settings\All Users\Documents\2006\0601PB2AF9\CALCS\ICPR\WLNW\_PREROUT.I32



Plantation Bay - Westlake Unit 12B  
POST DEVELOPMENT MODE  
INPUT DATA

---

Execute: Yes            Restart: No            Patch: No  
Alternative: No

Max Delta Z(ft): 1.00            Delta Z Factor: 0.01000  
Time Step Optimizer: 0.000  
Start Time(hrs): 0.000            End Time(hrs): 360.00  
Min Calc Time(sec): 1.0000        Max Calc Time(sec): 30.0000  
Boundary Stages:                  Boundary Flows:

Time(hrs)	Print Inc(min)
8.000	30.000
24.000	15.000
30.000	30.000
72.000	120.000
360.000	720.000

Group	Run
BOTH	Yes
PRE	Yes

=====  
=== Boundary Conditions ===  
=====

WESTLAKE  
AT  
PLANTATION BAY

SECTION 2A-F, UNIT 12B

ICPR REPORTS

NODE MAXIMUM REPORT

LINK MAXIMUM REPORT

BASIN REPORT

Plantation Bay - Westlake Unit 12B  
 POST DEVELOPMENT MODEL  
 NODE MAXIMUM

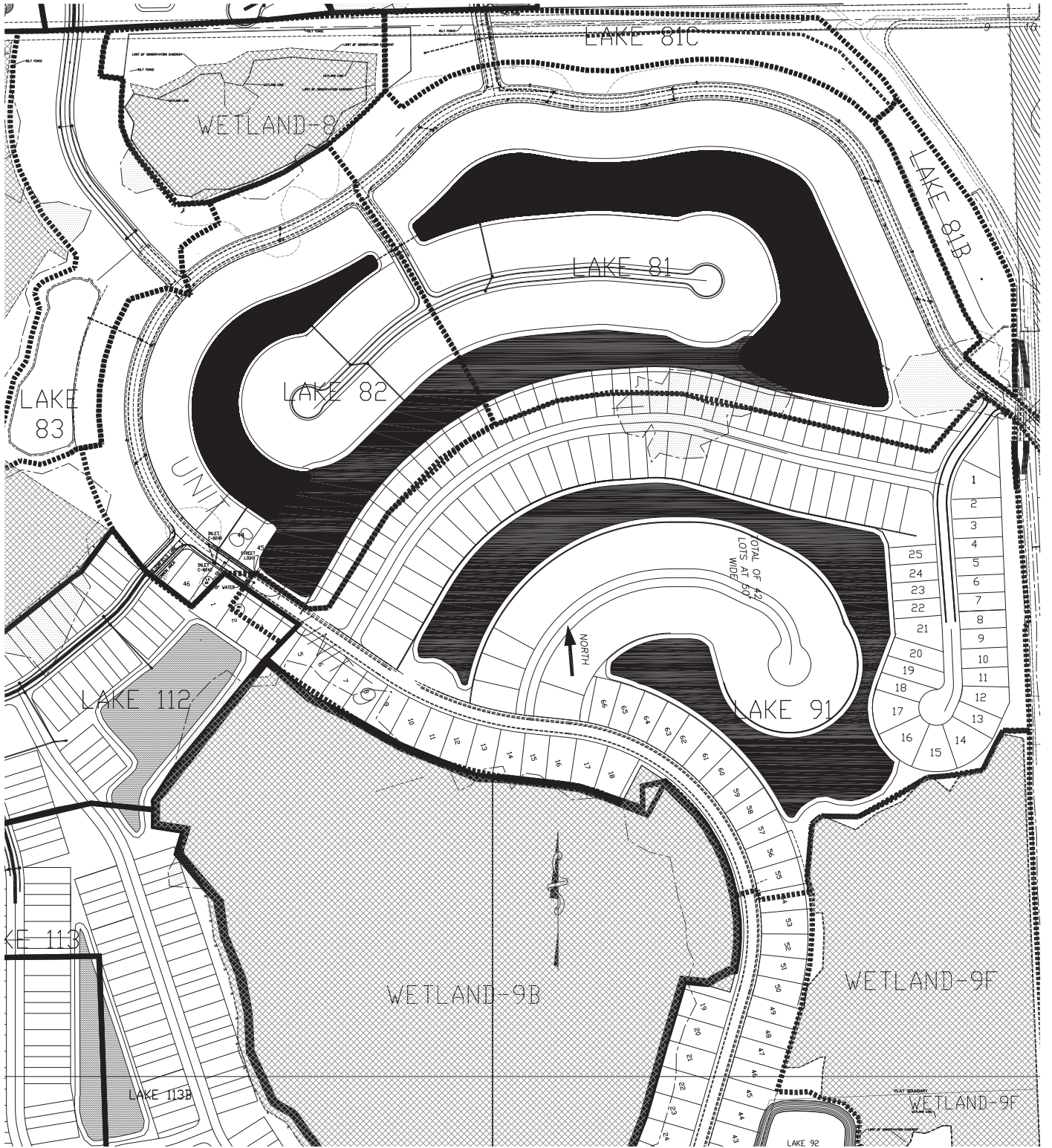
Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
9A-2	2AF9A	WL13route	12.68	27.454	29.000	0.0053	56730	12.00	32.937	12.34	5.060
9A-3	2AF9A	WL13route	12.36	28.352	29.000	0.0085	22139	12.00	26.999	12.26	9.722
9A-4	2AF9A	WL13route	12.21	27.189	29.000	0.0046	32374	12.00	22.319	12.18	12.346
9COM	2AF9	WL13route	12.80	27.532	30.000	0.0075	144205	12.00	102.565	12.76	12.173
EW CANAL	BOTH	WL13route	14.01	25.999	27.000	0.0063	0	12.49	66.992	0.00	0.000
LAKE 101	2AF10	WL13route	12.98	30.503	31.000	0.0067	104215	12.25	87.326	12.72	21.752
LAKE 102	2AF10	WL13route	16.26	29.519	30.500	0.0065	81693	12.00	42.101	30.00	4.342
LAKE 103	2AF10	WL13route	16.57	29.526	30.500	0.0042	84644	12.00	24.314	18.17	1.373
LAKE 104	2AF10	WL13route	13.76	29.589	30.500	0.0070	51980	12.25	52.056	12.32	18.868
LAKE 105	2AF10	WL13route	14.37	29.505	30.500	0.0065	109942	12.25	82.333	12.92	20.763
LAKE 106	2AF10	WL13route	24.13	29.342	30.500	0.0045	158837	12.00	70.796	30.00	9.424
LAKE 111	2AF11	WL13route	13.09	29.836	30.500	0.0079	42195	12.25	36.643	12.82	7.490
LAKE 112	2AF11	WL13route	13.19	29.871	30.500	0.0077	64700	12.25	48.631	13.13	8.419
LAKE 113A	2AF11	WL13route	24.01	29.830	30.500	0.0077	105096	12.25	113.010	12.56	39.641
LAKE 113B	2AF11	WL13route	24.16	29.819	30.500	0.0062	170715	12.56	39.641	14.72	8.000
LAKE 81	2AF8	WL13route	15.76	27.756	28.500	0.0049	613439	12.25	307.855	20.00	22.925
LAKE 83	2AF8	WL13route	15.79	27.756	28.500	0.0053	80742	12.00	41.731	12.12	4.931
LAKE 91	2AF9	WL13route	12.93	28.610	29.500	0.0065	238249	12.25	207.461	12.74	67.334
LAKE 92	2AF9	WL13route	25.00	29.343	29.500	0.0073	146517	12.00	120.094	12.39	49.739
LAKE 93	2AF9	WL13route	24.13	29.751	29.500	0.0066	107774	12.25	55.902	12.88	9.161
LAKE 94	2AF9	WL13route	24.16	29.684	29.500	-0.0182	68827	12.00	60.624	12.46	17.413
LAKE 95	2AF9	WL13route	12.75	28.518	29.500	0.0057	80638	12.00	20.803	13.35	10.547
LAKE 96	2AF9	WL13route	12.35	28.648	29.500	0.0100	19060	12.00	34.680	12.32	25.108
LAKE 97	2AF9	WL13route	24.96	29.379	29.500	0.0068	141274	12.00	86.165	12.04	10.671
Lake 97B	BASE	WL13route	25.27	29.344	29.500	0.0071	79870	12.16	51.511	25.27	5.276
LAKE 98	2AF9	WL13route	24.40	29.609	29.500	0.0057	99100	12.13	37.428	18.82	6.035
NS CANAL	BOTH	WL13route	14.01	25.999	27.000	0.0063	0	12.68	69.081	0.00	0.000
WETLAND 10A	2AF10	WL13route	24.31	29.347	29.000	0.0037	189506	12.25	47.342	30.00	1.552
WETLAND 10B	2AF10	WL13route	24.18	29.529	29.000	0.0076	476790	12.00	203.945	30.00	2.988
WETLAND 9A	2AF9	WL13route	12.92	27.252	30.000	-0.0232	447433	12.00	48.044	12.09	1.273
WETLAND 9B	2AF9	WL13route	26.50	26.776	29.000	0.0013	1587618	12.50	123.587	21.55	0.259
WETLAND 9C	2AF9	WL13route	14.26	27.050	29.000	0.0031	501583	12.00	125.408	14.74	9.595
WETLAND 9D	2AF9	WL13route	20.53	26.880	29.000	0.0021	985759	12.25	151.895	28.78	12.911
WETLAND 9E	2AF9	WL13route	20.55	26.880	29.000	0.0017	57722	12.00	8.637	12.68	1.807
WETLAND 9F	2AF9	WL13route	15.85	25.765	27.000	0.0017	527953	12.25	66.391	18.82	10.087
WETLAND 9G	2AF9	WL13route	13.21	26.945	27.000	-0.5000	291419	12.25	60.137	12.49	11.099
WETLAND-8	2AF8	WL13route	19.17	27.724	28.000	0.0015	255959	12.75	18.155	28.71	2.843
EW CANAL	BOTH	WLNW_PREROUT	14.01	25.999	27.000	0.0063	0	15.81	82.212	0.00	0.000
NS CANAL	BOTH	WLNW_PREROUT	14.01	25.999	27.000	0.0063	0	19.00	54.748	0.00	0.000
NW-A	PRE	WLNW_PREROUT	15.01	26.071	28.000	0.0047	1277843	12.92	132.464	16.11	61.573
NW-B	PRE	WLNW_PREROUT	14.03	26.018	28.000	0.0037	9233	12.76	6.669	12.90	6.591
NW-C	PRE	WLNW_PREROUT	14.23	26.131	28.000	0.0058	147223	13.01	33.131	13.45	20.126
NW-D	PRE	WLNW_PREROUT	14.73	26.158	28.000	0.0042	567133	13.00	61.412	15.21	20.438
NW-E	PRE	WLNW_PREROUT	13.17	26.581	28.000	0.0057	1741135	12.25	242.163	13.17	47.924
NW-F	PRE	WLNW_PREROUT	18.48	25.976	28.000	0.0032	3346606	13.01	206.825	20.47	21.245
NW-G	PRE	WLNW_PREROUT	16.73	25.997	28.000	0.0033	3447288	12.76	237.407	19.55	29.109

Plantation Bay - Westlake Unit 12B  
 POST DEVELOPMENT MODEL  
 LINK MAXIMUM

Name	Group	Simulation	Max Time Flow hrs	Max Flow cfs	Max Delta Q cfs	Max Time US Stage hrs	Max US Stage ft	Max Time DS Stage hrs	Max DS Stage ft
101->104	2AF10	WL13route	12.72	21.752	0.156	12.98	30.503	13.76	29.589
102->104	2AF10	WL13route	30.00	4.342	-0.331	16.26	29.519	13.76	29.589
103->102	2AF10	WL13route	18.17	1.373	0.159	16.57	29.526	16.26	29.519
104->105	2AF10	WL13route	12.32	18.868	0.682	13.76	29.589	14.37	29.505
105->106	BASE	WL13route	12.92	20.763	-0.624	14.37	29.505	24.13	29.342
106->81	2AF10	WL13route	30.00	9.424	0.071	24.13	29.342	15.76	27.756
10A->106	2AF10	WL13route	30.00	1.552	-0.022	24.31	29.347	24.13	29.342
10B->102	2AF10	WL13route	30.00	2.988	0.059	24.18	29.529	16.26	29.519
111->113A	2AF11	WL13route	12.82	7.490	-0.087	13.09	29.836	24.01	29.830
112->113A	2AF11	WL13route	13.13	8.419	-0.109	13.19	29.871	24.01	29.830
113A->113B	2AF11	WL13route	12.56	39.641	0.193	24.01	29.830	24.16	29.819
113B->93	2AF11	WL13route	14.72	8.000	0.317	24.16	29.819	24.13	29.751
81->OFF	2AF8	WL13route	20.00	22.925	0.067	15.76	27.756	14.01	25.999
83->81	2AF8	WL13route	12.12	4.931	-0.531	15.79	27.756	15.76	27.756
91->81	2AF9	WL13route	12.64	32.693	-0.453	12.93	28.610	15.76	27.756
91->NS	2AF9	WL13route	12.84	34.908	0.150	12.93	28.610	14.01	25.999
92->97B	2AF9	WL13route	12.39	49.739	1.720	25.00	29.343	25.27	29.344
93->94	2AF9	WL13route	12.88	9.161	-10.858	24.13	29.751	24.16	29.684
94->98	2AF9	WL13route	12.46	17.413	0.145	24.16	29.684	24.40	29.609
95->96	2AF9	WL13route	13.35	10.547	1.506	12.75	28.518	12.35	28.648
96->WL9D	2AF9	WL13route	12.32	25.108	0.274	12.35	28.648	20.53	26.880
97->97B	2AF9	WL13route	12.04	10.671	-1.983	24.96	29.379	25.27	29.344
97B->NS	2AF9	WL13route	25.27	5.276	0.015	25.27	29.344	14.01	25.999
98->97	2AF9	WL13route	18.82	6.035	0.307	24.40	29.609	24.96	29.379
9A2->OFF	2AF9A	WL13route	12.34	5.060	0.061	12.68	27.454	14.01	25.999
9A3->OFF	2AF9A	WL13route	12.26	9.722	0.125	12.36	28.352	14.01	25.999
9A4->OFF	2AF9A	WL13route	12.18	12.346	0.106	12.21	27.189	14.01	25.999
9COM->EW	2AF9	WL13route	12.76	12.173	0.062	12.80	27.532	14.01	25.999
WET8->83	2AF8	WL13route	28.71	2.843	-0.058	19.17	27.724	15.79	27.756
WL9A->EW	2AF9	WL13route	12.09	1.273	-0.211	12.92	27.252	24.40	29.609
WL9B->WL9A	2AF9	WL13route	21.55	0.259	-7.082	26.50	26.776	12.92	27.252
WL9C->WL9D	2AF9	WL13route	14.74	9.595	0.039	14.26	27.050	20.53	26.880
WL9D->EW	BASE	WL13route	28.78	12.911	0.051	20.53	26.880	14.01	25.999
WL9D->WL9E	2AF9	WL13route	12.68	1.807	-0.171	20.55	26.880	20.53	26.880
WL9F->NS	2AF9	WL13route	18.82	10.087	0.183	15.85	25.765	14.01	25.999
WL9G->NS	BASE	WL13route	12.49	11.099	0.103	13.21	26.945	14.01	25.999
A->EWCANAL	PRE	WLNW_PREROUT	16.11	61.573	1.864	15.01	26.071	14.01	25.999
B->EWCANAL	PRE	WLNW_PREROUT	12.90	6.591	0.368	14.03	26.018	14.01	25.999
C->NSCANAL	PRE	WLNW_PREROUT	13.45	20.126	0.236	14.23	26.131	14.01	25.999
D->EWCANAL	PRE	WLNW_PREROUT	15.21	20.438	0.147	14.73	26.158	14.01	25.999
E->A	PRE	WLNW_PREROUT	13.17	47.924	0.548	13.17	26.581	15.01	26.071
F->NSCANAL	PRE	WLNW_PREROUT	20.47	21.245	0.276	18.48	25.976	14.01	25.999
G->NSCANAL	PRE	WLNW_PREROUT	19.55	29.109	-0.616	16.73	25.997	14.01	25.999

Plantation Bay - Westlake Unit 12B  
 POST DEVELOPMENT MODEL  
 BASINS

Simulation	Basin	Group	Time Max hrs	Flow Max cfs	Volume in	Volume ft3
WL13POST	9A-1	2AF9A	12.02	7.302	7.416	31900.198
WL13POST	9A-2	2AF9A	12.02	25.786	7.660114274	9.989
WL13POST	9A-3	2AF9A	12.02	27.163	7.172117152	3.363
WL13POST	9A-4	2AF9A	12.02	22.455	7.172	96845.954
WL13POST	9COM	2AF9	12.02	103.019	7.660456543	3.875
WL13POST	9COM_PRE	BASE	12.40	26.325	6.191179776	9.921
WL13POST	LAKE 101	2AF10	12.23	88.505	7.899546318	3.304
WL13POST	LAKE 102	2AF10	12.09	55.628	8.145291407	7.781
WL13POST	LAKE 103	2AF10	12.05	25.429	7.660122232	5.532
WL13POST	LAKE 104	2AF10	12.20	43.444	7.903259936	6.660
WL13POST	LAKE 105	2AF10	12.25	63.928	7.901400566	3.338
WL13POST	LAKE 106	2AF10	12.09	76.330	7.901400596	4.412
WL13POST	LAKE 111	2AF11	12.20	37.873	7.781225028	3.379
WL13POST	LAKE 112	2AF11	12.19	49.802	7.779300137	6.642
WL13POST	LAKE 113	2AF11	12.18	110.749	7.414638402	2.287
WL13POST	LAKE 81	2AF8	12.12	176.955	7.971953150	1.150
WL13POST	LAKE 81B	2AF8	12.09	12.562	7.050	62148.062
WL13POST	LAKE 81C	2AF8	12.65	13.934	7.043131922	1.184
WL13POST	LAKE 82	2AF8	12.20	100.664	7.818599336	8.833
WL13POST	LAKE 83	2AF8	12.09	45.670	7.780238016	1.133
WL13POST	LAKE 91	2AF9	12.21	208.872	7.971	*****
WL13POST	LAKE 92	2AF9	12.03	123.716	7.781590046	6.672
WL13POST	LAKE 93	2AF9	12.25	64.061	7.536393542	2.223
WL13POST	LAKE 94	2AF9	12.02	71.848	7.416313887	1.179
WL13POST	LAKE 95	2AF9	12.12	23.282	7.899124828	3.386
WL13POST	LAKE 96	2AF9	12.11	61.377	7.900331618	7.716
WL13POST	LAKE 97	2AF9	12.03	92.315	7.781421421	5.558
WL13POST	LAKE 98	2AF9	12.09	26.195	7.963135570	5.582
WL13POST	WETLAND 10A	2AF10	12.20	48.657	6.559275736	6.699
WL13POST	WETLAND 10B	2AF10	12.05	208.789	6.558916461	4.426
WL13POST	WETLAND 9A	2AF9	12.09	62.763	6.559305728	5.577
WL13POST	WETLAND 9B	2AF9	12.41	128.228	6.556916196	6.674
WL13POST	WETLAND 9C	2AF9	12.08	137.822	6.558663115	8.533
WL13POST	WETLAND 9D	2AF9	12.19	123.291	6.557710436	9.919
WL13POST	WETLAND 9E	2AF9	12.08	9.492	6.558	45670.152
WL13POST	WETLAND 9F	2AF9	12.20	68.235	6.559386684	7.742
WL13POST	WETLAND 9G	2AF9	12.20	61.807	6.559350254	4.467
WL13POST	WETLAND-8	2AF8	12.67	18.574	6.559168722	1.172
WLNW_PRE	NW-A	PRE	12.86	88.618	6.185894118	3.359
WLNW_PRE	NW-B	PRE	12.94	6.709	6.179	69376.771
WLNW_PRE	NW-C	PRE	13.00	33.131	6.196406158	2.230
WLNW_PRE	NW-D	PRE	12.96	61.814	6.173699620	4.415
WLNW_PRE	NW-E	PRE	12.23	245.362	6.188	*****
WLNW_PRE	NW-F	PRE	13.08	209.425	6.189	*****
WLNW_PRE	NW-G	PRE	12.86	242.123	6.185	*****



BASIN  
 MAP REVISIONS  
 TO BASINS  
 81-82-91  
 FEB 10, 2021



**FGUA Operations Office**

Government Services Group, Inc.  
280 Wekiva Springs Rd., Ste 2070  
Longwood, FL 32779-6026

(877) 552-3482 Toll Free  
(407) 629-6900 Tel  
(407) 629-6963 Fax

March 11, 2021

Jerry K. Finley, P.E.  
Finley Engineering Solutions, Inc.  
3959 S. Nova Rd., Suite B34  
Port Orange, FL 32127  
jfinley@finleyengineers.com

**RE: Water and Wastewater Availability – LOA ID#: 21-037 FRD**

**Parcel ID No.: 03-13-31-0000-01010-0020**

**Stirling Bridge Rd., Bunnell, FL 32110**

**Plantation Bay Section 2A-F Unit 12B**

Dear Mr. Finley:

Pursuant to the submitted Application for Service Availability, please be advised that water and wastewater lines are in operation in the vicinity of the address mentioned above, and a site map showing the approximate location of the utilities is included for your reference. However, in order to provide service to the subject parcel(s), developer funded system enhancements such as line extensions may be required.

Your firm has indicated that this project will consist of 25 residential homes with an estimated flow demand of 8,750 GPD for water and a wastewater flow of 7,500 GPD. FGUA presently has sufficient treatment capacity to accommodate these flows. Please note that during design, the FGUA Utilities Operations Manual requires the project engineer to perform hydraulic computations to determine what impact, if any, this project will have on our existing water and wastewater systems.

**This letter should not be construed as a commitment to serve, but only as a statement of the availability of service and is effective for twelve (12) months from the date hereof.** The FGUA will commit to serve only upon final acceptance of the utility infrastructure constructed by the developer, receipt of all appropriate capacity (impact) and project fees, an executed Utility Infrastructure Conveyance and Service Agreement (CSA), the approval of all state and local regulatory agencies and proper project closeout. Further, this Letter of Availability is to be utilized for development review for this project only.

**FGUA Board of Directors**

KEN CHEEK, P.E. Chair, Citrus County / PAM KEYES, Lee County / TAMARA RICHARDSON, Polk County  
SHANE PARKER, P.E., Hendry County / MICHAEL CARBALLA, P.E., BCEE, Pasco County / ANGEL ROUSSEL, P.E., Marion County/ TACO POPE,  
Nassau County

When you are ready to move forward with your project, please contact Paul Arnett, Development Review Utility Connection Coordinator at 407-629-6900 ext. 109 or via email at [PArnett@govmserv.com](mailto:PArnett@govmserv.com) to schedule a pre-development meeting. Please note that this meeting is **MANDATORY** prior to submitting construction plans for review by the FGUA.

Sincerely,

**FLORIDA GOVERNMENTAL UTILITY AUTHORITY**

**Douglas W Black** Digitally signed by Douglas W Black  
Date: 2021.03.30 09:21:09 -05'00'

Douglas W. Black, PSM, PLS  
Property & Development Manager

CC: Chris Couch, North Region Area Manager

Encl.

1. Mandatory Pre-Development Meeting Information
2. Utility Locates
3. Fee Statement/Receipt





## Development Services Division

### Mandatory Pre-Development Meeting Request

#### **Purpose:**

The mandatory pre-development meeting is designed to be an informative discussion, specifically geared toward assisting the applicant (owner/developer/engineer) understand the FGUA's policies and development process. A pre-development meeting is required prior to the formal submission and review of any utility construction plans by the Development Division.

It is our goal to assist you through the FGUA development process as smoothly as possible, and for your development to be a success. This mandatory pre-development meeting will provide you with the details you need to make this a successful and stress-free process.

#### **What to Expect:**

At the meeting, you will be provided with a variety of both general and specific information regarding the FGUA's development process. This will include, but not be limited to staff contact information, plan review guidelines, current fees, conveyance and closeout procedures.

#### **Who Should Attend:**

It is encouraged that a representative from the property owner, developer and engineer, at a minimum, attend this meeting. Representatives of the FGUA's Development Division, including the project coordinator, real property coordinator and utility system service area manager will also be in attendance as required.

In an effort to accommodate the potential long-distance commute between the FGUA's Operations Office in Longwood, Florida and the FGUA system areas, these meetings may take place at the local office and/or via video conference call.

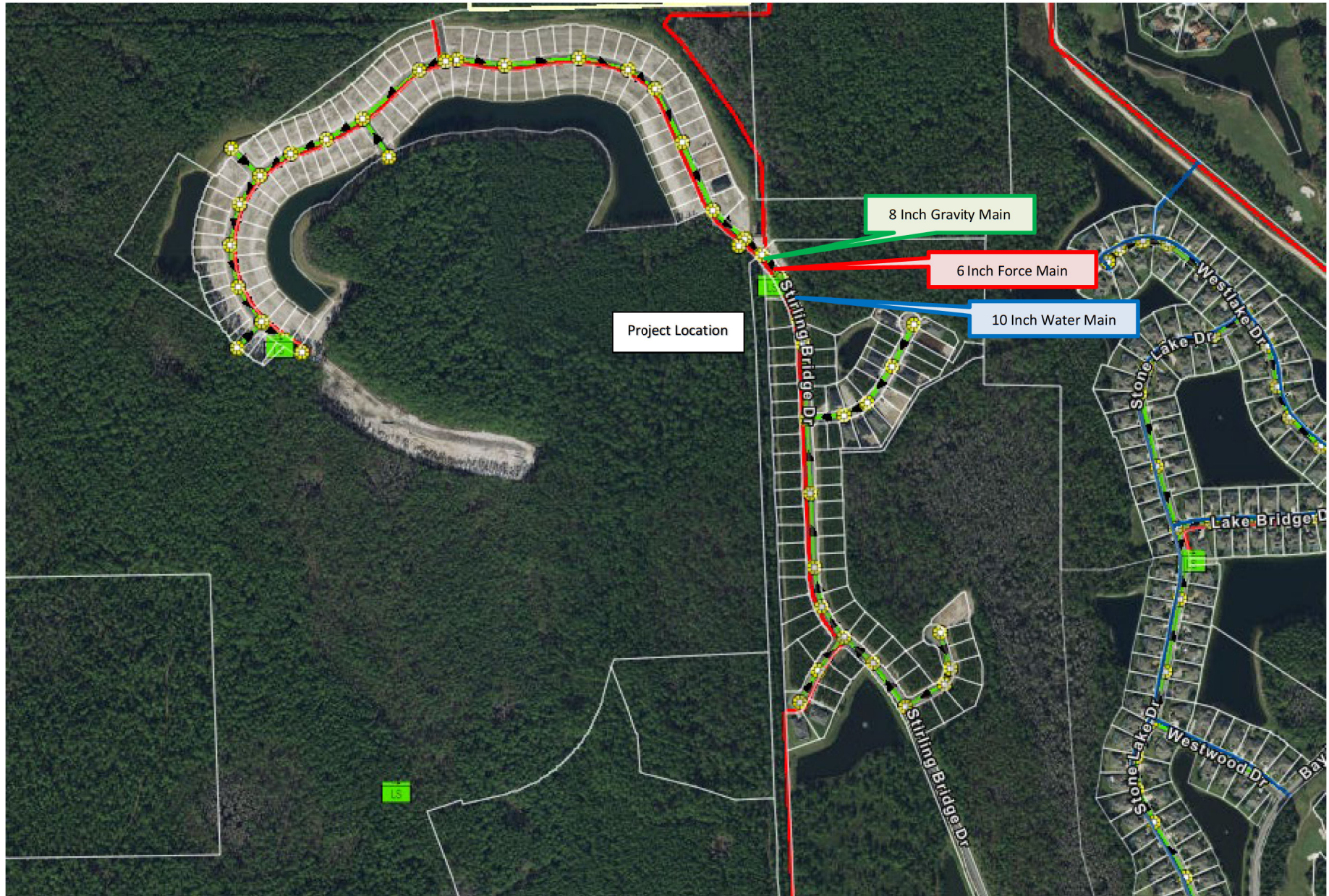
#### **Meeting Requests:**

Please call or e-mail Paul Arnett, Utility Connection Coordinator to request a meeting at [PArnett@govmserv.com](mailto:PArnett@govmserv.com), office: (407) 629-6900, or cell: (407) 885-1756.

Please have your FGUA Letter of Availability (LOA) Number (included on the first page of your previously issued Letter of Availability) ready when you call or email to schedule this meeting.

You will also be requested to provide a preliminary site utility plan for staff review.

**Prior to submitting utility construction plans for approval, you MUST request a pre-development meeting. Plans submitted to the FGUA without scheduling and attending this meeting will not be reviewed until this meeting takes place.**



**ALL UTILITY LOCATIONS SHOWN HERE ARE APPROXIMATE. THE DEVELOPER IS SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS VIA POTHOLING OR OTHER ACCEPTABLE MEANS.**

**FLAGLER COUNTY**  
**TECHNICAL REVIEW COMMITTEE COMMENTS**

**MEETING DATE: 03/17/2021**

**APPLICATION #3246 – PRELIMINARY PLAT  
IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT**

**OWNER: WL RESIDENTIAL LAND, LLC/  
AGENT: JERRY K. FINLEY, P.E., FINLEY ENGINEERING SOLUTIONS**

Distribution date: March 12, 2021

Plan: SDP-000392-2021

Application #: 3246

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

**REVIEWING DEPARTMENT: BUILDING DEPARTMENT**

1. No comments at this time

**REVIEWING DEPARTMENT: COUNTY ATTORNEY**

1. No comments received.

**REVIEWING DEPARTMENT: DEVELOPMENT ENGINEERING**

1. The Applicant is to provide technically complete and approved Site Development Plans that comply with the Land Development Code. Existing elevations and proposed grading must be included within the plan. A Plat and associated Plat documents (Engineers Estimate of Cost to Construct, Surety Bonds, and Maintenance Bond) may have to be submitted. Further comments may be provided upon the submittal of revised drawings.
2. Once all of the comments have been resolved, submit a minimum of three (3) sets of complete signed and sealed Site Development/construction Plans for final review. If additional approved plans are needed by the applicant they should be part of the final submission.
3. Proof of the payment of all fees and Real Estate Taxes must be provided. The Developer provided a copy of the tax bill, not receipt for payment of taxes.
4. An Attorney's Opinion of Title must be furnished prior to Preliminary and Final Plat Approval.
5. Prior to submittal of Final Plat documents, the Plat must be reviewed and approved by a reviewing surveyor under contract with the County. The Reviewing Surveyor for this project is:  
  
DRMP, INC.
6. All fees incurred for the Final Plat Review are the responsibility of the applicant and not the County.
7. Prior to project completion approval and issuance of a Certificate of Occupancy an "AS-BUILT" survey and an Engineer's Certification of Completion must be provided.
8. The cost estimate provided with this submittal must be revised to be consistent with the construction drawings.

Specific Comments:

Boundary Survey:

9. No Comments.

Preliminary Plat:

Sheet 1 –

10. Under “Notes Regarding Easements”, # 7 starts “Tract A” with no other language, clarify.
11. In the dedication and reservation there is a reference to a Parcel A, common area / drainage purposes, on sheet 2 it is referenced as Tract A common area / drainage / recreation, clarify.

Sheet 2 -

12. In the curve table C3 is shown having a radius of 274.98, the Boundary Survey depicts 275.00. The legal description on both the Boundary Survey and the Plat call out the Radius as 375 ft. clarify.
13. Construction Drawings:  
Pending.

**REVIEWING DEPARTMENT: E-911 STAFF**

1. Kingswood Ct road name is denied, please submit a road name request for review..

**REVIEWING DEPARTMENT: ENVIRONMENTAL HEALTH DEPT**

1. No comments.

**REVIEWING DEPARTMENT: FIRE INSPECTOR**

1. No comment.

**REVIEWING DEPARTMENT: PLANNING DEPARTMENT**

Plat

1. Please provide evidence of compliance with the minimum lot widths on the plat.
2. If within the limits of the plat, please delineate the General Note 11 easement on the plat. If not, please comment.
3. Please identify the tract that at the westerly tract at the intersection of Sterling Bridge Dr and the future Kingswood Ct.

Construction Plans:

1. Please include a wider top margin on the plans sheets, specifically sheets 5 and 6 with a match line.
2. Include the location of the tracking pad on plan sheet 2.
3. Provide evidence of infrastructure approval from the utility provider.

4. Water and sanitary service is not shown for Lots 13 through 18, please show on plan
5. Provide evidence of compliant fire hydrant pressure at the proposed hydrant.
6. The retaining wall will require a separate building permit.
7. Manhole 12B-5 is mislabeled as 12B-4 on the sheet 6 cross section.
8. Provide invert for culvert at 36 inch headwall from culvert conveying from Manhole 14.

**REVIEWING DEPARTMENT: FLAGLER COUNTY SCHOOL DISTRICT**

1. No comments received.

## FLAGLER COUNTY PLANNING AND DEVELOPMENT BOARD REGULAR MEETING

Flagler County Government Services Building,  
1769 East Moody Blvd., Board Chambers, Bunnell, FL

### MEETING MINUTES

Tuesday, April 13, 2021 at 6:00 PM

1. **Roll Call:** The meeting was called to order by the Chair and a quorum was present.

**Members Present:** Anthony Lombardo (Chair), Mike Goodman (Vice Chair), Michael Boyd, Fernando Melendez, Mark Langello, Jack Corbett, Timothy Connor

**Staff Present:** Adam Mengel, Growth Management Director, Chuck Merenda, Assistant Director, Gina Lemon, Planner

**Board Counsel:** Sean Moylan, Assistant County Attorney

2. **Pledge to the Flag:** was led by the Chair.

3. **Approval of Minutes:**

- March 10, 2020 regular meeting minutes
- July 14, 2020 regular meeting minutes
- August 11, 2020 regular meeting minutes
- September 8, 2020 regular meeting minutes
- October 13, 2020 regular meeting minutes
- November 10, 2020 regular meeting minutes
- January 12, 2021 regular meeting minutes
- February 9, 2021 regular meeting minutes
- March 9, 2021 regular meeting minutes.

**Discussion:** Mark Langello would like future minutes to include an indicator of the direction of discussion.

**Motion:** To Approve All Minutes

**Motion by:** Mark Langello

**Motion 2<sup>nd</sup> by:** Michael Boyd

**Vote:** Motion approved 7-0 by unanimous vote

4. **Application #3239 – APPLICATION FOR SEMI-PUBLIC USE IN THE R-1 (RURAL RESIDENTIAL) DISTRICT** – request for Semi-Public Use for equine therapy d/b/a Whispering Meadows Ranch at 5011 John Anderson Highway on Parcel Number 37-12-31-0610-00000-0120; 4.25+/- acres. Owner: Richard and Mary Helene Davis/Agent: Dennis K. Bayer, Esquire. *Project #COND-000350-2020 (TRC, PDB, BCC)*

**Board Member Disclosures:**

**Anthony Lombardo:** 1) contacted by the listing agent for board email addresses, he directed the agent to speak with staff; 2) contacted by Michael Chiumento to confirm a receipt of a memo; 3) received several emails that are all part of the agenda packet that was posted.

**Mark Langello:** 1) contacted by Michael Chiumento to confirm he read a brief he had sent; 2) received several emails that are all part of the agenda packet that was posted.

**Mike Goodman:** 1) contacted by the listing agent, he advised he could not speak about this upcoming item; 2) received several emails that are all part of the agenda packet that was posted.

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jeff McKay, Head Trustee for Hammock First Baptist Church.

**Board Questions:** Tim Connor asked if Sanchez is currently an open roadway. Mr. McKay advised it is a 50-60 foot open roadway.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mark Langelo

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

8. **Application #3245 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #SDP-000391-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley explained the project.

**Board Discussion:** Mark Langelo asked if staff had any concerns. Adam advised there are none.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Jack Corbett

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

9. **Application #3246 – PRELIMINARY PLAT IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for preliminary plat for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #PLAT-000392-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley was present but did not give a presentation.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mike Goodman

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

10. **Application #3249 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for a temporary sales office/model home at 79 Huntington Place (also described as Lot 69 of Huntington Green at Hunters Ridge, Phase 2A) on Parcel Number 22-14-31-0254-00000-0690; 0.38+/- acres. Owner: Maronda Homes, LLC of Florida/Applicant: Howard Lefkowitz, President, BADC Huntington Communities, Inc. *Project #SDP-000430-2021 (TRC, PDB, BCC)*



App #3246  
 Preliminary Plat in a PUD  
 Plantation Bay, Unit 12B

PARCEL #	OWNER NAME	OWNER ADDRESS 1	OWNER ADDRESS 2	CITY	STATE	ZIP
03-13-31-0000-01010-0020	WL RESIDENTIAL LAND, LLC		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 1005.23 AC PTS SEC 4,5,8,9,14, 16,21,22-13-31 ALL LYING E OF US 1 AND WEST OF PLANTATION BAY RESOL.95-52 SECT 3. N 01 46 36W ALONG W LINE 451.12; N 82 12 14E 1212.7 TO W LINE FPL ESMT., S 01 48 15E 601.89 TO N LINE S 10, S 01 48 15 E 919.99; S 89 20 38W 1201.23 TO W SECT 10 LINE, N 02 08 04 W
03-13-31-0000-01010-0030	WL RESIDENTIAL LAND, LLC		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 1
09-13-31-5120-2AF08-0010	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 2
09-13-31-5120-2AF08-0020	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 3
09-13-31-5120-2AF08-0030	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 4
09-13-31-5120-2AF08-0040	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 5
09-13-31-5120-2AF08-0050	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 6
09-13-31-5120-2AF08-00A0	WESTLAKE AT PLANTATION BAY PROPERTY OWNERS ASSOC, INC.	PROPERTY OWNERS ASSOC, INC.	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 PARCEL "A"
09-13-31-5120-2AF08-00C0	WESTLAKE AT PLANTATION BAY PROPERTY OWNERS ASSOC, INC.	PROPERTY OWNERS ASSOC, INC.	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 PARCEL "C"
09-13-31-5120-2AF08-0930	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 93
09-13-31-5120-2AF08-0940	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 94
09-13-31-5120-2AF08-0950	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 95
09-13-31-5120-2AF08-0960	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 96
09-13-31-5120-2AF08-0970	VOLUSIA RESIDENTIAL CONSTRUCTION LLC	CONSTRUCTION LLC	2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 8 MB 39 PG 44 LOT 97
10-13-31-5120-2AF06-00A0	TOMOKA COMMUNITY DEVELOPMENT DISTRICT	DISTRICT	12051 CORPORATE BLVD	ORLANDO	FL	32817 "A" PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 PARCEL A"
10-13-31-5120-2AF06-00A0	TOMOKA COMMUNITY DEVELOPMENT DISTRICT	DISTRICT	12051 CORPORATE BLVD	ORLANDO	FL	32817 (8.52 AC) COMMON AREA"
10-13-31-5120-2AF06-00B0	FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS	COUNTY COMMISSIONERS	1769 EAST MOODY BLVD, BL BUNNELL		FL	32110 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 PARCEL B" (0.15 AC) LIFT STATION OR 2193/508 OR 2193/511"
10-13-31-5120-2AF06-00E0	WESTLAKE AT PLANTATION BAY INTERVEST AT PLANTATION BAY	PROPERTY OWNERS ASSC, INC	103A NORTH LAKE DRIVE	ORMOND BEACH	FL	32174 (8.19 AC) PRIVATE R/W (STIRLING BRIDGE DR
10-13-31-5120-2AF06-0180	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 18
10-13-31-5120-2AF06-0190	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 19
10-13-31-5120-2AF06-0200	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 20
10-13-31-5120-2AF06-0210	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 21
10-13-31-5120-2AF06-0220	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 22
10-13-31-5120-2AF06-0230	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 23
10-13-31-5120-2AF06-0240	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 24
10-13-31-5120-2AF06-0450	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 45
10-13-31-5120-2AF06-0460	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 46
10-13-31-5120-2AF06-0470	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 47
10-13-31-5120-2AF06-0480	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 48
10-13-31-5120-2AF06-0490	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 49
10-13-31-5120-2AF06-0500	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 50
10-13-31-5120-2AF06-0510	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 51
10-13-31-5120-2AF06-0520	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 52
10-13-31-5120-2AF06-0530	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 53
10-13-31-5120-2AF06-0540	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 54
10-13-31-5120-2AF06-0550	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 55
10-13-31-5120-2AF06-0560	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 56
10-13-31-5120-2AF06-0570	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 57
10-13-31-5120-2AF06-0580	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 58
10-13-31-5120-2AF06-0590	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 59
10-13-31-5120-2AF06-0600	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 60
10-13-31-5120-2AF06-0610	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 61
10-13-31-5120-2AF06-0620	INTERVEST AT PLANTATION BAY		2379 BEVILLE RD	DAYTONA BEACH	FL	32119 PLANTATION BAY SEC 2AF, UNIT 6 MB 38 PG 57 LOT 62

I hereby affirm mailed notice to each owner on March 26, 2021 for the Planning Development Board Meeting on April 13, 2021 at 6:00 pm.

*Gina Lemon*  
 Gina Lemon

Hasler  
 03/26/2021  
 US POSTAGE \$000.00<sup>00</sup>



ZIP 32110  
 011E11679462

**Growth Management Department**  
Planning & Development  
1769 E. Moody Blvd, Bldg. 2  
Bunnell, FL 32110



[www.flaglercounty.org](http://www.flaglercounty.org)  
Phone: (386)313-4003  
Fax: (386)313-4102

March 26, 2021

WL RESIDENTIAL LAND, LLC  
2379 BEVILLE RD  
DAYTONA BEACH, FL 32119

Re: Application #3246 – Preliminary Plat in a PUD (Planned Unit Development) - Parcel Number: 03-13-31-0000-01010-0020

Dear Property Owner:

As an owner of property within 300' of the property referenced herein, Flagler County Planning Department in accordance with Section 2.07.00 of the Flagler County Land Development Code, advises you that:

A request by Jerry K. Finley, P. E., Finley Engineering Solutions on behalf of owner W L Residential Land, LLC for a Preliminary Plat in a PUD District on approximately 9.95 acres generally lying east of U S Highway 1 and west of Stirling Bridge Drive and being a portion of parcel number 03-13-31-0000-01010-0020. The preliminary plat is for a proposed 25 lot subdivision being Plantation Bay, Section 2A-F, Unit 12.

You are hereby notified that a public hearing before the **Flagler County Planning and Development Board**, required by law, will be held in the Flagler County Government Services Building, Board Chambers, at 1769 E. Moody Boulevard, Building 2, Bunnell, Florida on **April 13, 2021**, beginning at **6:00 p.m.** or as soon thereafter as possible. You are welcome to attend and express your opinion.

Sincerely,

A handwritten signature in purple ink that reads "Gina Lemon".

Gina Lemon  
Development Review Planner III

Andy Dance  
District 1

Greg Hansen  
District 2

David Sullivan  
District 3

Joe Mullins  
District 4

Donald O'Brien, Jr.  
District 5

### PLANTATION BAY SECTION 2 A-F UNIT 12B

A REPLAT OF A PORTION OF THE BUNNELL DEVELOPMENT COMPANY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 1, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, LOCATED IN GOVERNMENT SECTION 9, TOWNSHIP 13 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA

DESCRIPTION (BY SUGER & ASSOCIATES, INC.):

A PORTION OF TRACTS 1 THROUGH 7, BLOCK "A", BUNNELL DEVELOPMENT COMPANY SUBDIVISION AS RECORDED IN MAP BOOK 1, PAGE 1, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, BEING LOCATED IN GOVERNMENT SECTIONS 9, TOWNSHIP 13 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, BEGIN AT THE NORTHWEST CORNER OF GOVERNMENT SECTION 9, TOWNSHIP 13 SOUTH, RANGE 31 EAST; THENCE S02°11'25" E, ALONG THE EAST LINE OF SAID SECTION 9 A DISTANCE OF 1727.05 FEET TO THE NORTHERLY LINE OF PLANTATION BAY SECTION 2A-F, UNIT 8 RECORDED IN MAP BOOK 38 PAGE 57 AND THE SOUTHERLY LINE OF PLANTATION BAY SECTION 2A-F, UNIT 8 RECORDED IN MAP BOOK 38 PAGE 44; THENCE DEPARTING SAID EAST LINE OF SECTION 9 S42°19'20" W, ALONG SAID NORTHERLY LINE OF SAID PLANTATION BAY 2A-F, SECTION 8 A DISTANCE OF 14.26 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE WESTERLY BOUNDARY OF SAID UNIT 6, THE FOLLOWING FOUR (4) COURSES AND DISTANCES: (1) S40°15'45" W, 50.07 FEET; (2) S00°00'34" W, 26.39 FEET; (3) S04°43'31" E, 315.21 FEET; (4) S22°07'16" E, 880.77 FEET; THENCE DEPARTING SAID WESTERLY LINE S87°02'44" W, A DISTANCE OF 426.93 FEET; THENCE ON A RADIAL BEARING OF N02°40'58" W, A DISTANCE OF 258.69 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 192.00 FEET, A CENTRAL ANGLE OF 84°42'35", AND A CHORD BEARING OF N27°57'42" E, THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 216.85 FEET; THENCE N04°23'37" W, A DISTANCE OF 305.61 FEET; THENCE N85°50'23" E, A DISTANCE OF 242.96 FEET; THENCE N04°23'37" W, A DISTANCE OF 66.04 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 275.00 FEET, A CENTRAL ANGLE OF 41°11'17", AND A CHORD BEARING OF N16°21'01" E; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 197.69 FEET; THENCE N30°47'40" E, A DISTANCE OF 41.41 FEET; THENCE N00°11'13" E, A DISTANCE OF 140.28 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 376.00 FEET, A CENTRAL ANGLE OF 02°36'58", AND A CHORD BEARING OF S02°03'52" E, THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 18.21 FEET; THENCE S03°27'17" E, A DISTANCE OF 54.76 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 685.89 FEET; A CENTRAL ANGLE OF 10°42'09", AND A CHORD BEARING OF S50°00'04" E; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 125.19 FEET TO THE POINT OF BEGINNING.

CONTAINS 9.65 ACRES, MORE OR LESS.

PROPERTY DEVELOPERS: Volusia Residential Construction, LLC, a Florida limited liability company, 2379 Beville Road, Daytona Beach, Florida 32119 (386-758-0820)

CERTIFICATE OF CLERK: I HEREBY CERTIFY THAT THE FOREGOING PLAT WAS FILED FOR RECORD ON THE \_\_\_ DAY OF \_\_\_ 2021 AT \_\_\_ FILE NO. \_\_\_\_\_

CLERK OF THE CIRCUIT COURT AND COMPTROLLER, FLAGLER COUNTY, FLORIDA

CERTIFICATE OF CHAIRMAN OF THE PLANNING BOARD: THIS IS TO CERTIFY THAT ON THE \_\_\_ DAY OF \_\_\_ 2021, THE FOREGOING PLAT WAS APPROVED BY THE PLANNING AND DEVELOPMENT BOARD.

CHIEFMAN, PLANNING AND DEVELOPMENT BOARD

CERTIFICATE OF APPROVAL BY THE GROWTH MANAGEMENT DIRECTOR: THIS PLAT IS HEREBY APPROVED FOR RECORDED PULSANT TO FLAGLER COUNTY LAND DEVELOPMENT CODE AND SEC. 17(1)(7)(F), F.S. THE \_\_\_ DAY OF \_\_\_ 2021

GROWTH MANAGEMENT DIRECTOR

CERTIFICATE OF APPROVAL OF FLAGLER COUNTY ATTORNEY: THIS IS TO CERTIFY THAT ON THE \_\_\_ DAY OF \_\_\_ 2021, THIS PLAT WAS APPROVED.

COUNTY ATTORNEY

CERTIFICATE OF APPROVAL BY COUNTY COMMISSION OF FLAGLER COUNTY, FLORIDA: THIS IS TO CERTIFY THAT ON THE \_\_\_ DAY OF \_\_\_ 2021, THE FOREGOING PLAT WAS APPROVED BY THE COUNTY COMMISSIONERS OF FLAGLER COUNTY, FLORIDA.

BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY, FLORIDA

CHAIRMAN

CLERK AND DE-OTIOFFO CLERK TO THE BOARD

TITLE CERTIFICATION: STATE OF FLORIDA, COUNTY OF FLAGLER

WE, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, A TITLE INSURANCE COMPANY AS DULY LICENSED IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE TO THE HEREIN DESCRIBED PROPERTY, THAT WE FIND THE TITLE TO THE PROPERTY IS HELD IN "VOLUISA RESIDENTIAL CONSTRUCTION, LLC" AND "CP AND HO RESIDENTIAL LOTS, LLC"; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SHOWN OR RECORDED BY RECORD AND CHARGE TRANSMISSION BY LAW ARE SHOWN HEREBY, AND THAT THERE ARE NO ENCUMBRANCES OF RECORD BUT THESE ENCUMBRANCES DO NOT PRESENT THE CHRON OF THE SEEMING OWNED ON THIS PLAT. DATE: \_\_\_ 2021

PRINTED NAME AND TITLE

CERTIFICATE OF REVIEW: I HEREBY CERTIFY THAT THE UNDERSIGNED IS A LICENSED PROFESSIONAL SURVEYOR AND MAPPER AND IS EITHER EMPLOYED OR UNDER CONTRACT WITH FLAGLER COUNTY, FLORIDA; THAT I AM NOT REPRESENTING THE OWNER OR OWNERS OF RECORD AND HAVE EXAMINED THIS PLAT AND FOUND IT TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES AND FLAGLER COUNTY PLANNING REGULATIONS.

DATE: \_\_\_ 2021

PRINT NAME: \_\_\_\_\_ FLORIDA PROFESSIONAL SURVEYOR AND MAPPER, CERTIFICATE NO. 5578

CERTIFICATE OF SURVEYOR: THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREBY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCORDANT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS, "TYPICAL" AND PERMANENT CORNER POINTS ("TYPICAL") HAVE BEEN PLACED AS REQUIRED BY LAW; AND FURTHER STATE THAT THE SURVEY DATA COMPLIES WITH ALL OF THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF FLAGLER COUNTY, FLORIDA.

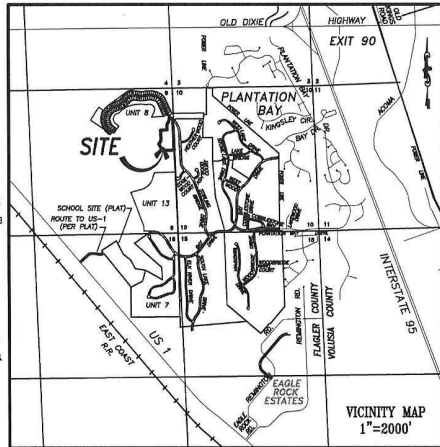
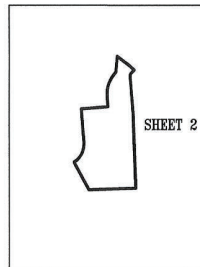
JEFF H. BUNNELL, P.S.M. - FLORIDA PROFESSIONAL SURVEYOR AND MAPPER, CERTIFICATE NO. 5578

GENERAL NOTES:

- 1. THE TERM "UTILITIES" AS USED ON THIS PLAT SHALL INCLUDE, BUT NOT BE LIMITED TO, POWER, SECURITY, TELEPHONE, ELECTRIC, CABLE TELEVISION SYSTEMS, POTABLE WATER AND DRAINAGE STRUCTURES, SANITARY SEWER, AND POTABLE WATER MAINS SHALL BE OWNED AND MAINTAINED BY THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS, ITS SUCCESSORS AND/OR ASSIGNS.
2. BEARINGS (AND COORDINATES) ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (EAST ZONE) WITH THE EAST LINE OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 31 EAST, BEING S02°11'25" E.
3. LOT LINES SHOWN HEREBY ARE RADIAL UNLESS OTHERWISE NOTED.
4. UNLESS OTHERWISE NOTED, MEASUREMENTS ARE IN U.S. FEET AND DECIMAL PARTS THEREOF. ALL MEASUREMENTS REFER TO HORIZONTAL PLANE IN ACCORDANCE WITH THE DEFINITION OF THE UNITED STATES SURVEY FOOT OR METRE ADOPTED BY THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY. ALL MEASUREMENTS SHALL USE THE 30.1728/1200.333333333333 CONVERSION FOR CONVERSION FROM A U.S. FOOT TO METERS.
5. NOTICE: THIS PLAT, AS RECORDED IN THE PUBLIC RECORDS, IS THE OFFICIAL DEPICTION OF THE SUBDIVISION DESCRIBED HEREBY, AND WILL BE UNCHANGEABLE UNLESS SUPPLEMENTED BY ANY OTHER SURVEY OR OTHER LEGAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RECORDED INSTRUMENTS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
6. METRIC LINES WERE PLACED BY: ENGINEER, DENNIS & ASSOCIATES, INC., 4301 METRIC DRIVE, WESTER PARK, FLORIDA 32766 (407) 477-1892.
7. BUILDING SETBACKS SHALL BE CONSIDERED WITH FLAGLER COUNTY ORDINANCE NO. 2016-08 RECORDED IN OFFICIAL RECORDS BOOK 2341, PAGES 283-298 OF FLAGLER COUNTY, AND AS AMENDED.
8. THIS SUBDIVISION IS TO BE DEVELOPED IN COMPLIANCE WITH MASTER DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE WISLAWA AT PLANTATION BAY PROPERTY OWNERS ASSOCIATION, INC., AS RECORDED IN OFFICIAL RECORDS BOOK 924, PAGE 944; PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA; AND DECLARATION OF COVENANTS AND RESTRICTIONS FOR WISLAWA AT PLANTATION BAY PROPERTY OWNERS ASSOCIATION, INC., RESIDENTIAL LOTS AS RECORDED IN OFFICIAL RECORDS BOOK 924, PAGE 097A, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA; AND THE ANNEXATION DOCUMENT RECORDED IN OFFICIAL RECORDS BOOK 924, PAGE 098, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
9. THIS SUBDIVISION IS TO BE DEVELOPED IN COMPLIANCE WITH THE DEVELOPMENT OF REGIONAL IMPACT DEVELOPMENT ORDER AS ADOPTED THROUGH RESOLUTION NO. 2019-05 AS RECORDED IN OFFICIAL RECORDS BOOK 2267, PAGE 862, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA; AND THE SUPPLEMENTAL DEVELOPMENT ORDINA FOR PLANTATION BAY, SECTIONS 2A-F, UNITS 5, 6, 7, 8, 9 AND 13 AS ADOPTED THROUGH ORDINANCE NO. 2019-07 AS RECORDED IN OFFICIAL RECORDS BOOK 2300, PAGE 1000, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
10. MAINTENANCE OF THE 50 FOOT DRAINAGE CANAL IS THE RESPONSIBILITY OF TOMKOA COMMUNITY DEVELOPMENT DISTRICT. IN THE EVENT OF LACK OF MAINTENANCE, FLAGLER COUNTY HAS THE RIGHT, BUT NOT THE RESPONSIBILITY, TO PERFORM MAINTENANCE.
11. TEMPORARY ACCESS AND MAINTENANCE BASEMENT RECORDED AT OFFICIAL RECORDS BOOK 922, PAGE 368, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, SHALL TERMINATE WITH THE RECORDED OF THIS PLAT.
12. THE GRANT OF BASEMENT TO THE CITY OF BUNNELL RECORDED AT OFFICIAL RECORDS BOOK 1985, PAGE 1771, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, AND THE PERMANENT UTILITIES BASEMENT RECORDED AT OFFICIAL RECORDS BOOK 1463, PAGE 873, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, REMAIN IN EFFECT AND HAVE NOT TERMINATED.

NOTES REGARDING BASEMENTS AND BUFFERS

- 1. THE PRIVATE ROADS SHOWN ON THIS PLAT ARE FOR ingress and egress BY LOT OWNERS AND THEIR GUESTS, EMERGENCY VEHICLES AND GOVERNMENT SERVICES.
2. ALL PLATTED UTILITY BASEMENTS SHALL PROVIDE THAT SUCH BASEMENTS SHALL ALSO BE BASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES, PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. - F.S. 177.17(8)
3. THE UTILITY BASEMENTS REFERENCED ABOVE AND DEPICTED AS SHOWN HEREBY ARE GRANTED AND CONVEYED TO ANY PUBLIC OR PRIVATE UTILITY AND ARE SEVERABLE NON-EXCLUSIVE BASEMENTS, GRANTING THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN AND REPAIR UNDERGROUND PUBLIC UTILITY SYSTEMS (INCLUDING WIRING, CABLES, COUPLERS AND ABOVE GROUND APPURTENANCE EQUIPMENT) UNLESS OTHERWISE INDICATED.
4. IN ADDITION TO THE UTILITY BASEMENTS SHOWN GRAPHICALLY HEREBY, THERE SHALL BE A 10-FOOT NEAR NON-EXCLUDING TRANSFERABLE UTILITY BASEMENT TO THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS, THEIR SUCCESSORS AND/OR ASSIGNS AND OTHER UTILITY PROVIDERS RUNNING PARALLEL AND ADJACENT TO THE PRIVATE ROADS AS SHOWN.
5. IN THE CASES WHERE BASEMENTS OF DIFFERENT TYPES CROSS, OR OTHERWISE COINCIDE, DRAINAGE BASEMENTS SHALL HAVE FIRST PRIORITY; UTILITY BASEMENTS SHALL HAVE SECOND PRIORITY; ACCESS BASEMENTS SHALL HAVE THIRD PRIORITY AND ALL OTHER BASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY THE USER THEREOF.
6. FLAGLER COUNTY SHALL NOT BE RESPONSIBLE FOR DRAINAGE OR ROAD MAINTENANCE WITHIN THIS PLAT BOUNDARY.
7. TRACT A =



SLIGER & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS

DECLARATION AND RESERVATION

I HEREBY DECLARE AND RESERVE THAT VOLUISA RESIDENTIAL CONSTRUCTION, LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE LAND SHOWN HEREBY, BEING IN SECTION 9, TOWNSHIP 13 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, SHOWN HEREBY AS PLANTATION BAY SECTION 2A-F, UNIT 12B

HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREBY AND DO HEREBY DECLARE SAID LINES AND PLAT FOR THE USES AND PURPOSES HEREBY EXPRESSED AND MORE SPECIFICALLY AS FOLLOWS:

PARTIAL "X" - IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE TOMKOA COMMUNITY DEVELOPMENT DISTRICT FOR COMMON AREA / DRAINAGE PURPOSES. TOMKOA COMMUNITY DEVELOPMENT DISTRICT SHALL BE RESPONSIBLE FOR MAINTENANCE THEREOF.

ALL UTILITY BASEMENTS, UNLESS OTHERWISE SHOWN HEREBY, ARE HEREBY GRANTED TO THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS FOR INSTALLATION AND MAINTENANCE OF UTILITY SYSTEMS.

ALL DRAINAGE BASEMENTS, AND DRAINAGE MAINTENANCE AND ACCESS BASEMENTS AND DRAINAGE CANAL MAINTENANCE BASEMENTS UNLESS OTHERWISE SHOWN HEREBY ARE HEREBY GRANTED TO THE TOMKOA COMMUNITY DEVELOPMENT DISTRICT FOR MAINTENANCE OF DRAINAGE SYSTEMS.

IN WITNESS WHEREOF, I, DION HANES RESIDENTIAL HOLDINGS LLC, A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE EXECUTED IN ITS NAME ON THIS \_\_\_ DAY OF \_\_\_ 2021

SIGNED AND SEALED IN THE PRESENCE OF: [Signatures and names of witnesses including Christy B. Ireland, Vice-President]

STATE OF FLORIDA, COUNTY OF VOLUISA: THIS IS TO CERTIFY THAT THE ABOVE SIGNED BEFORE ME BY MEANS OF [ ] PHYSICAL PRESENCE OR [ ] ONLINE NOTARIZATION THIS \_\_\_ DAY OF \_\_\_ 2021.

NOTARY PUBLIC STATE OF FLORIDA AT LARGE: SIGNATURE, PRINT NAME, NOTARY PUBLIC STATE OF FLORIDA AT LARGE, TELEPHONE, MY COMMISSION EXPIRES, COMMISSION NUMBER

ACCEPTANCE OF RESERVATIONS: CHIEFMAN, TOMKOA AT WISLAWA PROPERTY OWNERS ASSOCIATION, INC.

STATE OF FLORIDA, COUNTY OF VOLUISA: THE CHIEFMAN, TOMKOA AT WISLAWA PROPERTY OWNERS ASSOCIATION, INC. HEREBY ACCEPTS THE DECLARATIONS OR RESERVATIONS TO SAID ASSOCIATION AS SET FORTH AND SHOWN HEREBY, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREBY, DATED THIS \_\_\_ DAY OF \_\_\_ 2021.

WITNESSES: [Signatures and names of witnesses including Richard Smith, President]

CERTIFICATE OF APPROVAL BY COUNTY COMMISSION OF FLAGLER COUNTY, FLORIDA

THIS IS TO CERTIFY THAT ON THE \_\_\_ DAY OF \_\_\_ 2021, THE FOREGOING PLAT WAS APPROVED BY THE COUNTY COMMISSIONERS OF FLAGLER COUNTY, FLORIDA.

CHAIRMAN

CLERK OF COURT

ACCEPTANCE OF RESERVATIONS: STATE OF FLORIDA, COUNTY OF VOLUISA

TOMKOA COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ORGANIZED AND DESIGN IN ACCORDANCE WITH CHAPTER 190, FLORIDA STATUTES, HEREBY ACCEPTS THE DECLARATIONS AND RESERVATIONS TO SAID DISTRICT AS STATED AND SHOWN HEREBY, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREBY, DATED THIS \_\_\_ DAY OF \_\_\_ 2021.

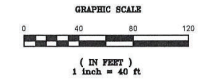
WITNESSES: [Signatures and names of witnesses including Christy B. Ireland, Vice-President]

PRINTED NAME AND TITLE: ALREZA HOSSAIN-KARAGAR, OWNER

# PLANTATION BAY SECTION 2 A-F UNIT 12B

A REPLAT OF A PORTION OF THE BUNNELL DEVELOPMENT COMPANY SUBDIVISION,  
AS RECORDED IN MAP BOOK 1, PAGE 1, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA,  
LOCATED IN GOVERNMENT SECTION 9, TOWNSHIP 13 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA

PLAT BOOK: \_\_\_ PAGE: \_\_\_



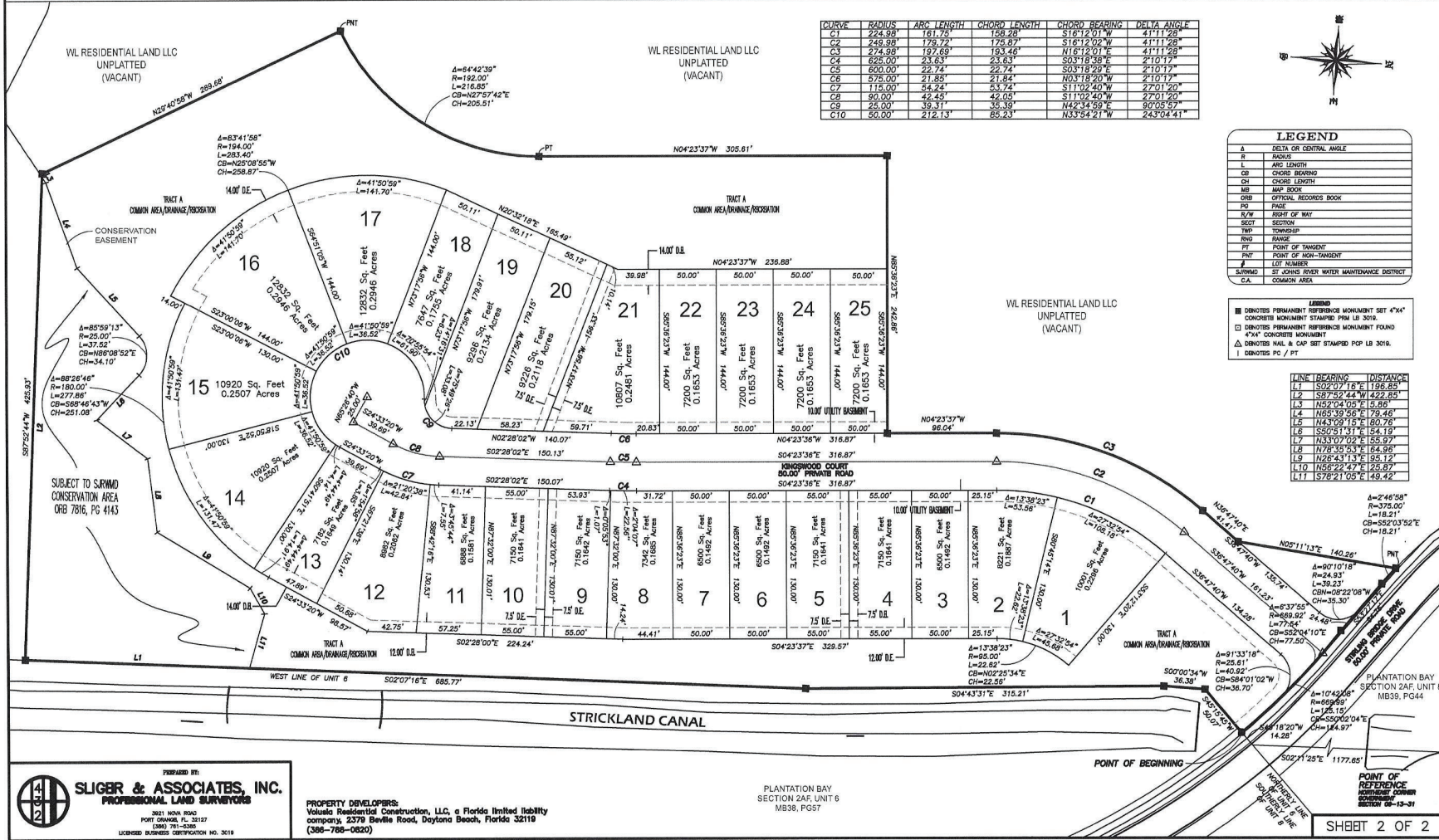
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	244.98'	161.75'	158.28'	S16°12'01" W	41°11'28"
C2	248.98'	178.72'	175.87'	S16°12'02" W	41°11'28"
C3	274.98'	197.69'	193.46'	N16°12'01" E	41°11'28"
C4	625.00'	23.63'	23.63'	S03°18'58" E	2°10'17"
C5	600.00'	22.74'	22.74'	S03°18'29" E	2°10'17"
C6	575.00'	21.85'	21.84'	N03°18'20" W	2°10'17"
C7	115.00'	54.24'	53.74'	S11°02'40" W	2°01'20"
C8	90.00'	42.45'	42.05'	S11°02'40" W	2°01'20"
C9	25.00'	39.31'	35.36'	N42°34'59" E	90°08'57"
C10	50.00'	212.13'	85.23'	N33°54'21" W	243°04'41"



LEGEND	
Δ	DELTA OR CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	CHORD BEARING
CL	CHORD LENGTH
MB	MAP BOOK
ORB	OFFICIAL RECORDS BOOK
PA	PAGE
R/W	RIGHT OF WAY
SECT	SECTION
TWP	TOWNSHIP
RNG	RANGE
PT	POINT OF TANGENT
PNT	POINT OF NON-TANGENT
LOT	LOT NUMBER
SRWD	ST. JOHNS RIVER WATER MAINTENANCE DISTRICT
C.A.	COMMON AREA

■ DENOTES PERMANENT REFERENC MONUMENT SET 4"x4" CONCRETE MONUMENT STAMPED FROM LP 3014.  
□ DENOTES PERMANENT REFERENC MONUMENT STAMPED 4"x4" CONCRETE MONUMENT.  
△ DENOTES NAIL & CAP SET STAMPED POP LP 3014.  
1 DENOTES PO / PT

LINE BEARING	DISTANCE
L1	S02°07'16" E 196.85'
L2	S87°52'44" W 422.85'
L3	N52°04'02" E 164.86'
L4	N65°39'56" E 79.48'
L5	N43°09'15" E 60.78'
L6	S50°31'11" E 154.19'
L7	N33°07'02" E 55.97'
L8	N78°35'53" E 64.98'
L9	N28°43'13" E 65.12'
L10	N58°22'47" E 26.87'
L11	S78°21'05" E 49.42'



PREPARED BY:  
**SLIGER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS  
3621 NOVA ROAD  
PORT CHARLOTTE, FL 33137  
(800) 781-3300  
LICENSED BUSINESS CERTIFICATION NO. 3018

PROPERTY DEVELOPERS:  
Volusia Residential Construction, LLC, a Florida limited liability company, 2379 Bayville Road, Daytona Beach, Florida 32119  
(386)-788-0600

PLANTATION BAY  
SECTION 2A-F, UNIT 8  
MBS3, PG57

# PLANTATION BAY SECTION 2 A-F, UNIT 12B

**DATA TABLE**

OWNER: ML RESIDENTIAL LAND, LLC, BY MOSENI VENTURES, LLP,  
BY WEST DUVAL INVESTMENTS, INC.  
2379 BEVILLE ROAD  
DAYTONA BEACH, FLORIDA 32119  
386.236.4160

ZONING: PLANTATION BAY PUD / DR1  
SURROUNDING LAND USES: PLANTATION BAY PUD/DR1  
MAINTENANCE OF ROADS AND COMMON AREAS: BY TOMOKA COMMUNITY DEVELOPMENT DISTRICT  
FIRE PROTECTION: FIRE HYDRANTS SERVED BY FLORIDA GOVERNMENT UTILITY AGENCY  
WATER AND SEWER SERVICE: PROVIDED BY FLORIDA GOVERNMENT UTILITY AGENCY  
COVENANTS AND RESTRICTIONS: EXISTING PLANTATION BAY DOCUMENTS  
BUILDING HEIGHT: 35 FEET MAXIMUM

**BUILDING SETBACKS**  
FRONT: 20 FEET  
SIDE: 5 FEET  
SIDE STREET: 20 FEET  
REAR POOL/SCREEN ROOM: 5 FEET

**LOT REQUIREMENTS**  
MINIMUM LOT SIZE: 6,500 S.F.  
MINIMUM LOT WIDTH: 50 FEET (MEASURED AT RESTRICTIVE SETBACK LINE)  
THIS IS NOT AN AGE RESTRICTED COMMUNITY

**DRI ANALYSIS – MAP H-1 USES**

USE: UNIT 12B  
DEVELOPMENT AREA..... 9.953 ACRES  
(MEDIUM DENSITY) 60 MAXIMUM ALLOWABLE UNITS  
4-6 UNITS/AC

**PROPOSED PLANS**

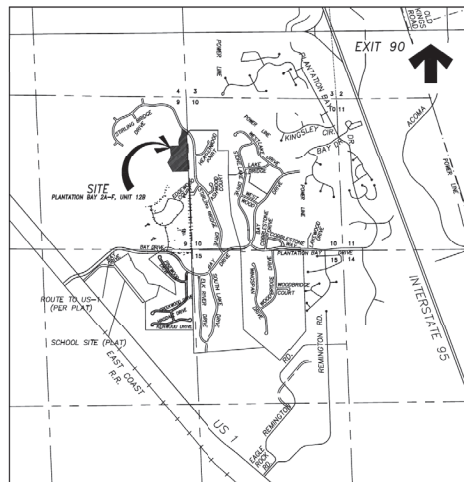
PLAT AREA 9.95 ACRES  
LOT AREA 4.82 ACRES

(ACRES)  
LAKE/WETLANDS 4.02  
TRANSPORTATION 1.11  
RESIDENTIAL 4.02

TOTAL UNITS = 25 LOTS (SINGLE FAMILY)

**GENERAL NOTES**

- NO CONSTRUCTION TRAFFIC ALLOWED IN UNDESIGNATED AREAS.
- ALL ROADWAY AND BRIDGE CONSTRUCTION SHALL CONFORM TO THE FLAGLER COUNTY DEVELOPMENT AND SUBDIVISION REGULATIONS OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- PIPE SHALL BE PVC (ASTM D3034) OR REINFORCED CONCRETE PIPE (CLASS III). ALL PIPE SHALL MEET ASTM, AASHTO, AND FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN MEMORANDUM (DMS) SPECIFICATIONS. WATERSTOP, ANNUAL BANDING OF CORRUGATED METAL PIPE JOINTS SHALL BE REQUIRED.
- ALL UNDERGROUND UTILITIES, ETC. SHALL BE IN PLACE PRIOR TO SURFACE CONSTRUCTION AND ROADWAY CONSTRUCTION.
- WHERE MAINTENANCE IS ENCOUNTERED WITHIN SWALES, IT SHALL BE REMOVED FOR A WIDTH OF 2 FEET AT THE INVERT AND REPLACED WITH A GRANULAR INFILL OF MATERIAL TO MEET FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN MEMORANDUM (DMS) SPECIFICATIONS.
- IF HOLE OR UNDESIRABLE MATERIAL IS ENCOUNTERED, IT SHALL BE COMPLETELY REMOVED FROM THE CENTERLINE A DISTANCE OF 10 FEET BEYOND THE EDGE OF PAVER.
- LOCATIONS OF BRIDGE STRUCTURES SHALL COVERED AND PIPE LENGTHS MAY HAVE TO BE ADJUSTED TO ACCOMMODATE CONSTRUCTION AS SHOWN ON THESE PLANS.
- ALL SIGNING AND TRAVELWAY MARKING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, FLORIDA DEPARTMENT OF TRANSPORTATION AND FLORIDA COUNTY SPECIFICATIONS.
- BEFORE STARTING WORK, CONTRACTORS SHALL CONTACT ALL UTILITY COMPANIES AND RECORD LOCATION OF EXISTING UNDERGROUND SERVICES.
- WHERE NEW UTILITIES CROSS EXISTING UTILITIES, THE CONTRACTOR SHALL FIELD VERIFY CLEARANCE PRIOR TO INSTALLATION OF ANY PORTION OF NEW UTILITY. IF UTILITIES WOULD CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF NEW UTILITY.
- CANALS WITHIN THE LIMITS OF THIS PROJECT ARE TO BE MAINTAINED WITHIN THIS PROJECT
- BENCH MARK: (ELEVATIONS HEREIN REFER TO N. G.V.D. 1929 DATUM).
- CONTRACTOR WILL CONSULT WITH OWNER OR OWNER'S REPRESENTATIVE PRIOR TO ANY CLEARING, GRUBBING OR SWALE CONSTRUCTION FOR VEGETATION TO REMAIN, BE TRANSLANTED OR REMOVED.
- PRIORITY OF CONSTRUCTION SEQUENCING WILL BE DETERMINED BY THE OWNER. TECHNIQUES AND METHODOLOGIES ARE RESPONSIBILITY OF THE CONTRACTOR.
- ANY VARIATION TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL EXCESS ELEVATION WILL BE NEATLY STOCKPILED ON SITE IN A LOCATION DETERMINED BY THE OWNER.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE LINES AND GRADES OF ALL DESIGNATED SWALE AREAS UNTIL FINAL VEGETATION IS ESTABLISHED.
- ALL TESTING WILL BE PAID FOR AND PERFORMED BY THE OWNER. ALL TESTING SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- CONSTRUCTION TO UTILIZE BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND PRESERVE SURROUNDING WATER QUALITY (I.E. HAYBALES, TURBIDITY SCREENS).
- ALL WATER AND SEWER CONSTRUCTION SHALL COMPLY WITH FLORIDA COUNTY REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH NPDES PERMIT REQUIREMENTS AND MAINTAINING A WEEKLY INSPECTION LOG IN ACCORDANCE WITH PERMIT.
- SEE ALL SLOPES WITHIN 30 DAYS OF FINAL GRADING.



VICINITY MAP  
PROJECT AREA: 9.95 ACRES

**LOT AREA TABLE**

LOT	ACRES	SQ. FT.
1	10.001	67633
2	8.221	56291
3	6.500	44750
4	7.150	49125
5	7.150	49125
6	6.500	44750
7	7.150	49125
8	7.150	49125
9	7.150	49125
10	10.920	74352
11	10.920	74352
12	10.920	74352
13	10.920	74352
14	10.920	74352
15	10.920	74352
16	10.920	74352
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85	10.920	74352
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88	10.920	74352
89	10.920	74352
90	10.920	74352

ENGINEER: FINLEY ENGINEERING SOLUTIONS, INC.  
3959 SO. NOVA ROAD, SUITE B-34  
PORT ORANGE, FL 32127  
(386) 756-8676

SURVEYOR: SLIGER & ASSOCIATES, INC.  
3921 SO. NOVA ROAD  
PORT ORANGE, FL 32127  
(386) 751-5385

PRIOR TO PROJECT COMPLETION AND THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, AN "AS-BUILT" SURVEY AND AN ENGINEER'S CERTIFICATION OF COMPLETION MUST BE COMPLETED ON FORM E-1 FOUND WITHIN THE FLAGLER COUNTY CERTIFICATIONS FOR PLATS AND STANDARD FORMS MANUAL.

**INDEX OF SHEETS**

NO.	DESCRIPTION
1	COVER SHEET
2-3	POLLUTION PREVENTION PLAN/DETAILS
4	OVERALL DEVELOPMENT PLAN
5-6	PLAN AND PROFILE SHEETS
7-9	DETAILS PLAT

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY  
JERRY K. FINLEY, P.E.,  
STATE OF FLORIDA PROFESSIONAL ENGINEER, LICENSE # 29909  
ON THE DATE INDICATED  
USING A DIGITAL SIGNATURE.  
PRINTED COPIES OF THIS DOCUMENT WITHOUT A HAND WRITTEN SIGNATURE ARE NOT CONSIDERED SIGNED AND SEALED. THE ELECTRONIC SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

NO. 1  
DATE 1-24-23  
SUBMIT TO COUNTY

FINLEY ENGINEERING SOLUTIONS, INC.  
CERTIFICATE OF AUTHORIZATION NUMBER 31891  
E-MAIL: FINLEY@FINLEYENGINEERS.COM

3959 SO. NOVA ROAD, SUITE B-34  
PORT ORANGE, FL 32127  
(386)756-8676

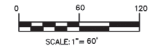
**PLANTATION BAY SECTION 2A-F, UNIT 12B PRELIMINARY PLAT**

PROJECT NUMBER  
P024 2021

Digitally signed by Jerry K. Finley  
DN: cn=J. K. Finley, o=Finley Engineering Solutions, Inc., email=jerry@finleyengineers.com, c=US  
Date: 2023.02.10 15:58:12 -0500

SHEET TITLE  
**COVER SHEET**

SHEET  
**1**



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY  
 JERRY K. FINLEY, P.E.  
 STATE OF FLORIDA PROFESSIONAL ENGINEER, LICENSE # 28909  
 ON THE DATE INDICATED  
 USING A DIGITAL SIGNATURE  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE ELECTRONIC SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

NO.	DATE	DESCRIPTION
1		

3959 SO. NOVA ROAD, SUITE B-34  
 PORT ORANGE, FLORIDA 32127  
 (386)756-8676  
 CERTIFICATE OF AUTHORIZATION NUMBER 31891  
 JFINLEY@FINLEYENGINEERS.COM

**FINLEY ENGINEERING SOLUTIONS, INC.**

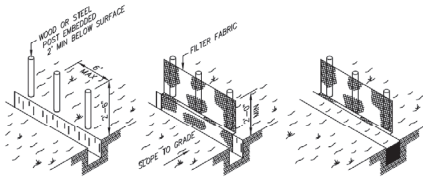
**WESTLAKE UNIT 12B**  
 PLANTATION BAY SECTION 2A-F, UNIT 12B  
 SUBDIVISION PRELIMINARY PLAN

PROJECT NUMBER  
 FEG# 2021

**Jerry K. Finley**  
 Digitally signed by  
 JERRY K. FINLEY, P.E.  
 DN: cn=JERRY K. FINLEY,  
 o=FINLEY ENGINEERING SOLUTIONS, INC.,  
 ou=PORT ORANGE, FL, c=US,  
 email=jfinley@finleyengineers.com,  
 serial=182295,  
 date=2021.02.10 15:05:00

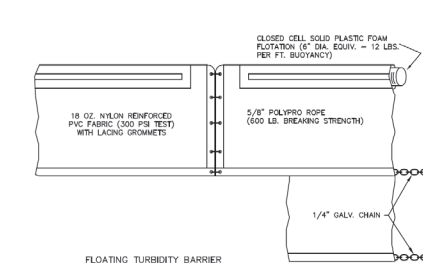
SHEET TITLE  
**CLEARING & EROSION CONTROL PLAN**

SHEET  
**2**



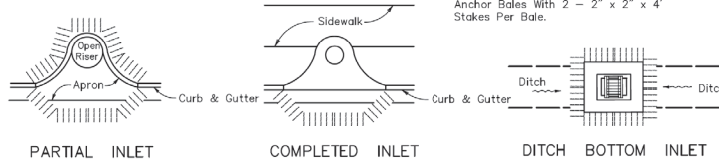
**SILT FENCE DETAIL**  
F.O.D.T. INDEX NO. 102

- NOTES:**
- MATERIALS, CONSTRUCTION METHODS AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DESIGN STANDARDS CURRENT EDITION.
  - CONTRACTOR SHALL PROVIDE SILT FENCES AND HAY BALES AT ALL STORMWATER DISCHARGE POINTS FOR EROSION CONTROL AND SEDIMENT CONTROL DURING CONST.
  - CONTRACTOR SHALL ROUGH GRADE STORMWATER SMOLES AND RETENTION AREAS PRIOR TO CONSTRUCTION OF SITE IMPROVEMENTS.
  - CONTRACTOR SHALL MEET ALL PERMIT CONDITIONS AS ESTABLISHED BY THE CITY OF PORT ORANGE AND ALL OTHER APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO COUNTY, FLORIDA, AND THE SURROUNDING.



**FLOATING TURBIDITY BARRIER**  
F.O.D.T. INDEX NO. 103

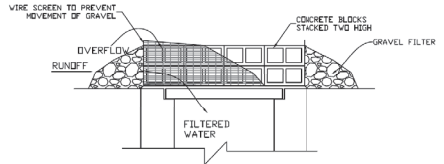
- D1 - 5 FT. STD. SINGLE PANEL FOR DEPTHS 5 FT. OR LESS  
D2 - 5 FT. STD. ADDITIONAL PANEL FOR DEPTHS GREATER THAN 5 FT.  
CURTAIN TO REACH BOTTOM UP TO DEPTHS OF 10 FT.  
TWO PANELS TO BE USED FOR DEPTHS GREATER THAN 10 FT.



**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**

HAY BALES SHALL BE TRENCHED TO 3\"/>

ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.



**SECTION A-A**  
**CONCRETE BLOCK/GRAVEL FILTER**

**INLET PROTECTION NOTES:**

- UPON INSTALLATION OF INLETS IN PAVED AND UNPAVED AREAS, INLET PROTECTION MUST BE EMPLOYED.
- DURING INFRASTRUCTURE AND PAVEMENT CONSTRUCTION, WRAP INLET GRATE WITH FILTER FABRIC, USE HAY BALES FOR ADDITIONAL SEDIMENT FILTRATION.
- REMOVE FILTER FABRIC UNDER GRATE AND HAY BALES FROM PAVEMENT INLETS WITH APRONS AT TIME OF FINAL BEVELLEMENT INSPECTION.
- INSTALL GRATE SCREEN OR CONCRETE BLOCK/GRAVEL FILTER ON EACH INLET FOLLOWING CONSTRUCTION OF APRON UNTIL THE COMPLETION OF ALL BUILDING CONSTRUCTION. HAY BALES, SILT GUARD GRATE SCREEN
- HAY BALES, SILT GUARD GRATE SCREEN OR CONCRETE BLOCK FILTER ARE ALL ACCEPTABLE METHODS OF INLET PROTECTION FOR INLETS LOCATED IN UNPAVED AREAS.

**INLET PROTECTION DETAILS**

**POLLUTION PREVENTION REQUIREMENTS**

Owner shall file a "Notice of Intent to Use Generic Permit For Stormwater Discharge From Large and Small Construction Activities" with the Florida Department of Environmental Protection for this project. Contractor shall be required to comply with all provisions of the Generic Permit including but not limited to:

Provide such erosion and sediment control measures as may be necessary to prevent discharge of pollutants from the site from the onset of construction until the final ground cover has been established.

Employ a DEP certified inspector to make weekly inspections / reports of the condition of erosion and sediment control measures within 24 hours of every rainfall event exceeding one-half inch.

Maintain all erosion and sediment control measures throughout construction.

Add erosion and sediment control measures as site conditions change.

The Contractor shall sign the Certification provided on this Pollution Prevention Plan, and is required to read and initial the Generic Permit conditions provided. These documents shall become a part of the Construction Contract.

FLORIDA NPDES  
GENERIC PERMIT FOR STORMWATER DISCHARGE  
ID# # 11.R.  
DATE OF CONTRACT \_\_\_\_\_

I certify, under penalty of law, that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit For Stormwater Discharge from Large and Small Construction Activities and the attached Stormwater Pollution Prevention Plan.

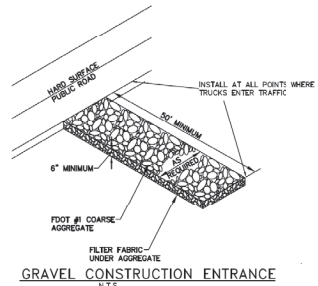
Signed: \_\_\_\_\_  
Name and Title: \_\_\_\_\_  
Company Name: \_\_\_\_\_  
Company Address: \_\_\_\_\_  
Company Phone Numbers: \_\_\_\_\_

POLLUTION PREVENTION PLAN FOR PLANTATION BAY 2A-F, UNIT 8  
CONSISTS OF SHEETS 2 AND 3.

**CONTRACTOR REQUIREMENTS FOR EROSION CONTROL**

THE FOLLOWING MEASURES, AND THOSE REPRESENTED ON THIS POLLUTION PREVENTION PLAN REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. ADDITIONAL MEASURES MAY BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

- NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING, BARRICADES AND OPENED PROPOSED FENCING ARE TO BE LOCATED AT THE ORIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDERSTORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
- SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE ORIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, HAY BALES, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
- PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND PERMEABLE FILLING OF EXISTING STORMWATER TREATMENT FACILITIES AT ANY ADDITIONAL AREA. THE USE OF DEBRIS IS NECESSARY TO BE MINIMIZED TO THE EXTENT POSSIBLE. EROSION IMPACTS DURING CONSTRUCTION, THESE CONDITIONS SHALL APPLY TO ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFORESAID LOCATIONS.
- WHEN FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH IS INTENDED TO REMAIN NATURAL, THE CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED.
- AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN THIRTY DAYS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN THIRTY DAYS OF BRINGING A PROJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR SHALL INSTALL SEED AND MULCH OR SOO, AS REQUIRED.



**GRAVEL CONSTRUCTION ENTRANCE**  
N.T.S.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

**DEFINITION**  
A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

**PURPOSE**  
TO REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

**CONDITIONS WHERE PRACTICE APPLIES**  
WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVES DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA.

**PLANNING CONSIDERATIONS**

CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF THE VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

**DESIGN CRITERIA**

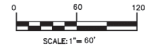
AGGREGATE SIZE  
FOOT AGGREGATE NO. 1 (1.5 - 3.5 INCH STONES) SHOULD BE USED.

**ENTRANCE DIMENSIONS**

AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. (SEE DETAIL).

THIS PERM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY  
JERRY K. FINLEY, P.E.  
PROFESIONAL ENGINEER IN PROFESSIONAL  
DATE: 2021.02.10  
193234-6026

NO.	DATE	REVISION	SUBMIT TO COUNTY
<b>FINLEY ENGINEERING SOLUTIONS, INC.</b>			3959 SO. NOVA ROAD, SUITE B-34 PORT ORANGE, FLORIDA 32127 (386)756-8676 JFINLEY@FINLEYENGINEERS.COM
<b>WESTLAKE UNIT 12B</b> PLANTATION BAY SECTION 2A-F, UNIT 12B SUBDIVISION PRELIMINARY PLAT			PROJECT NUMBER FEB# 2021
Digitally signed by Jerry K. Finley Date: 2021.02.10 19:32:34 -0500			SHEET TITLE <b>STORMWATER POLLUTION PREVENTION DETAILS</b> SHEET <b>3</b>



NO.	DATE	DESCRIPTION
1	2-20-22	SUBMIT TO COUNTY

3959 SO. NOVA ROAD, SUITE B-34  
 FORT ORANGE, FLORIDA 32127  
 (386)756-8676  
 CERTIFICATE OF AUTHORIZATION NUMBER 31991  
 JFINLEY@FINLEYENGINEERS.COM

**FINLEY ENGINEERING SOLUTIONS, INC.**

**WESTLAKE UNIT 12B**  
 PLANTATION BAY SECTION 2A-F, UNIT 12B  
 SUBDIVISION PRELIMINARY PLAN

PROJECT NUMBER  
 FIG# 1251

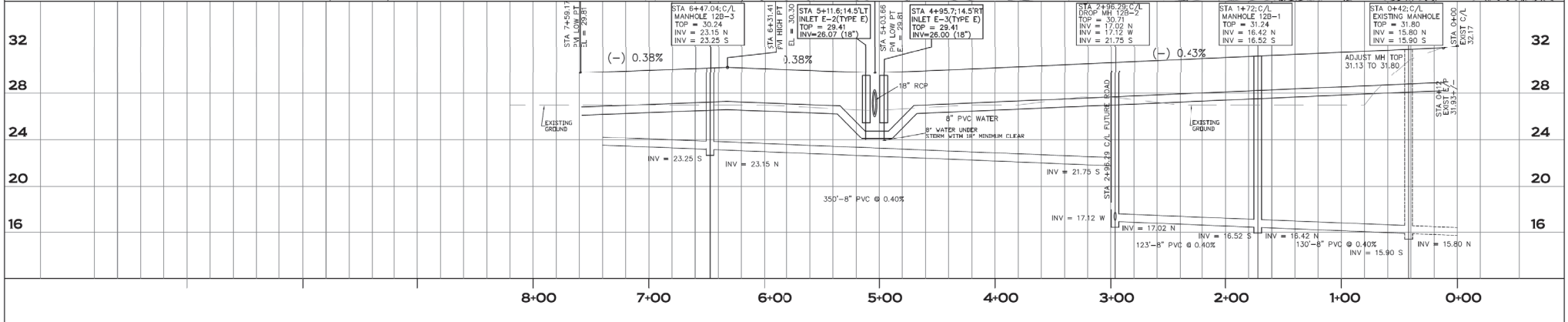
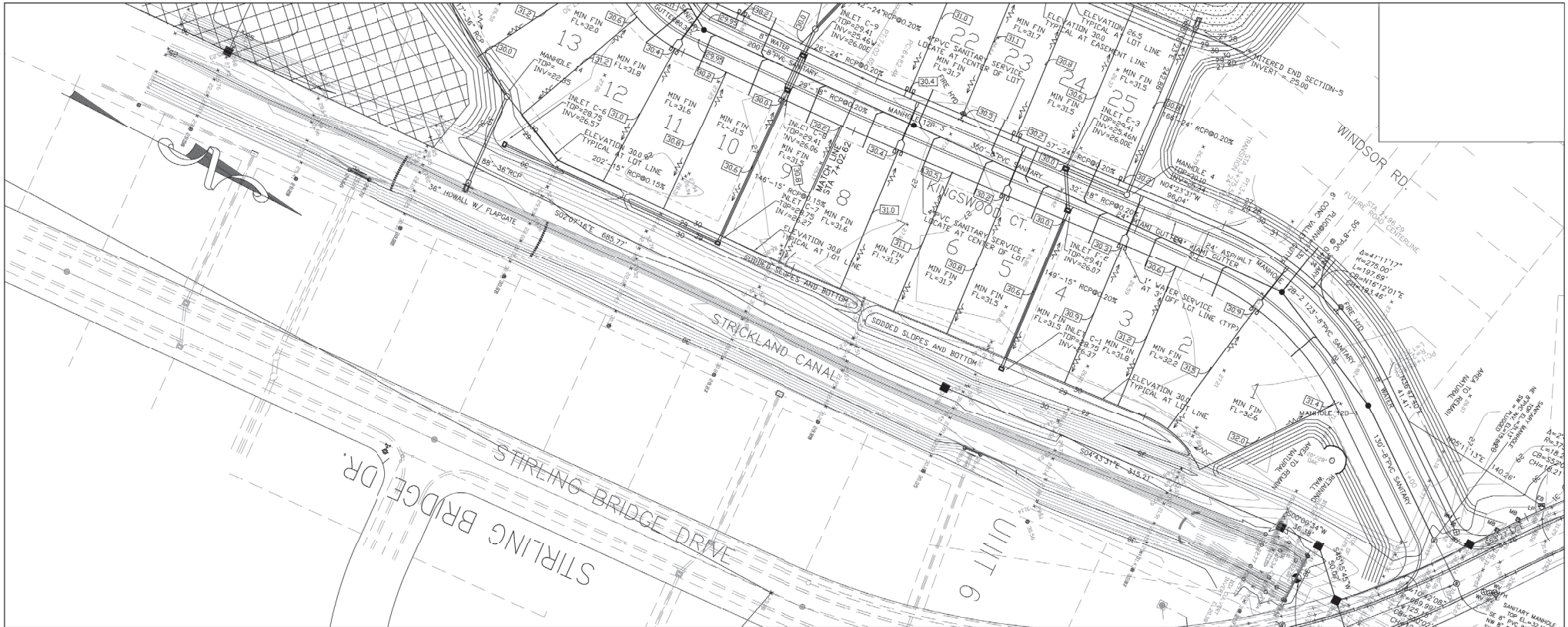
**Jerry K. Finley**  
 Digitally signed by Jerry K. Finley  
 DN: cn=Jerry K. Finley, o=Finley Engineering Solutions, Inc., email=jerry@finley-engineers.com, c=US  
 Date: 2022.02.10 15:38:08 -0500

SHEET TITLE  
**OVERALL PLAN**

SHEET  
**4**

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JERRY K. FINLEY, P.E., STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE # 29999 ON THE DATE INDICATED USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT WITHOUT A HAND WRITTEN SIGNATURE ARE NOT CONSIDERED SEALED AND SEALED THE ELECTRONIC SIGNATURE ARE NOT VERIFIED ON ELECTRONIC COPIES.





NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION
1	2-10-21	SUBMIT TO COUNTY				

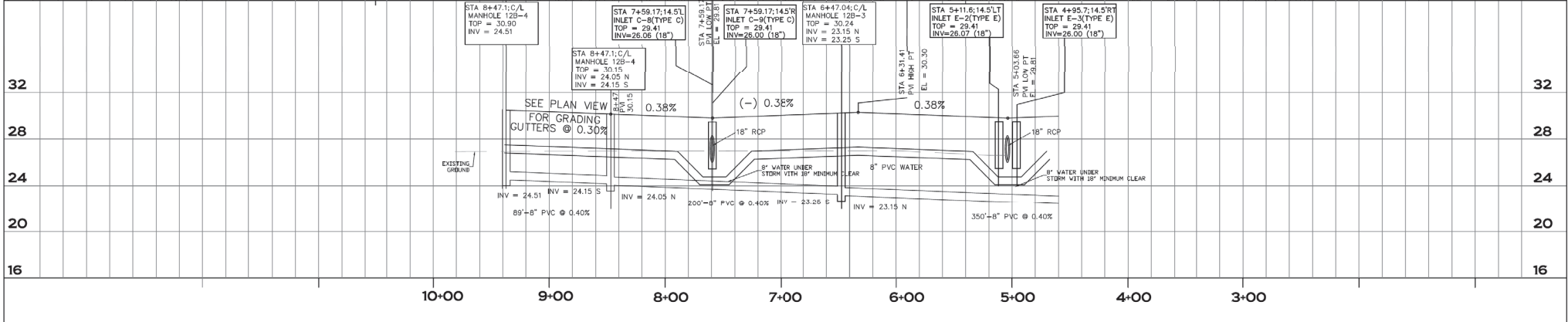
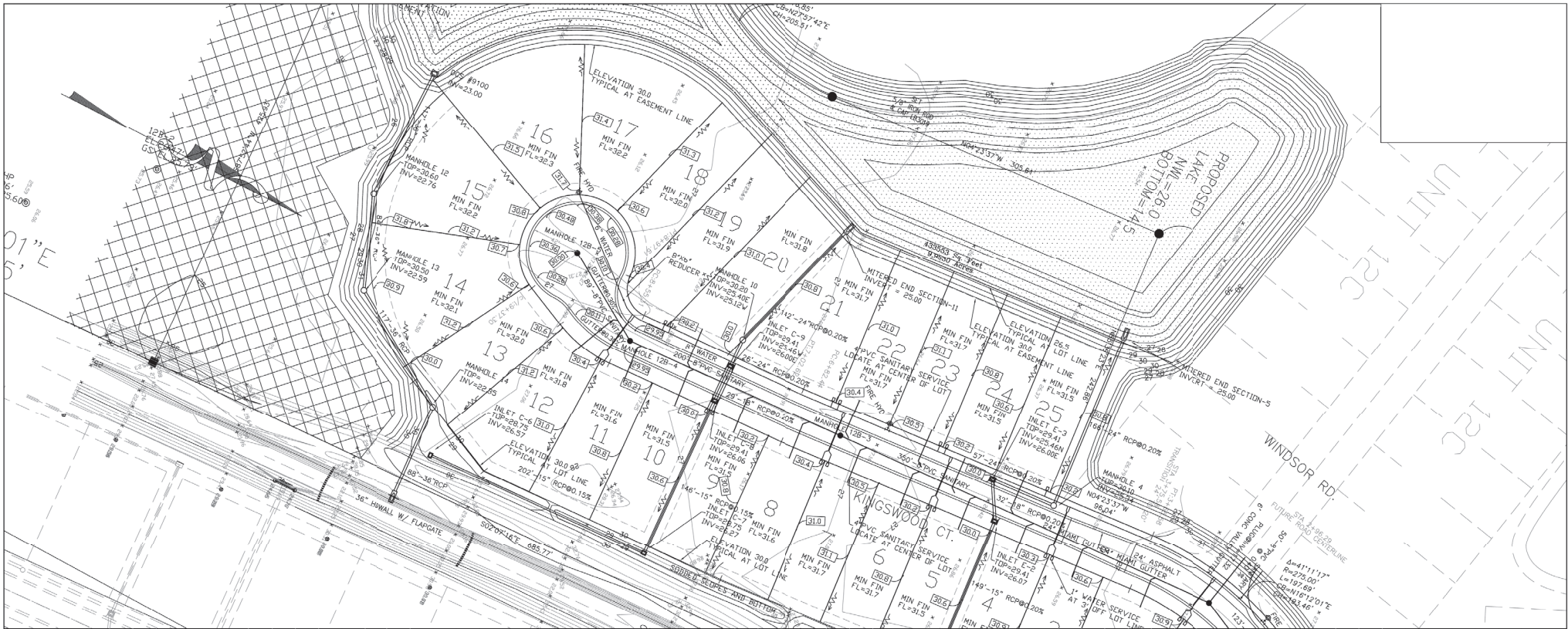
**FINLEY ENGINEERING SOLUTIONS, INC.**  
 3959 SO. NOVA ROAD, SUITE B-34  
 PORT ORANGE, FL. 32127  
 (386) 756-8676  
 JFINLEY@FINLEYENGINEERS.COM

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JERRY K. FINLEY, P.E., STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE # 29299 ON THE DATE INDICATED USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT WITHOUT A HAND WRITTEN SIGNATURE ARE NOT CONSIDERED SIGNED AND SEALED. THE ELECTRONIC SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

**Jerry K. Finley**  
 State of Florida  
 Professional Engineer  
 License # 29299  
 Date: 2/23/2021  
 15:33:49  
 15:06

**WESTLAKE UNIT 12B**  
 PLANTATION BAY SECTION 2A-F. UNIT 12B  
 KINGSWOOD COURT  
 FINAL DEVELOPMENT PLANS - PLAN / PROFILE

SHEET **5**

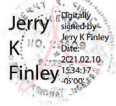


NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION
1	2-10-21	SUBMIT TO COUNTY				

**FINLEY ENGINEERING SOLUTIONS, INC.**  
 CERTIFICATE OF AUTHORIZATION # 31991

3959 SO. NOVA ROAD, SUITE B-34  
 PORT ORANGE, FL. 32127  
 (386) 756-8676  
 JFINLEY@FINLEYENGINEERS.COM

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JERRY K. FINLEY, P.E., STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE # 29599 ON THE DATE INDICATED. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE ELECTRONIC SIGNATURE MUST BE VIEWED ON ELECTRONIC COPIES.

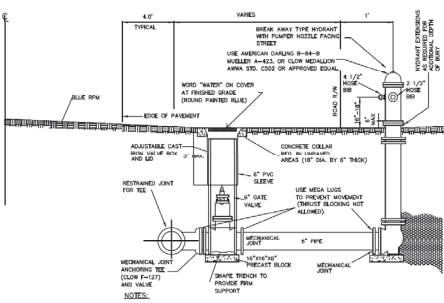


**WESTLAKE UNIT 12B**  
 PLANTATION BAY SECTION 2A-F. UNIT 12B  
 KINGSWOOD COURT  
 FINAL DEVELOPMENT PLANS - PLAN / PROFILE

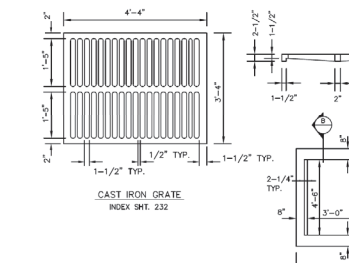
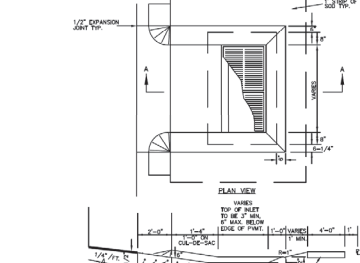
SHEET **6**

**POTABLE WATER SERVICE AND CONSTRUCTION NOTES**

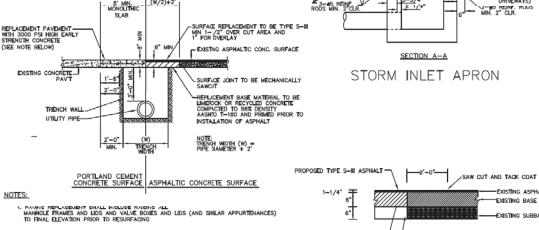
1. SLOPES SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 FEET ABOVE WATER MAIN SERVICE.
2. ALL WATER MAINS SHALL BE Laid ON A FIRM FOUNDATION WITH AN UNIFORM NATURAL SAND, COARSE SAND FINISHED AND REPAIRED WITH CLEAN SAND.
3. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE CITY WITH A MINIMUM COMPACTION OF 95% PERCENT.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTON IS PERFORMED AT AN INTERVAL OF 300 FEET.
5. ALL TRENCHES SHALL BE REPAIRED TO ORIGINAL GRADE AT A MINIMUM GRADE OF 300 FEET INTERVALS TO FINISH GRADE AT A MINIMUM GRADE OF 300 FEET INTERVALS.
6. ACCEPTABLE MANUFACTURERS FOR ALL PIPE LINES, MANHOLE PIPES SHALL BE USED ON ALL OUTLET PIPES TO 48" DIAM.
7. ALL SLOPE INTERNAL WATER SERVICES SHALL BE 3/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1 1/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1 1/2" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM.
8. ALL SLOPE INTERNAL WATER SERVICES SHALL BE 3/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1 1/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM.
9. ALL SLOPE INTERNAL WATER SERVICES SHALL BE 3/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1 1/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM.
10. ALL SLOPE INTERNAL WATER SERVICES SHALL BE 3/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM. EXCEPT FOR 12" DIAM. SERVICES WHICH SHALL BE 1 1/4" DOUBLE RESIDENTIAL SERVICES TO 48" DIAM.



**TYPICAL FIRE HYDRANT ASSEMBLY**



**CAST IRON GRATE INDEX SHIT. 232**



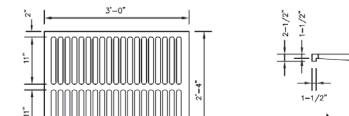
**PAVEMENT TRENCH RESTORATION**



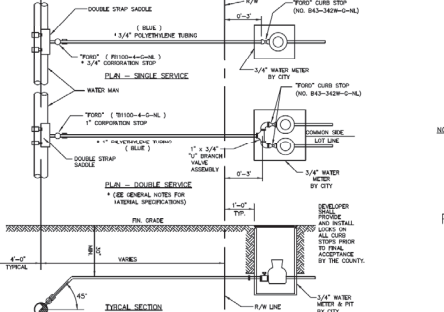
**PAVEMENT BUTT JOINT**



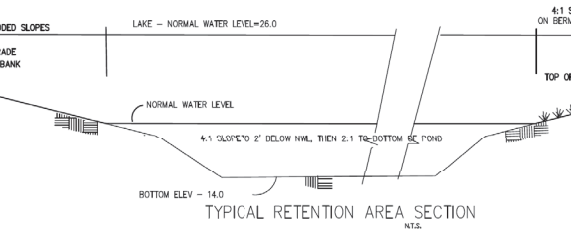
**F.O.T. TYPE INLET INDEX SHIT. 232**



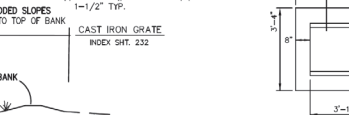
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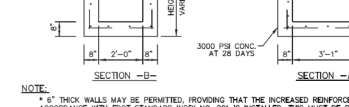
**WATER LATERAL SERVICE (3/4" - 2" SIZES)**



**TYPICAL RETENTION AREA SECTION**



**F.O.T. TYPE INLET INDEX SHIT. 232**



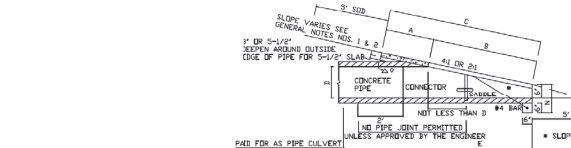
**F.O.T. TYPE INLET INDEX SHIT. 232**

**POTABLE WATER DESIGN AND CONSTRUCTION NOTES**

1. SLOPES SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 FEET ABOVE WATER MAIN SERVICE.
2. ALL WATER MAINS SHALL BE Laid ON A FIRM FOUNDATION WITH AN UNIFORM NATURAL SAND, COARSE SAND FINISHED AND REPAIRED WITH CLEAN SAND.
3. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE CITY WITH A MINIMUM COMPACTION OF 95% PERCENT.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTON IS PERFORMED AT AN INTERVAL OF 300 FEET.
5. ALL TRENCHES SHALL BE REPAIRED TO ORIGINAL GRADE AT A MINIMUM GRADE OF 300 FEET INTERVALS TO FINISH GRADE AT A MINIMUM GRADE OF 300 FEET INTERVALS.



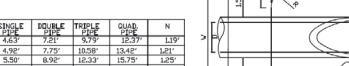
**TEMPORARY JUMPER CONNECTION**



**MITERED END SECTION**



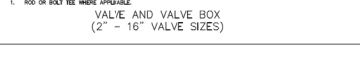
**F.O.T. TYPE INLET INDEX SHIT. 232**



**F.O.T. TYPE INLET INDEX SHIT. 232**



**POTABLE WATER BLOW-OFF ASSEMBLY**



**VALVE AND VALVE BOX (2" - 16" VALVE SIZES)**

DIMENSIONS	DIMENSIONS		DIMENSIONS		DIMENSIONS		SINGLE	DOUBLE	TRIPLE	QUAD	N
	A	B	C	E	F	G					
4" x 4"	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
6" x 6"	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25
8" x 8"	1.50	1.50	1.50	1.50	1.50	1.50	1.50	1.50	1.50	1.50	1.50
10" x 10"	1.75	1.75	1.75	1.75	1.75	1.75	1.75	1.75	1.75	1.75	1.75
12" x 12"	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00
14" x 14"	2.25	2.25	2.25	2.25	2.25	2.25	2.25	2.25	2.25	2.25	2.25
16" x 16"	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JERRY K. FINLEY, P.E. STATE OF FLORIDA PROFESSIONAL ENGINEER, LICENSE # 29909 ON THE DATE INDICATED USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT WITHOUT A HAND WRITTEN SIGNATURE ARE NOT CONSIDERED SIGNED AND SEALED. THE ELECTRONIC SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

**FINLEY ENGINEERING SOLUTIONS, INC.**  
 CERTIFICATE OF AUTHORIZATION NUMBER 31989  
 E-MAIL: FINLEY@FINLEYENGINEERS.COM  
 3959 SO. NOVA ROAD, SUITE B34  
 PORT ORANGE, FL 32127  
 (386) 956-8676

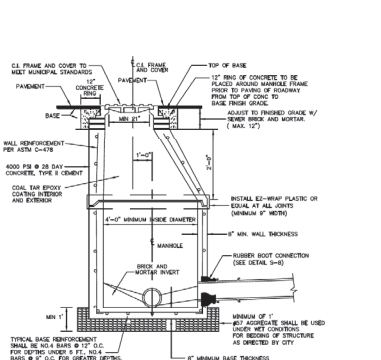
**PLANTATION BAY SECTION 2A-F, UNIT 12B**

PROJECT NUMBER: F018 2021

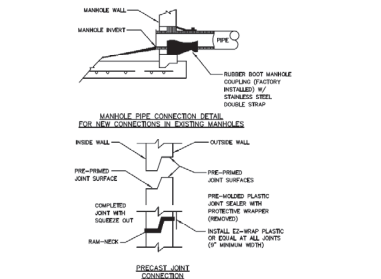
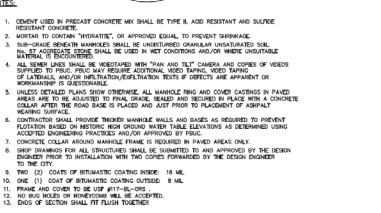
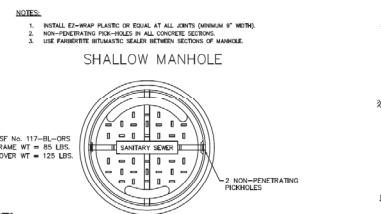
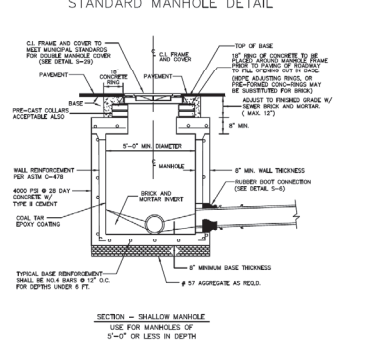
Jerry K. Finley  
 State of Florida  
 Professional Engineer  
 License # 29909  
 Date: 2019.02.10  
 15044-5  
 0500

SHEET TITLE: DETAILS

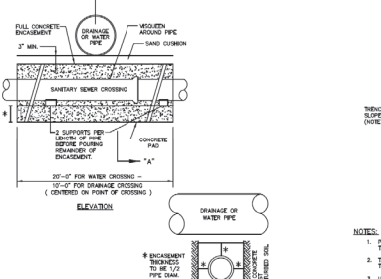
SHEET: 7



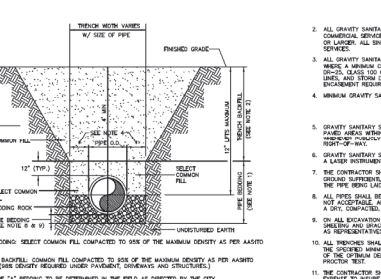
- NOTES:**
1. ON TRANSITIONS BETWEEN LARGER DIAMETER AND SMALLER SEWER COLLECTION SYSTEMS, TRANSITION SHALL BE PERMITTED.
  2. NON-PENETRATING POOR-HOLES IN ALL CONCRETE SECTIONS.
  3. USE FABRICATED BRASS/STAINLESS STEEL BETWEEN SECTIONS OF MANHOLES.
  4. 1/2" - 1/4" ANGLE IRON MANHOLE TOP.



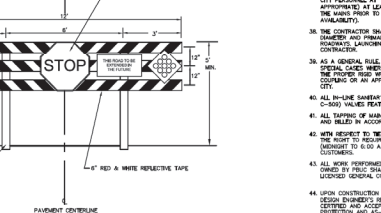
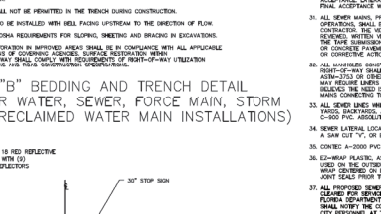
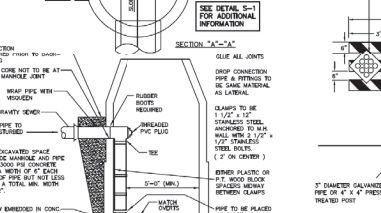
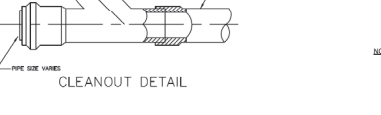
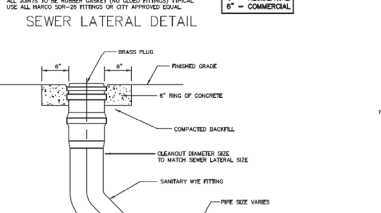
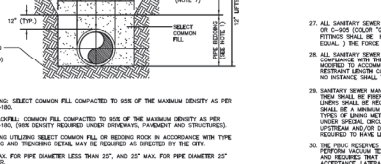
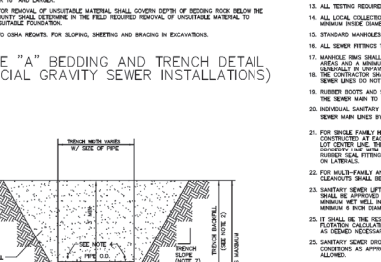
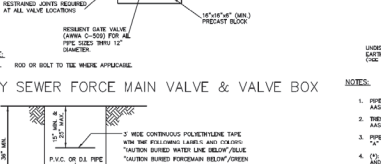
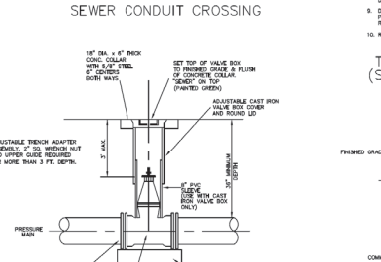
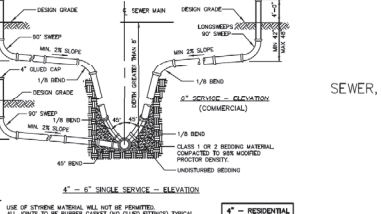
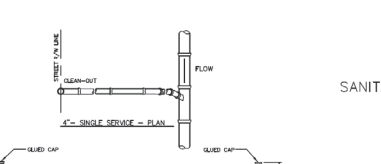
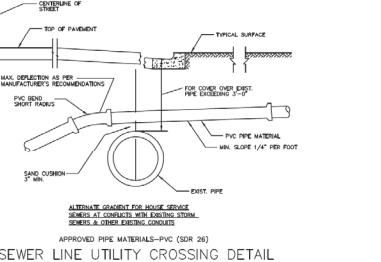
- NOTES:**
1. ALL NEW CONNECTIONS TO EXISTING SANITARY SEWER MANHOLES SHALL BE MADE AT THE POINT OF INSTALLATION OF THE RUBBER BOOT JOINT SURFACES.
  2. RUBBER BOOT JOINT SURFACES SHALL BE INSTALLED BY THE MANUFACTURER.
  3. RUBBER BOOT JOINT SURFACES SHALL BE INSTALLED BY THE MANUFACTURER.
  4. RUBBER BOOT JOINT SURFACES SHALL BE INSTALLED BY THE MANUFACTURER.



- NOTES:**
1. ALL CONCRETE SHALL BE 3000 PSI MINIMUM OF 4\"/>
  - 2. TRENCH BACKFILL COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-99. USE GRAVITY BEDDING UNLESS OTHERWISE SPECIFIED.
  - 3. USE TYPE "A" BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
  - 4. (1) 12\"/>
  - 5. (2) 12\"/>
  - 6. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  - 7. ALL PIPE TO BE INSTALLED WITH HILL FACING UPSTREAM TO THE DIRECTION OF FLOW.
  - 8. REFER TO SECTION 212 OF THE MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS.
  - 9. GRAVITY SANITARY SEWER SHALL BE 18\"/>
  - 10. REFER TO SECTION 212 OF THE MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS.



- NOTES:**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-99. USE GRAVITY BEDDING UNLESS OTHERWISE SPECIFIED.
  3. USE TYPE "A" BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
  4. (1) 12\"/>
  - 5. (2) 12\"/>
  - 6. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  - 7. ALL PIPE TO BE INSTALLED WITH HILL FACING UPSTREAM TO THE DIRECTION OF FLOW.
  - 8. REFER TO SECTION 212 OF THE MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS.
  - 9. GRAVITY SANITARY SEWER SHALL BE 18\"/>
  - 10. REFER TO SECTION 212 OF THE MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS.



- SANITARY SEWER DESIGN AND CONSTRUCTION NOTES**
2. ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE 18" DIAMETER UNLESS OTHERWISE SPECIFIED. ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE 18" DIAMETER UNLESS OTHERWISE SPECIFIED.
  3. ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE GREEN PVC OR 8" DIAMETER UNLESS OTHERWISE SPECIFIED.
  4. MINIMUM GRAVITY SANITARY SEWER MAIN LINES SHALL BE AS FOLLOWS:
    - 18" PIPE @ 0.25'
    - 12" PIPE @ 0.125'
  5. GRAVITY SANITARY SEWER MAIN LINES SHALL BE INSTALLED WITH A MINIMUM OF 12" OF COVER UNLESS OTHERWISE SPECIFIED.
  6. GRAVITY SANITARY SEWER LINE CONSTRUCTION SHALL BE ACCOMPANIED BY THE USE OF A LINDER INSTRUMENT UNLESS OTHERWISE PREVIOUSLY APPROVED BY THE CITY.
  7. THE CONTRACTOR SHALL AT ALL TIMES DURING THE LINDING OPERATION, MAINTAIN THE LINDER SURFACE TO BE AT LEAST 12" ABOVE THE FINISHED GRADE.
  8. ALL PIPE SHALL BE Laid ON A FIRM FOUNDATION, SORT OR SPONGY BEDDING FOR PIPES IS NOT ACCEPTABLE. ALL UNDESIRABLE BEDDING SHALL BE REMOVED AND REPLACED WITH A CITY COMPACTED GRANULAR MATERIAL SATISFACTORY TO THE CITY.
  9. ALL UNDESIRABLE BEDDING SHALL BE REMOVED AND REPLACED WITH A CITY COMPACTED GRANULAR MATERIAL SATISFACTORY TO THE CITY.
  10. ALL UNDESIRABLE BEDDING SHALL BE REMOVED AND REPLACED WITH A CITY COMPACTED GRANULAR MATERIAL SATISFACTORY TO THE CITY.
  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY FOR ALL SANITARY SEWER MAIN LINES AND FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY FOR ALL SANITARY SEWER MAIN LINES.
  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY FOR ALL SANITARY SEWER MAIN LINES.
  13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY FOR ALL SANITARY SEWER MAIN LINES.
  14. ALL LOCAL COLLECTION SYSTEM MANHOLES SHALL BE PRECAST WITH 18" DIAMETER MANHOLES SHALL BE LOCATED AT INTERVALS NOT EXCEEDING 300 FEET.
  15. ALL MANHOLES SHALL BE "THROAT" OR CITY APPROVED ALIAS.
  16. ALL MANHOLES SHALL BE PRECAST WITH 18" DIAMETER MANHOLES SHALL BE LOCATED AT INTERVALS NOT EXCEEDING 300 FEET.
  17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY FOR ALL SANITARY SEWER MAIN LINES.
  18. RUBBER BOOTS AND TRANSFER STEEL BANDS SHALL BE UTILIZED IN THE CONNECTION OF THE SEWER MAIN TO THE MANHOLE AND TRANSFER MANHOLES AND BOIST DETAILS.
  19. INDIVIDUAL SANITARY SEWER CONNECTIONS ON NEW CONSTRUCTION MUST BE CONNECTED TO SEWER MAIN LINES BY USE OF PRECAST UNLESS OTHERWISE APPROVED BY THE CITY.
  20. FOR SINGLE FAMILY HOMES, SINGLE FOUR INCH SEWER SERVICES LATERALS SHALL BE 18" DIAMETER UNLESS OTHERWISE SPECIFIED.
  21. ALL SANITARY SEWER MAIN LINES SHALL BE 18" DIAMETER UNLESS OTHERWISE SPECIFIED.
  22. SANITARY SEWER MAIN LINES SHALL BE 18" DIAMETER UNLESS OTHERWISE SPECIFIED.
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**FINLEY ENGINEERING SOLUTIONS, INC.**  
 CERTIFICATE OF AUTHORIZATION NUMBER: 3890  
 E-MAIL: FINLEY@FINLEYENGINEERS.COM  
 3959 SO. NOVA ROAD, SUITE B34  
 PORT ORLAND FL 32127  
 (386)796-8676

**PROJECT NUMBER**  
 RES# 2021

**Jerry K. Finley**  
 P.E.  
 2021.02.10  
 45700

**PROJECT TITLE**  
**DETAILS**

**SHEET**  
**8**



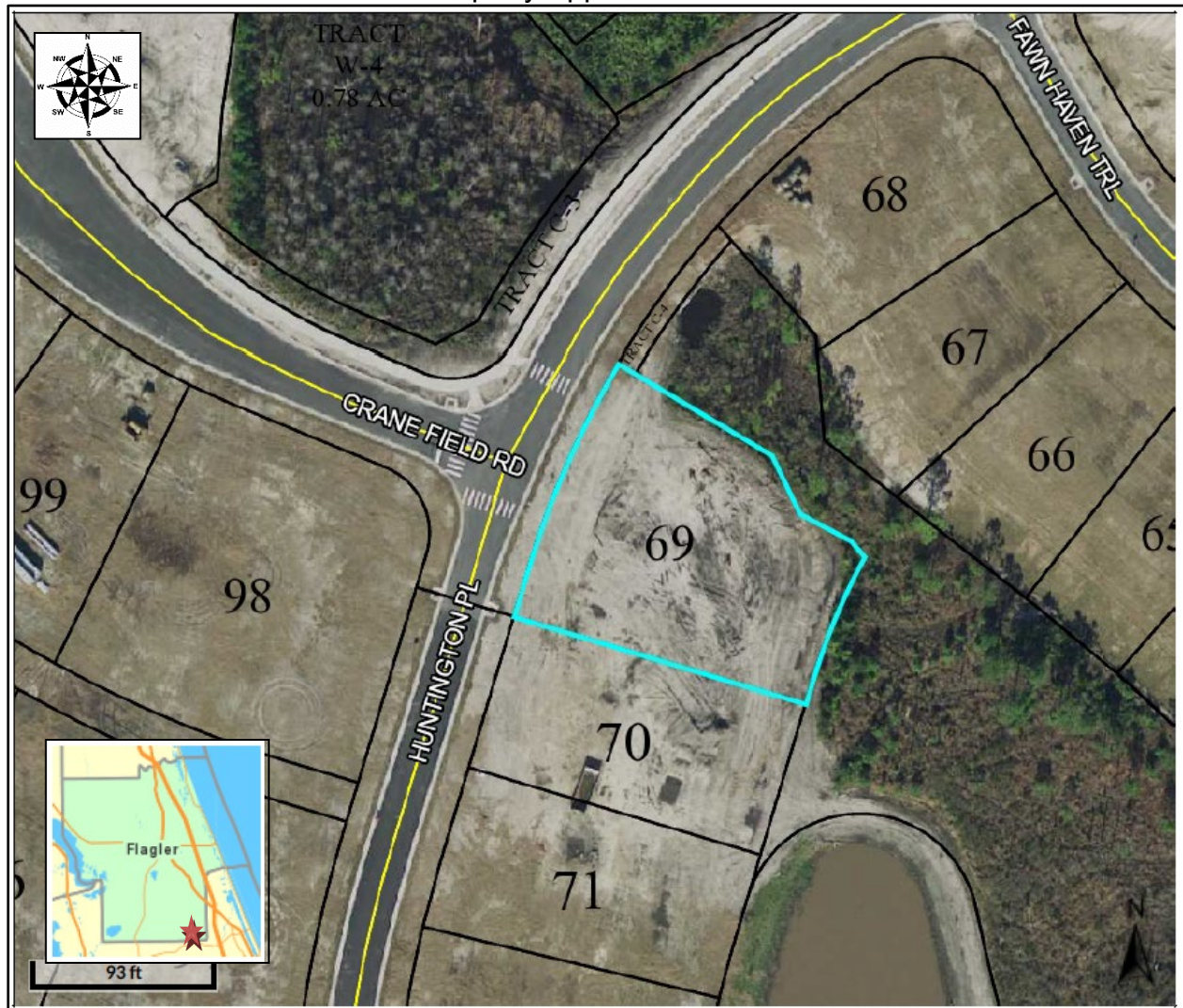
**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
PUBLIC HEARING/AGENDA ITEM #9c**

**SUBJECT: QUASI-JUDICIAL** – Application #3249 – Request for Approval of a PUD (Planned Unit Development) Site Development Plan for a Temporary Sales Office/Model Home at 79 Huntington Place (Lot 69 of Huntington Green at Hunters Ridge, Phase 2A). Owner: Maronda Homes, LLC of Florida; Applicant: Howard Lefkowitz, President, BADC Huntington Communities, Inc. (Project #SDP-000430-2021).

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** This request is quasi-judicial in nature and requires disclosure of ex parte communication. The subject parcel lies South of Old Dixie Highway between U.S. Highway 1 to the West and Interstate-95 to the East:

Property Appraiser Aerial



The applicant on behalf of the owner filed an application and related documents with the County on February 26, 2021. This request seeks approval of a Planned Unit

Development (PUD) Site Development Plan (SDP) for use as a temporary sales office and model home. Specifically, this request provides a specific site plan and layout for the use of a model home on Lot 69 as a temporary sales center consistent with the PUD Development Agreement adopted through Ordinance No. 2013-05 and amended through Ordinance No. 2015-03 for Huntington Lakes, now platted as Huntington Green:

“Model homes may be permitted following final plat approval. A maximum of five of the lots may be used for model homes and a maximum of three model homes may be used as temporary sales centers.” (Sec. 2.2(b) to Exhibit 1, Ordinance No. 2015-03).

This site plan review allows for the temporary conversion of the garage for use as an office (through building permits issued by the County) and the addition of a temporary parking lot consisting of five off-street parking spaces: one handicap-accessible concrete space with dimensions of 12 feet by 20 feet; and four regular spaces at 10 feet by 20 feet, and surfaced with pavers over a sand base.

The application for amendment of the PUD Site Development Plan was discussed by the Technical Review Committee on March 17, 2021.

The Planning and Development Board reviewed this request at its April 13, 2021 regular meeting. The Board unanimously recommended approval of this request. Based on the Board’s discussion, the applicant created a site plan depicting the development of the lot once the temporary sales center’s hardscape is removed; this plan – bearing an April 6, 2021 revision date – is attached to this staff report following the plan depicting the temporary sales center’s hardscape.

BCC review authority: Section 3.04.03, LDC, requires that the Board of County Commissioners review and approve, modify or deny PUD Site Development Plans following consideration of the Planning and Development Board’s recommendations and the factual data presented during the public hearing in support of the request.

This agenda item is:

  X   quasi-judicial, requiring disclosure of ex-parte communication; or  
       legislative, not requiring formal disclosure of ex-parte communication.

Public Notice: Public notice has been provided in accordance with Section 2.07.00 of the LDC.

**DEPARTMENT CONTACT:** Growth Management/Adam Mengel/386-313-4065

**OPTIONS FOR THE BOARD:** The Board of County Commissioners, based on the Planning and Development Board's public hearing and recommendation, the staff report, and the factual data presented during the public hearing:

1. **Approves** the PUD Site Development Plan for a Temporary Sales Office/Model Home at 79 Huntington Place (Lot 69 of Huntington Green at Hunters Ridge, Phase 2A), conditioned that the temporary sales office approval is for a period of five (5) years, after which the garage must be converted (subject to issuance of building permits) back to a residential garage and the parking area must be removed and replaced with a residential driveway.
2. **Denies** the PUD Site Development Plan for a Temporary Sales Office/Model Home at 79 Huntington Place (Lot 69 of Huntington Green at Hunters Ridge, Phase 2A).
3. **Continues (Tables)** the PUD Site Development Plan for a Temporary Sales Office/Model Home at 79 Huntington Place (Lot 69 of Huntington Green at Hunters Ridge, Phase 2A) to a time and date certain.

**ATTACHMENTS:**

1. Technical Staff Report (TSR)
2. Proposed PUD Site Development Plan and Single-Family Hardscape Plan for Lot 69
3. Application and supporting documents
4. Planning and Development Board draft April 13, 2021 meeting minutes (in part)
5. Public notice



**APPLICATION #3249  
TEMPORARY SALES OFFICE/MODEL HOME  
AT 79 HUNTINGTON PLACE  
TECHNICAL STAFF REPORT**

LDC Section 3.04.03 provides for minimum PUD Site Development Plan submittal requirements.

**PUD Site Development Plan Specific Review**

The PUD Development Agreement adopted through Ordinance No. 2015-03 set out development criteria that applied to Huntington Lakes (now platted as Huntington Green):

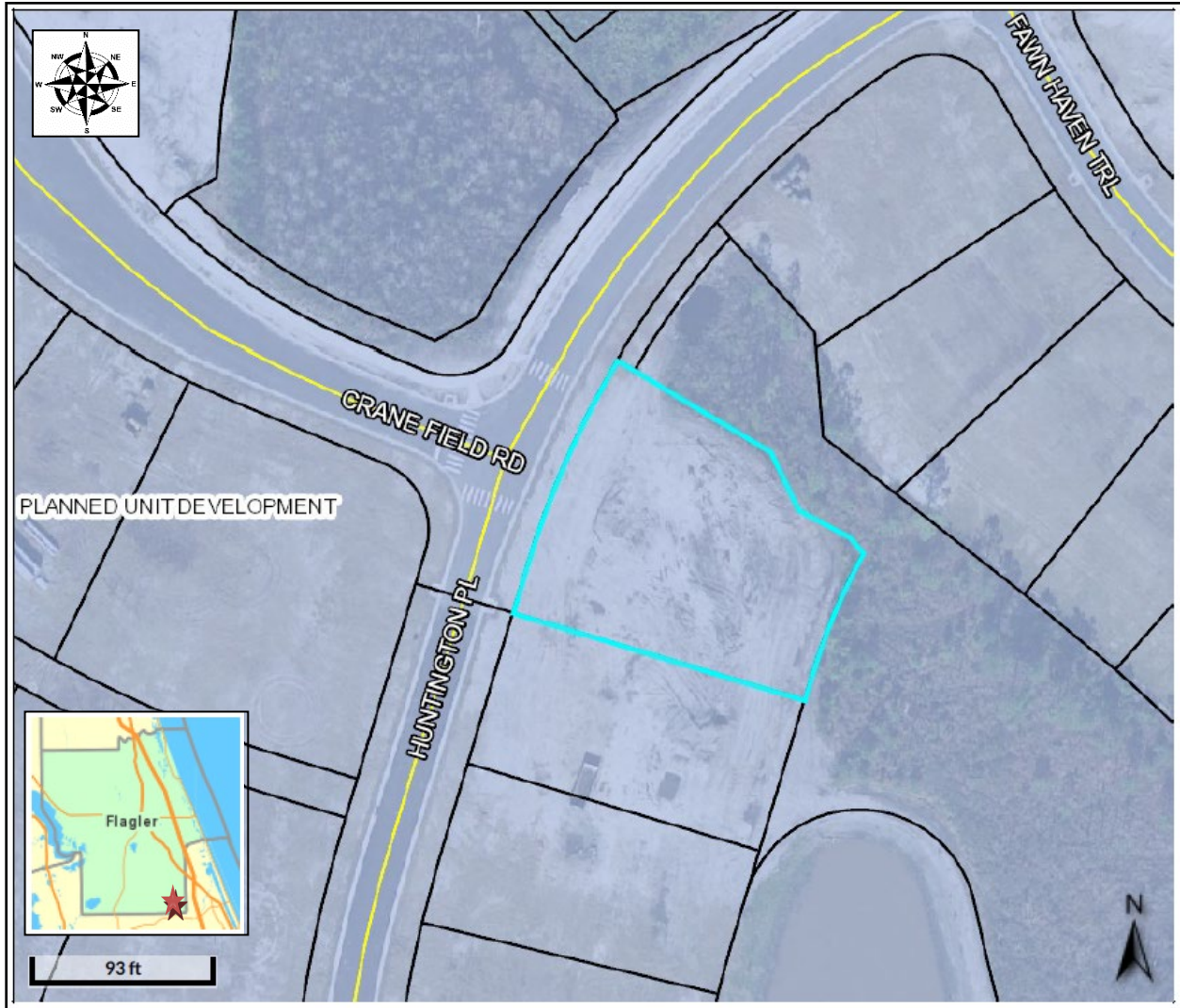
- Minimum lot size: 7,500 s.f.
- Minimum lot width: 60 feet
- Minimum front setback: 25 feet
- Minimum rear setback: 30 feet
- Minimum side yard setback: 7.5 feet
- Minimum side yard abutting street: 25 feet
- Maximum building height: 35 feet
- Maximum lot coverage: 50%
- Minimum living area: 1,500 s.f.
- Maximum impervious coverage: 75%

The site plan (by American Surveying & Mapping, Inc., bearing a signature date of February 24, 2021) for the temporary sales office sets the impervious area at 37% (6,062 s.f. out of the total 16,540 s.f. lot area). Living area is set at 1,951 s.f., with a total area under roof of 2,864 s.f. and the parking lot set at 2,874 s.f. The parking spaces within the lot exceed the County's minimum dimensions of nine feet by 20 feet, with the handicap-accessible space with dimensions of 12 feet by 20 feet and bounded on its side by the five-foot-wide paved lift area for van-accessible spaces. A hammer-head is provided on the East side of the parking lot to provide for vehicle maneuvering and turnaround within the lot. Signage and pavement markings – the handicap parking sign, a stop sign, and a painted stop bar, along with wheel stops for each of the regular spaces – are depicted on the plan. While there are no specific restrictions or conditions associated with temporary sales center uses, staff has provided within the options to the Board a five year time limit associated with the temporary office use, after which the office and parking components should be removed.

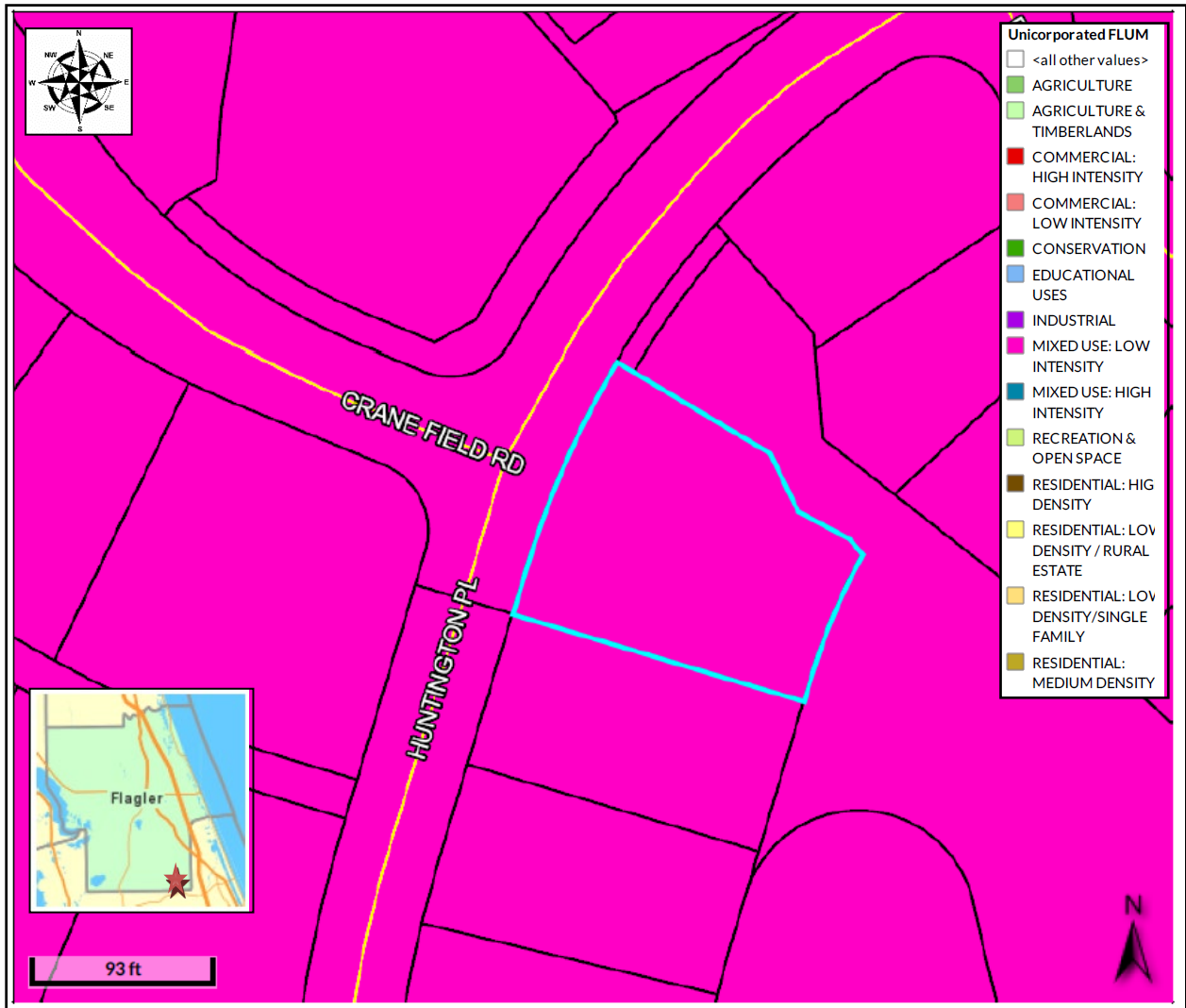
**DRI Obligations**

There are no outstanding DRI obligations related to Huntington Green.

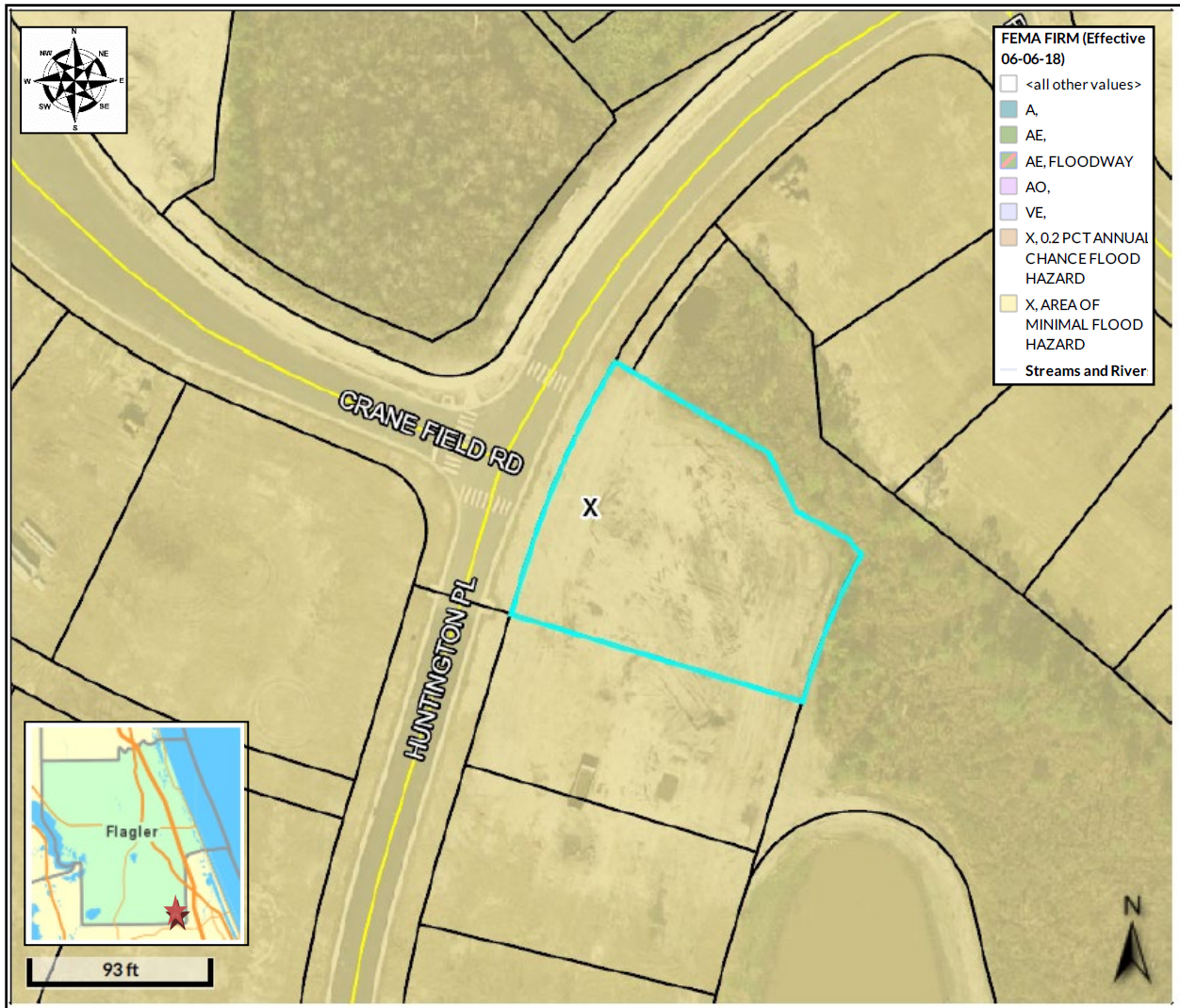
# Official Zoning Map



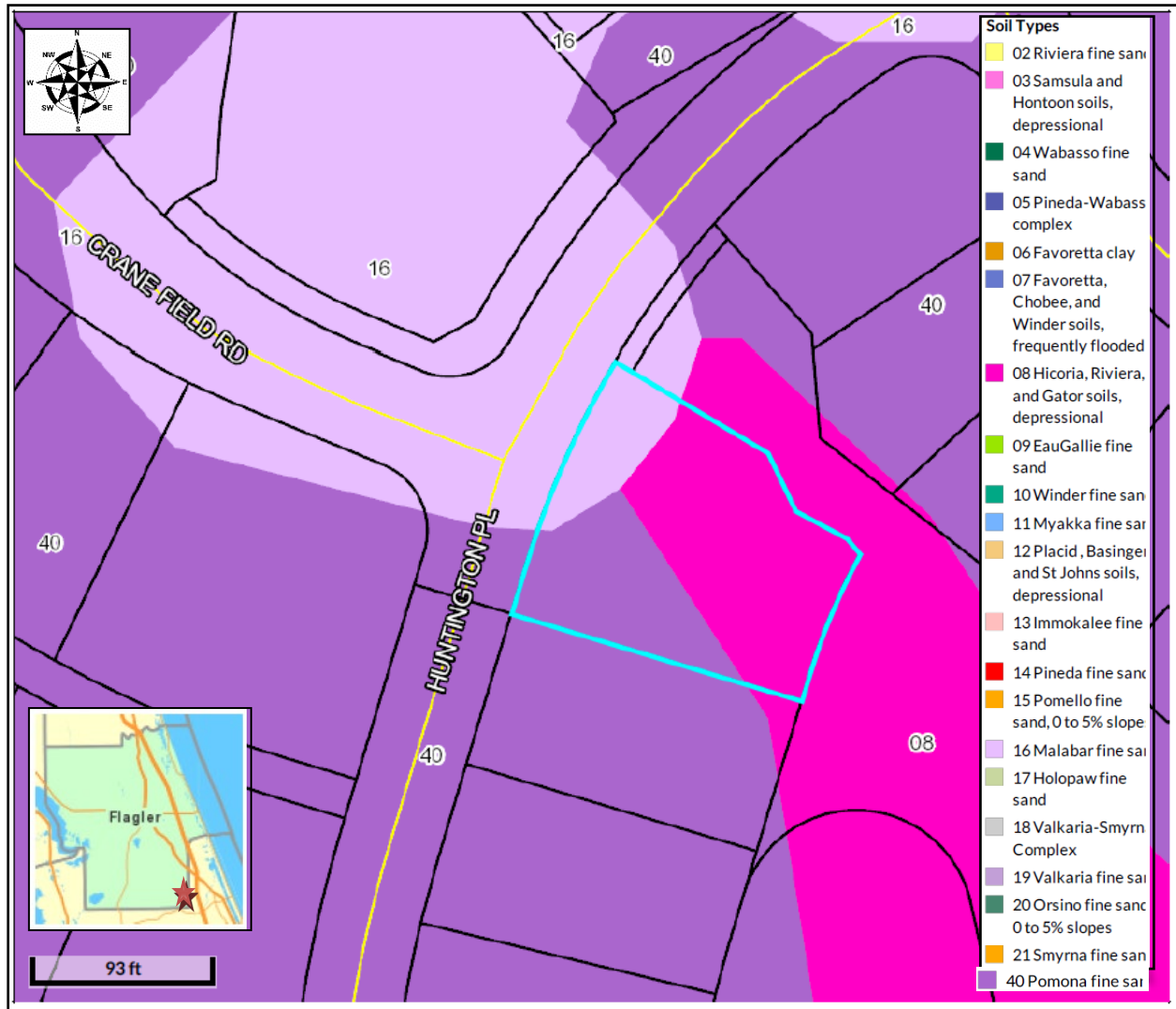
# Future Land Use Map



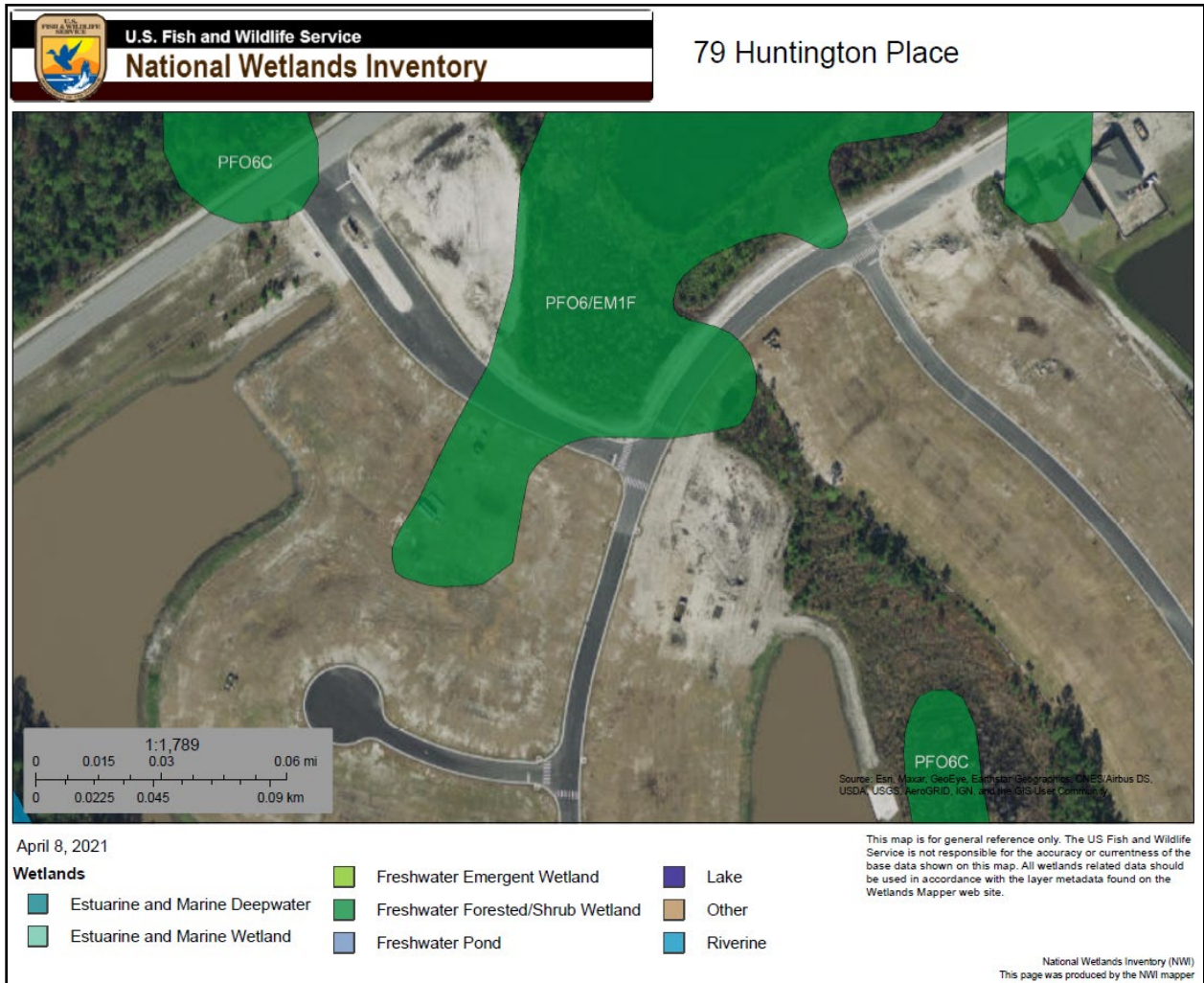
# Flood Zone Map



# Soils Map



# Wetlands Map



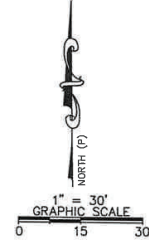
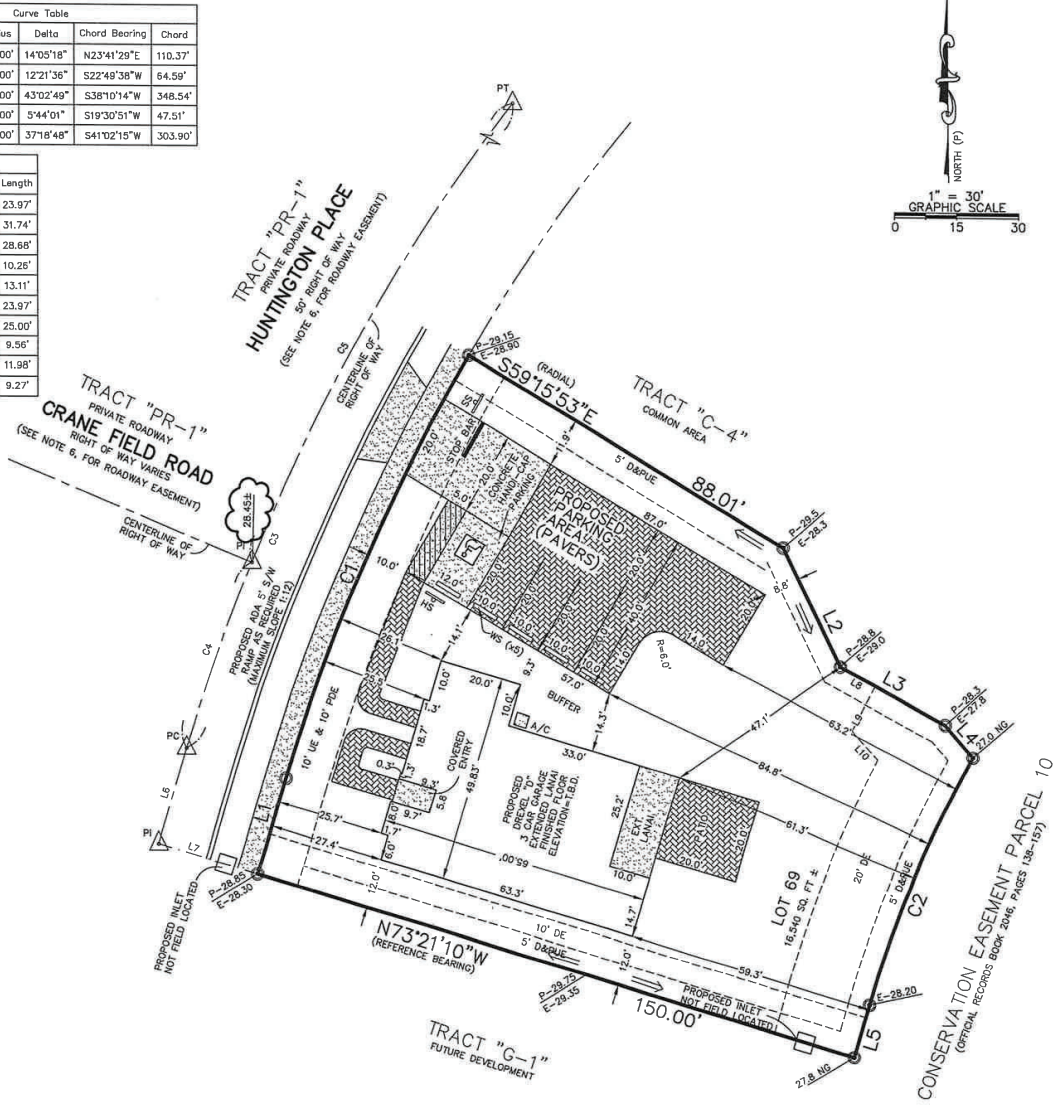
# PLOT PLAN

DESCRIPTION: (AS FURNISHED)

LOT 69, HUNTINGTON GREEN AT HUNTER'S RIDGE PHASE 2-A  
AS RECORDED IN PLAT BOOK 39, PAGES 60-67, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	110.65'	450.00'	14°05'18"	N23°41'29"E	110.37'
C2	64.72'	300.00'	12°21'36"	S22°49'38"W	64.59'
C3	356.87'	475.00'	43°02'49"	S38°10'14"W	346.54'
C4	47.53'	475.00'	5°44'01"	S19°30'51"W	47.51'
C5	309.34'	475.00'	37°18'48"	S41°02'15"W	303.90'

Line Table		
Line #	Direction	Length
L1	N16°38'50"E	23.97'
L2	N25°35'42"W	31.74'
L3	S61°56'43"E	28.68'
L4	S40°19'25"E	10.26'
L5	S16°38'50"W	13.11'
L6	N16°38'50"E	23.97'
L7	S73°21'10"E	25.00'
L8	N61°56'43"W	9.56'
L9	N28°03'16"E	11.98'
L10	N41°25'24"W	9.27'



ADDRESS:  
#79 HUNTINGTON PLACE  
ORMOND BEACH, FLORIDA 32174

PREPARED FOR:  
**Maronda Homes**  
*An Family Ownership, Better Value!*

**BUILDING SETBACKS**  
FRONT: 25'  
REAR: 30'  
SIDE: 7.5'  
SIDE STREET: 25'  
WATERFRONT: 25'

**NOTES:**  
1. ELEVATIONS SHOWN ARE PER LOT GRADING PLANS PROVIDED BY THE CLIENT.  
2. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.

THIS PLOT PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY. THIS IS NOT INTENDED FOR THE CONSTRUCTION OF THE PROPOSED HOUSE. REFER TO HOUSE PLAN AND OPTION LIST FOR CONSTRUCTION. ALL BUILDING SET BACK LINES SHOWN HEREON IS PER DATA FURNISHED BY CLIENT AND IS FOR INFORMATIONAL PURPOSES ONLY.

**THIS IS NOT A SURVEY  
THIS IS A PLOT PLAN ONLY**

**FLOOD NOTE:**  
I HAVE EXAMINED THE F.I.R.M. MAP NO. 1203500345E, DATED 06-06-2019, AND FOUND THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT FOR VERIFICATION.

**BEARING BASIS:**  
BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHERLY LINE OF LOT 69, BEING N73°21'10"W, PER PLAT.

(FIELD DATE): 10-02-20	REVISED:
SCALE: 1" = 30 FEET	ADD PAVERS 02-23-21 JMH
APPROVED BY: JB	ADD LOT GRADES 01/25/2021 JG
JOB NO: 200995 LOT 69	COUNTY COMM. 01/13/2021 GG
DRAWN BY: JMH	PLAT PLAN 3 11/18/2020 JG
	PLAT PLAN 11-03-20 JMH
	PRELIMINARY 10-08-20 JMH
	BOUNDARY 10-02-20 CC

**PARKING LOT LEGEND:**



ON LOT CALCULATIONS	
LOT	= 16,540 SQ. FT.
LIVING AREA	= 1,951 SQ. FT.
GARAGE	= 608 SQ. FT.
ENTRY	= 54 SQ. FT.
LANAI	= 251 SQ. FT.
PARKING LOT	= 2874 SQ. FT.
DRIVEWAY	= 0 SQ. FT.
A/C PAD	= 9 SQ. FT.
WALKWAY	= 315 SQ. FT.
IMPERVIOUS	= 37% SQ. FT.
SOD	= 6082 SQ. FT.
	= 10,478 SQ. FT.
OFF LOT CALCULATIONS	
RIGHT OF WAY	= 1633 SQ. FT.
DRIVE APRON	= 161 SQ. FT.
PUBLIC S/W	= 713 SQ. FT.
SOD	= 759 SQ. FT.
TOTALS	
AREA	= 18,173 SQ. FT.
DRIVEWAY	= 161 SQ. FT.
SIDEWALK	= 1028 SQ. FT.
SOD	= 11,237 SQ. FT.

**LEGEND:**

---	BUILDING SETBACK LINE	D&PUE	DRAINAGE & PRIVATE UTILITY EASEMENT
---	CENTERLINE	PI	TREE(S) TO BE REMOVED
---	RIGHT OF WAY LINE	PC	POINT OF INTERSECTION
58.60	PROPOSED ELEVATIONS PER CIVIL ENGINEER	PT	POINT OF CURVATURE
XX.XX	PROPOSED ELEVATION	RP	POINT OF TANGENCY
XXX.XX	EXISTING ELEVATION	RPC	RADIUS POINT
x	PROPOSED DRAINAGE FLOW	RC	POINT OF REVERSE CURVATURE
CONCRETE	CONCRETE	PCC	POINT OF COMPOUND CURVATURE
A/C	AIR CONDITIONER	TYP	TYPICAL
S/W	SIDEWALK	CS	CONCRETE SLAB
EOP	EDGE OF PAVEMENT	(P)	PER PLAT
RWM	RECLAIM WATER METER	(C)	CALCULATED
TR	TELEPHONE RISER	FB	PLAT BOOK
TRANS	TRANSFORMER	PGS	PAGES
WB	WATER BIBB	SQ. FT.	SQUARE FEET
PP	POWER POLE	F.E.M.A.	FEDERAL EMERGENCY MANAGEMENT AGENCY
D&E	DRAINAGE & UTILITY EASEMENT	NAVJ	NATIONAL GEODETIC VERTICAL DATUM
FFE	FINISHED FLOOR ELEVATION	NOVD	NORTH AMERICAN VERTICAL DATUM
COMMUNICATION RISER	COMMUNICATION RISER	LE	LANDSCAPE EASEMENT
FOUND 1/2" IRON ROD (NO ID)	FOUND 1/2" IRON ROD (NO ID)	UE	UTILITY EASEMENT
GROUND ELEVATION	GROUND ELEVATION	MEG	MATCH EXISTING GRADE ELEVATION
GUY ANCHOR	GUY ANCHOR	EG	EXISTING GRADE
OVERHEAD UTILITY LINE	OVERHEAD UTILITY LINE	ECMP	ELLIPTICAL CORRUGATED METAL PIPE
STORM INLET	STORM INLET	CHW	CONCRETE HEAD WALL
SEWER MANHOLE	SEWER MANHOLE	E	EAST
WOODEN UTILITY POLE	WOODEN UTILITY POLE	EP	EDGE OF PAVEMENT
WATER METER	WATER METER	EL	ELEVATION
CMP	CORRUGATED METAL PIPE	FFE	FINISHED FLOOR ELEVATION
CONC	CONCRETE	FOUND	FOUND
		ID	IDENTIFICATION
		INV	INVERT
		IR	IRON ROD
		LB	LICENSED BUSINESS
		(M)	MEASURED DATA
		N	NORTH
		PC	POINT OF CURVATURE
		(R)	RECORD DATA
		S	SOUTH
		WF	WOOD FENCE
		W	WEST

**ASM**  
**AMERICAN SURVEYING & MAPPING, INC.**  
**NDSS NATIONAL DUE DILIGENCE SERVICES**  
A DIVISION OF AMERICAN SURVEYING & MAPPING, INC.  
3191 Maguire Blvd, Suite 200, Orlando, FL 32803  
407-426-7979  
americansurveyingandmapping.com

- SURVEYOR NOTES:**
1. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
  2. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
  3. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

*James W. Boleman*  
JAMES W. BOLEMAN PSM# 6485  
DATE 02-24-21

RECEIVED  
FEB 26 2021  
PLANNING & ZONING DEPT

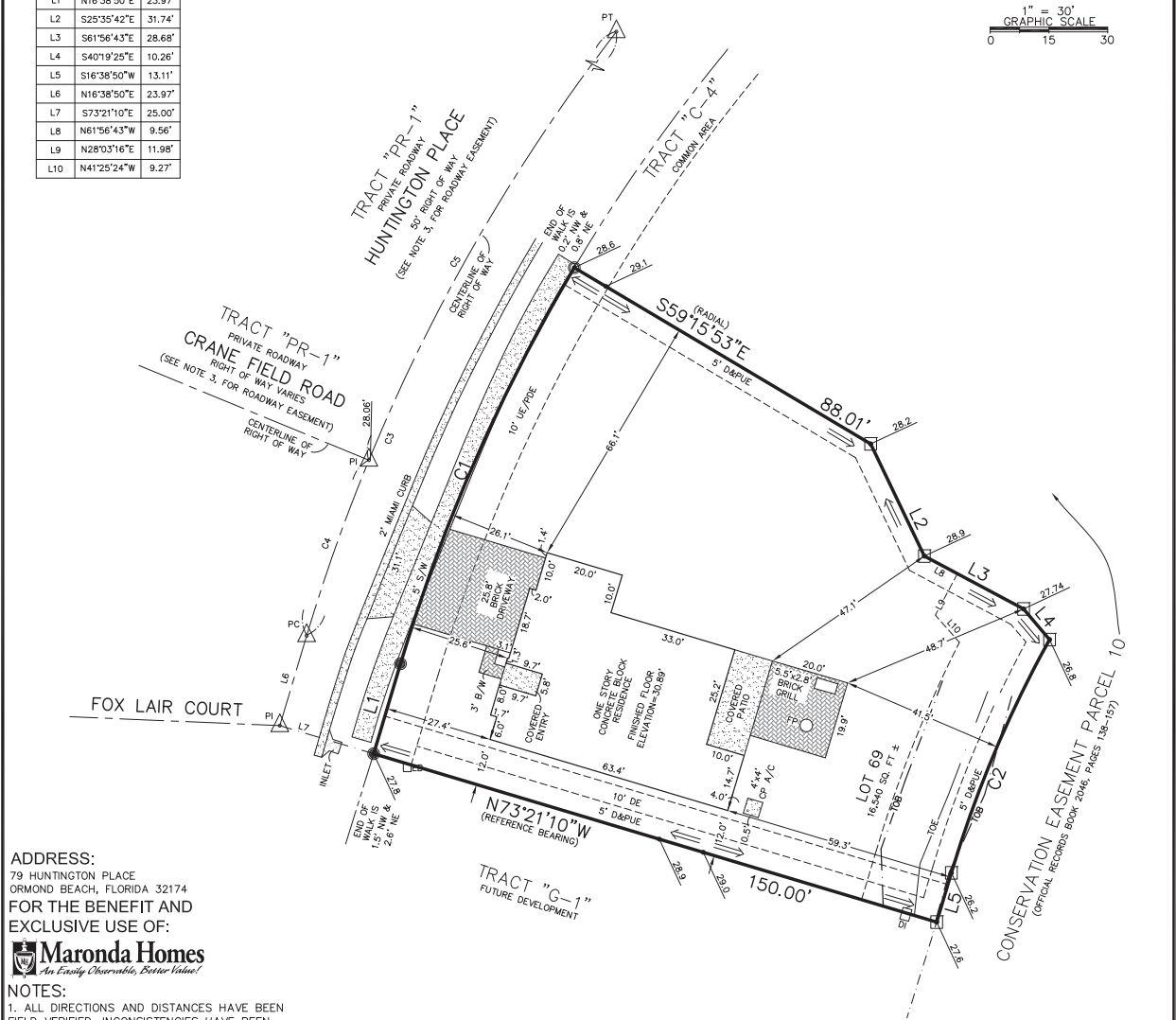
# BOUNDARY & AS-BUILT SURVEY

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C4	47.53'	475.00'	5°44'01"	S19°30'51"W	47.51'
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L10	N41°25'24"W	9.27'



**ADDRESS:**  
79 HUNTINGTON PLACE  
ORMOND BEACH, FLORIDA 32174

**FOR THE BENEFIT AND EXCLUSIVE USE OF:**



- NOTES:**
- ALL DIRECTIONS AND DISTANCES HAVE BEEN FIELD VERIFIED, INCONSISTENCIES HAVE BEEN NOTED ON THE SURVEY, IF ANY.
  - PROPERTY CORNERS SHOWN HEREON WERE SET/FOUND ON 04-06-2021, UNLESS OTHERWISE SHOWN.
  - THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
  - NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED.
  - BUILDING TIES SHOWN HEREON ARE NOT TO BE USED TO RECONSTRUCT THE BOUNDARY LINES.
  - ELEVATIONS SHOWN HEREON ARE BASED ON NGS BENCHMARK H 623, ELEVATION 27.29' NGVD 1929 DATUM.

**FLOOD NOTE:** I HAVE EXAMINED THE F.I.R.M. MAP NO. 12035C0345E, DATED 06-06-2018, AND FOUND THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT FOR VERIFICATION.

**BEARING BASIS:**  
BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHERLY LINE OF LOT 69, BEING N73°21'10"W, PER PLAT.

REVISED:	
FINAL 04-06-2021 LU	
FORMBOARD 02-05-21 S,B	
LOT GRADES 01/28/2021 CC	
ADD LOT GRADES 01/25/2021 JG	
COUNTY COMM. 01/13/2021 GO	
FLOT PLAN 3 11/16/2020 JG	
FLOT PLAN 11-03-20 JMH	
PRELIMINARY 10-09-20 JMH	
BOUNDARY 10-02-20 CC	

**LEGEND:**

—	CENTERLINE
- - -	RIGHT OF WAY LINE
→	DRAINAGE FLOW
XX.XX	EXISTING ELEVATION
A/C	AIR CONDITIONER
CONCRETE	CONCRETE
PAVERS	PAVERS
CBW	CONCRETE BLOCK WALL
CNA	CORNER NOT ACCESSIBLE
CP	CONCRETE PAD
B/W	BRICK WALK
CS	CONCRETE SLAB
F.I.R.M.	FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M.	FLOOD INSURANCE RATE MAP
ID	IDENTIFICATION
LB	LICENSED BUSINESS
LS	LICENSED SURVEYOR
D&UE	DRAINAGE & UTILITY EASEMENT
DE	DRAINAGE EASEMENT
UE	UTILITY EASEMENT
D&PUE	DRAINAGE & PRIVATE UTILITY EASEMENT
NGVD	NATIONAL GEODETIC VERTICAL DATUM

- SET 1/2" IRON ROD AND CAP
- LB #6593
- FOUND 4"x4" CONCRETE MONUMENT
- LB #7514
- △ FOUND NAIL AND DISC
- LB #7514
- FOUND 5/8" IRON ROD AND CAP
- LB #7514
- (P) PER PLAT
- PC POINT OF CURVATURE
- PCC POINT OF COMPOUND CURVE
- PCP PERMANENT CONTROL POINT
- PI POINT OF INTERSECTION
- PK PARKER KALON
- POC POINT ON CURVE
- POL POINT ON LINE
- PRC POINT OF REVERSE CURVATURE
- PRM PERMANENT REFERENCE MONUMENT
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- PT POINT OF TANGENCY
- SQ. FT. SQUARE FEET
- S/W SIDEWALK
- TYP TYPICAL
- UP UTILITY PAD
- UE/PDE UTILITY EASMENT & PRIVATE DRAINAGE EASEMENT
- TOP TOP OF SLOPE
- TOE TOE OF SLOPE
- DI DRAINAGE INLET
- FP FIRE PIT

**AMERICAN SURVEYING & MAPPING INC.**  
CERTIFICATION OF AUTHORIZATION NUMBER LB#6393  
3191 MAGUIRE BOULEVARD, SUITE 200  
ORLANDO, FLORIDA 32803  
(407) 426-7979  
WWW.AMERICANSURVEYINGANDMAPPING.COM

**SURVEYOR NOTES:** I HEREBY CERTIFY, THAT THIS SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON MEETS THE APPLICABLE "MINIMUM TECHNICAL STANDARDS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

Digitally signed by James W. Boleman  
DN: cn=James W. Boleman,  
o=American Surveying & Mapping  
Inc., ou=FL,  
email=jboleman@asmcorp.com,  
c=US

Date: 2021.04.07 12:26:03 -0400  
Adobe Acrobat Reader version:  
2021.001.20145

**JAMES W. BOLEMAN PSM# 6485** DATE  
THIS BOUNDARY & AS-BUILT SURVEY IS NOT VALID WITHOUT THE AUTHENTIC ELECTRONIC SIGNATURE AND THE AUTHENTIC ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.





## APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW IN A PUD

1789 E. Moody Blvd, Suite 105  
Bunnell, FL 32110  
Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 3249 / SDP-000430-2021

<b>PROPERTY OWNER(S)</b>	Name(s):	Maronda Homes LLC of Florida		
	Mailing Address:	4005 Maronda Way		
	City: Sanford	State: FL	Zip: 32771	
	Telephone Number	407-302-7800	Fax Number	

<b>APPLICANT /AGENT</b>	Name(s):	Howard Lefkowitz, President BADC Huntington Communities LLC		
	Mailing Address:	300 Interchange Blvd Suite D		
	City: Ormond Beach	State: FL	Zip: 32174	
	Telephone Number	386-673-5650	Fax Number	
	Email Address:	howard@badc.us		

<b>SUBJECT PROPERTY</b>	SITE LOCATION (street address):	79 Huntington Place, Ormond Beach, FL 32174		
	LEGAL DESCRIPTION: <i>(briefly describe, do not use "see attached")</i>	Lot 69 Huntington Green at Hunters Ridge Phase 2A Flagler County		
	Parcel # (tax ID #):	22-14-31-0254-00000-0690		
	Parcel Size:	.38 acre		
	Current Zoning Classification:	PUD		
	Current Future Land Use Designation:	Residential		
	Subject to A1A Scenic Corridor IDO?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	

**RECEIVED**  
FEB 26 2021  
FLAGLER COUNTY  
PLANNING & ZONING DEPT

**PURPOSE OF SUBMISSION / PROJECT DATA:** \_\_\_\_\_

approval of temporary sales office for model home subject to ordinance 2015-04 Adopted 4-6-15

Exhibit , Paragraph 2.2

*[Signature]*  
Signature of Owner(s) or Applicant/Agent  
If Owner Authorization form attached

Date 2/25/21

**\*\*OFFICIAL USE ONLY\*\***

**PLANNING BOARD RECOMMENDATION/ACTION:**

APPROVED {  
\*APPROVED WITH CONDITIONS {  
DENIED }

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

**BOARD OF COUNTY COMMISSIONERS ACTION:**

APPROVED {  
\*APPROVED WITH CONDITIONS {  
DENIED }

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application.



# Owner's Authorization for Applicant/Agent

FLAGLER COUNTY, FLORIDA  
1769 E. Moody Boulevard, Suite 105  
Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project # \_\_\_\_\_

BADC Huntington Communities LLC, is hereby authorized TO ACT ON BEHALF OF Maronda Homes of Florida, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Flagler County, Florida for an application for Site Development Plan Review in a PUD.

(ALL PERSONS, WHO'S NAMES APPEAR ON THE DEED MUST SIGN)

By:

  
Signature of Owner

Eric J. J. Durkin, Durkin President  
Printed Name of Owner / Title (if owner is corporation or partnership)

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Printed Name of Owner

Address of Owner:

Telephone Number (incl. area code)

4005 Maronda Way

407-302-7800

Mailing Address

Sanford FL 32771


City State Zip

STATE OF Florida

COUNTY OF Volusia



The foregoing was acknowledged before me this 25 day of Feb, 2020 by Eric J. J. Durkin and \_\_\_\_\_ who is/are personally known to me or who has produced Durkin License as identification, and who (did) / (did not) take an oath.

  
Signature of Notary Public

(Notary Stamp)

<http://www.flaglercounty.org/doc/dpt/centprmt/landdev/owner%20auth.pdf>

Revised 5/08

  
Huntington  
VILLAGE

February 26, 2021

Mr. Adam Mengel, Director  
Development Services  
Flagler County, Florida  
(address)

RECEIVED  
FEB 26 2021  
FLAGLER COUNTY  
PLANNING & ZONING DEPT

Re: Ordinance No. 2015-04; Development Agreement Exhibit 1; Paragraph 2.2

Dear Adam:

Kindly find the application for **SITE DEVELOPMENT PLAN REVIEW IN A PUD**, as applies to **lot 69 of Huntington Green at Hunters Ridge, Phase 2A**. While the referenced ordinance did make provisions to allow Model Homes and Sales offices within the community, specifications for site plan approvals were not included with the Exhibit. The enclosed application is provided to correct that oversight.

Thank you for your prompt attention to carrying this PUD modification thru entitlement channels.

Best,

  
Howard B. Lefkowitz

President

BADC Huntington Communities, LLC

300 Interchange Blvd Suite D

Ormond Beach, FL 32174

Prepared by and Return To:  
Marilyn Olliver  
Professional Title Agency, a division of LandCastle  
Title Group, LLC  
747 S. Ridgewood Ave, #204  
Daytona Beach, FL 32114

Order No.: DB912010066

RECEIVED  
FEB 26 2021  
FLAGLER COUNTY  
PLANNING & ZONING DEPT

APN/Parcel ID(s): 221431025400000110  
221431025400000230  
221431025400000390  
221431025400000560  
221431025400000570  
221431025400000640  
221431025400000650  
221431025400000690

### WARRANTY DEED

THIS WARRANTY DEED made and executed November 20, 2020, by BADC Huntington Communities, LLC, a Florida limited liability company, and having its principal place of business at 231 N. Woodland Blvd., c/o Cobb Cole, Deland, FL 32720, hereinafter called the grantor, to Maronda Homes, LLC of Florida, a Florida limited liability company whose post office address is 4005 Maronda Way, Sanford, FL 32771, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to the instrument and the heirs, legal representative and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situated in the County of Flagler, State of Florida, to wit:

Lot(s) 11, 23, 39, 56, 57, 64, 65, and 69, Huntington Green at Hunters Ridge Phase 2-A according to the map or plat thereof, as recorded in Plat Book 39 Page(s) 60 through 67, inclusive of the Public Records of Flagler County, Florida.

Subject to easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

TO HAVE AND TO HOLD the same in Fee Simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2020.

**WARRANTY DEED**  
(continued)

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Signed, Sealed and Delivered in the presence of:

Patricia A. Hall  
Witness Signature

PATRICIA A. HALL  
Print Name

Howard B. Lefkowitz  
Witness Signature

HOWARD B. LEFKOWITZ  
Print Name

BADC Huntington Communities, LLC, a Florida limited liability company

BY: Howard B. Lefkowitz  
Howard B. Lefkowitz  
Vice President of BADC Asset Managers, Inc., its Managing Member

Address: 231 N. Woodland Blvd., c/o Cobb Cole Deland, FL 32720

State of Florida  
County of Volusia

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 20 day of November, 2020, by Howard B. Lefkowitz as Vice President of BADC Asset Managers, Inc., its Managing Member on behalf of BADC Huntington Communities, LLC, a Florida limited liability company, to me known to be the person(s) described in or who has/have produced \_\_\_\_\_ as identification and who executed the foregoing instrument and he/she/they acknowledged that he/she/they executed the same.

Patricia A. Hall

NOTARY PUBLIC  
My Commission Expires:



Patricia A. Hall  
Commission # GG142765  
Expires: September 13, 2021  
Bonded thru Aaron Notary

## FLAGLER COUNTY PLANNING AND DEVELOPMENT BOARD REGULAR MEETING

Flagler County Government Services Building,  
1769 East Moody Blvd., Board Chambers, Bunnell, FL

### MEETING MINUTES

Tuesday, April 13, 2021 at 6:00 PM

1. **Roll Call:** The meeting was called to order by the Chair and a quorum was present.

**Members Present:** Anthony Lombardo (Chair), Mike Goodman (Vice Chair), Michael Boyd, Fernando Melendez, Mark Langello, Jack Corbett, Timothy Connor

**Staff Present:** Adam Mengel, Growth Management Director, Chuck Merenda, Assistant Director, Gina Lemon, Planner

**Board Counsel:** Sean Moylan, Assistant County Attorney

2. **Pledge to the Flag:** was led by the Chair.

3. **Approval of Minutes:**

- March 10, 2020 regular meeting minutes
- July 14, 2020 regular meeting minutes
- August 11, 2020 regular meeting minutes
- September 8, 2020 regular meeting minutes
- October 13, 2020 regular meeting minutes
- November 10, 2020 regular meeting minutes
- January 12, 2021 regular meeting minutes
- February 9, 2021 regular meeting minutes
- March 9, 2021 regular meeting minutes.

**Discussion:** Mark Langello would like future minutes to include an indicator of the direction of discussion.

**Motion:** To Approve All Minutes

**Motion by:** Mark Langello

**Motion 2<sup>nd</sup> by:** Michael Boyd

**Vote:** Motion approved 7-0 by unanimous vote

4. **Application #3239 – APPLICATION FOR SEMI-PUBLIC USE IN THE R-1 (RURAL RESIDENTIAL) DISTRICT** – request for Semi-Public Use for equine therapy d/b/a Whispering Meadows Ranch at 5011 John Anderson Highway on Parcel Number 37-12-31-0610-00000-0120; 4.25+/- acres. Owner: Richard and Mary Helene Davis/Agent: Dennis K. Bayer, Esquire. *Project #COND-000350-2020 (TRC, PDB, BCC)*

#### **Board Member Disclosures:**

**Anthony Lombardo:** 1) contacted by the listing agent for board email addresses, he directed the agent to speak with staff; 2) contacted by Michael Chimento to confirm a receipt of a memo; 3) received several emails that are all part of the agenda packet that was posted.

**Mark Langello:** 1) contacted by Michael Chimento to confirm he read a brief he had sent; 2) received several emails that are all part of the agenda packet that was posted.

**Mike Goodman:** 1) contacted by the listing agent, he advised he could not speak about this upcoming item; 2) received several emails that are all part of the agenda packet that was posted.

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jeff McKay, Head Trustee for Hammock First Baptist Church.

**Board Questions:** Tim Connor asked if Sanchez is currently an open roadway. Mr. McKay advised it is a 50-60 foot open roadway.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mark Langelo

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

8. **Application #3245 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #SDP-000391-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley explained the project.

**Board Discussion:** Mark Langelo asked if staff had any concerns. Adam advised there are none.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Jack Corbett

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

9. **Application #3246 – PRELIMINARY PLAT IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for preliminary plat for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #PLAT-000392-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley was present but did not give a presentation.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mike Goodman

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

10. **Application #3249 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for a temporary sales office/model home at 79 Huntington Place (also described as Lot 69 of Huntington Green at Hunters Ridge, Phase 2A) on Parcel Number 22-14-31-0254-00000-0690; 0.38+/- acres. Owner: Maronda Homes, LLC of Florida/Applicant: Howard Lefkowitz, President, BADC Huntington Communities, Inc. *Project #SDP-000430-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Howard Lefkowitz was present but did not give a presentation.

**Board Discussion:** **Mark Langello** inquired about what would happen when the sales office was no longer needed. Mr. Lefkowitz advised it would be returned to a drive way and garage door. Mr. Langello suggested he bring a secondary site plan to the BOCC when it is heard for approval.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mike Goodman

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mark Langello

**Vote:** Motion approved 7-0 by unanimous vote

**11. Staff Comments:** None

**12. Board Comments:** None

**13. Public Comments:** None

**14. Adjournment: Motion to adjourn**

**Motion by:** Mark Langello

**Motion 2<sup>nd</sup> by:** Mike Boyd

Meeting adjourned

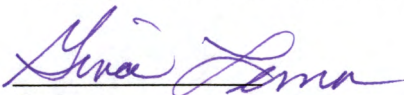
DRAFT



Application #3249  
 Site Dev Plan in a PUD  
 Huntington - Sales Office/Model Home

ParcelId	OwnerName	OwnerAddress1	OwnerAddress2	OwnerCityStZip
22-14-31-0000-01010-00B0	US CAPITAL ALLIANCE LLC		880 AIRPORT ROAD SUITE 113	ORMOND BEACH, FL 32174
22-14-31-0000-01010-0130	US CAPITAL ALLIANCE LLC		880 AIRPORT ROAD SUITE 113	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0010	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0020	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0030	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0040	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0610	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0620	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0630	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0640	MARONDA HOMES LLC OF FLORIDA		5220 SHAD ROAD SUITE 202	JACKSONVILLE, FL 32257
22-14-31-0254-00000-0650	MARONDA HOMES LLC OF FLORIDA		5220 SHAD ROAD SUITE 202	JACKSONVILLE, FL 32257
22-14-31-0254-00000-0660	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0670	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0680	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0690	MARONDA HOMES LLC OF FLORIDA		5220 SHAD ROAD SUITE 202	JACKSONVILLE, FL 32257
22-14-31-0254-00000-0980	GALLERY HOMES OF DELAND INC		200 S SPRING GARDEN AVE	DELAND, FL 32720
22-14-31-0254-00000-0990	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0C30	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0C40	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-0PR1	HUNTER'S RIDGE CDD #1		2300 GLADES ROAD SUITE 410W	BOCA RATON, FL 33431
22-14-31-0254-00000-0W40	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-1000	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0254-00000-1020	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0700	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0710	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0720	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0730	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0740	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0950	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0960	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0970	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0PR1	HUNTER'S RIDGE CDD #1		2300 GLADES ROAD SUITE 410W	BOCA RATON, FL 33431
22-14-31-0255-00000-0ST3	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0ST4	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174
22-14-31-0255-00000-0W30	BADC HUNTINGTON COMMUNITIES	LLC	300 INTERCHANGE BLVD STE D	ORMOND BEACH, FL 32174

I hereby affirm mailed notice to each owner on March 26, 2021 for the Planning Development Board Meeting on April 13, 2021 at 6:00 pm

  
 Gina Lemon

Hasler  
 03/26/2021  
 US POSTAGE \$000.00<sup>9</sup>



ZIP 32110  
 011E11679462

**Growth Management Department**  
Planning & Development  
1769 E. Moody Blvd, Bldg. 2  
Bunnell, FL 32110



[www.flaglercounty.org](http://www.flaglercounty.org)  
Phone: (386)313-4003  
Fax: (386)313-4102

March 26, 2021

US CAPITAL ALLIANCE LLC  
880 AIRPORT ROAD SUITE 113  
ORMOND BEACH, FL 32174

Re: Application #3249 – Site Development Plan in a PUD (Planned Unit Development) - Parcel Number: 22-14-31-0254-00000-0690

Dear Property Owner:

As an owner of property within 300' of the property referenced herein, Flagler County Planning Department in accordance with Section 2.07.00 of the Flagler County Land Development Code, advises you that:

A request by Howard Lefkowitz, President BADC Huntington Communities, LLC on behalf of owner Maronda Homes, LLC for a Site Development Plan in a PUD District on approximately 0.38 acres being 79 Huntington Place and identified by parcel number 22-14-31-0254-00000-0690. The site development plan is for a proposed Sales Office/Model Home at the referenced address.

You are hereby notified that a public hearing before the **Flagler County Planning and Development Board**, required by law, will be held in the Flagler County Government Services Building, Board Chambers, at 1769 E. Moody Boulevard, Building 2, Bunnell, Florida on **April 13, 2021**, beginning at **6:00 p.m.** or as soon thereafter as possible. You are welcome to attend and express your opinion.

Sincerely,

A handwritten signature in purple ink that reads "Gina Lemon".

Gina Lemon  
Development Review Planner III

Mar 29, 2021 at 3:31:09 PM  
Ormond Beach FL 32174  
United States



**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS  
PUBLIC HEARING/AGENDA ITEM #9d**

**SUBJECT: QUASI-JUDICIAL** – Application #3239 – Semi-Public Use in the R-1 (Rural Residential) District for Equine Therapy d/b/a Whispering Meadows Ranch at 5011 John Anderson Highway. Parcel Number: 37-12-31-0610-00000-0120; 4.25+/- acres. Owner: Richard and Mary Helene Davis/Agent: Dennis K. Bayer, Esquire (Project #COND-000350-2020).

**DATE OF MEETING:** May 17, 2021

**OVERVIEW/SUMMARY:** This request is quasi-judicial in nature (not legislative) and does require disclosure of ex parte communication. This request is for approval of a Semi-Public Use within the R-1 (Rural Residential) zoning district. The property is located at 5011 John Anderson Highway and is 4.5+/- acres in size. According to Property Appraiser records, the parcel includes a 3,702 square foot home built in 1999.

Property Appraiser aerial photo



On January 19, 2021, Attorney Dennis Bayer submitted the Semi-Public Use application on behalf of the owners of 5011 John Anderson Highway, Mr. and Mrs. Davis. The Davis' operate Whispering Meadows Ranch from this parcel, a non-profit 501(c)3 equine therapy program for children, the disabled, and veterans. This application was prompted by the County's contact with Mr. Bayer following an inquiry received from a prospective purchaser of an adjoining parcel. As described, Whispering Meadows Ranch has been operating from this parcel for the past 15 years without local zoning review and approval through the Semi-Public Use process. The Semi-Public Use application and review is not a variance from the County's requirements or a rezoning of the land: the Semi-Public Use is a unique characteristic of the County's Land Development Code (LDC) reserved to non-profit and not-for-profit operations.

The applicant has submitted a site plan – undated, but received on January 19, 2021 – of the proposed development. The site plan indicates the location of existing and proposed buildings, as well as the location and number of parking spaces for the use. The applicant acknowledges that if Whispering Meadows wishes to use the property for additional or other uses, a subsequent application and Board approval to amend this Semi-Public Use would be needed.

This application was reviewed by the Technical Review Committee at its February 17, 2021 meeting. The applicant's responses to comments have been provided, and the application requesting the Semi-Public Use is sufficient – in the opinion of the TRC – for recommendation by the Planning and Development Board and review and decision by the Board of County Commissioners.

Planning and Development Board review authority: Section 3.06.05.E.2, LDC, requires that the Planning and Development Board consider the application, site plan, and public comments and first determine whether sufficient factual data was presented in order to render a decision. If this threshold is met, the LDC requires the Planning Board to recommend that the Board of County Commissioners either approve the request with the conditions submitted in the application, approve the request with additional or different conditions, or disapprove the request. If approved, the Planning Board must specify conditions that should be imposed to protect the health, safety, and welfare of the public and surrounding property owners.

In evaluating the application, the LDC requires the Planning Board to determine:

- 1.) Whether the requested use is consistent with the Comprehensive Plan;
- 2.) Whether the requested use is necessary or desirable to support projected community needs; and
- 3.) Whether the proposed use will impose any substantial detrimental effects on the living or working conditions in the neighborhood.
  - In this regard, the LDC prohibits the location of a semi-public use from being injurious to the health, safety, and welfare of the public.
  - Also, the location of the semi-public use shall protect the existing character of the surrounding properties or neighborhoods.
  - Finally, the Planning Board must consider the impact of the proposed use on land development patterns and important natural resources.

The Planning and Development Board held its meeting on April 13, 2021. The overwhelming balance of public comments demonstrated a community need for equine therapy. However, there was considerable debate focused on the third prong of the evaluation, i.e., the impact of the proposed use on the surrounding neighborhood. The vast majority of the comments supported the application, advocating for a finding that the use is consistent with the neighborhood. However, some nearby property owners and community members, some represented by counsel, felt the proposed use is inappropriate at the proposed location. Opponents mentioned protective covenants and restrictions (C&R's) – recorded at Official Records Book 96, Pages 616 through 618, Public Records of Flagler County, Florida – imposed on the neighborhood when the subdivision was platted in 1977, which state in part:

“No business, commercial or manufacturing enterprise of any nature shall be operated on any of the lots, nor shall any noxious or offensive activity be carried on upon any of the property; nor shall anything be done which may be or become an annoyance or nuisance to the neighborhood.”

(Of note, the C&R's specifically allow for horses as it is a rural residential subdivision.) However, there is an open question as to whether the C&R's are still in effect under Florida's Marketable Record Title Act (MRTA). The issue is a complex legal one, which the neighborhood property owners are free to resolve among themselves or, if necessary, by engaging the court system. The assistant county attorney advised the Planning Board that it should consider the impacts on the proposed use on the neighborhood, but that, per longstanding County policy, the enforcement of private deed restrictions is a purely private matter. Moreover, whether the C&R's are still in effect or not under MRTA requires a complex analysis beyond the scope of the Planning Board's semi-public use determination. Finally, the assistant county attorney noted for the record that the Planning Board's decision should not be construed as an endorsement or repudiation of the C&R's as the Planning Board conducted its review without regard to the C&R's.

The Planning and Development Board determined it had sufficient evidence upon which to make a recommendation to the Board of County Commissioners. In so doing, the Planning Board made the following findings: the use is consistent with the Comprehensive Plan; the use is necessary or desirable to support the projected community needs; and approval does not impose substantial detrimental effects on living and working conditions in the neighborhood.

Through a unanimous vote (with one abstention) the Planning Board recommended approval of the Semi-Public Use subject to conditions as submitted with the following modifications:

- Amending condition 2.a. to specify that the Semi-Public Use shall not run with the land but shall instead be approved as to the owners of Whispering Meadows; and
- Adding a new condition 2.i. that provides for the revocation of the Semi-Public Use – following an evidence-based determination of a violation and a due-process adjudicatory procedure – should one (or more) of the conditions be violated.

The full set of conditions recommended by the Planning Board are listed in recommendation No. 2 below.

BCC review authority: Section 3.06.05.E.3, LDC, tracks similarly to the Planning and Development Board's direction, and requires that the Board of County Commissioners review and either approve, approve with conditions, or disapprove Semi-Public uses following consideration of the Planning and Development Board's recommendations and the factual data presented during the public hearing in support of – or in opposition to – the request. The County Commission must first determine if sufficient factual data has been presented in order to make a decision. Only one (1) continuation (tabling) to the next meeting is permitted in order to allow an applicant to supplement the application with additional factual data, unless good cause is provided on the record for an additional continuances. The County Commission must use the same substantive standards as the Planning Board, as outlined above.

This agenda item is:

  X   quasi-judicial, requiring disclosure of ex-parte communication; or  
       legislative, not requiring formal disclosure of ex-parte communication.

Public Notice: Public notice has been provided consistent with LDC Section 2.07.00.

**DEPARTMENT CONTACT:** Growth Management, Adam Mengel (386) 313-4065

**OPTIONS FOR THE BOARD:** The Board of County Commissioners, based on the Planning and Development Board's public hearing and recommendation, the staff report, and the factual data presented during the public hearing:

1. **Approves** the Semi-Public Use for Whispering Meadows Ranch at 5011 John Anderson Highway as submitted without conditions.
2. **Approves** the Semi-Public Use for Whispering Meadows Ranch at 5011 John Anderson Highway, subject to the following conditions:
  - a. the Semi-Public Use approval shall not run with the land;
  - b. all development, improvements, and the extent of use areas and buffers shall be restricted to the areas so identified for such purposes on the site plan received on January 19, 2021 and made a part of this record;
  - c. no signs advertising the non-profit operation are permitted;
  - d. a subsequent application to amend this Semi-Public Use will be needed for any new uses or structures proposed for this parcel;
  - e. the non-profit organization Internal Revenue Service registration, along with any State of Florida nonprofit registration and the County's business tax receipt, must be maintained in perpetuity for the duration of the use on this parcel;
  - f. hours of operation shall be by appointment only the following days:
    - Mondays – 8:00 a.m. to 4:30 p.m.
    - Tuesdays – closed
    - Wednesdays – 9:00 a.m. to 4:30 p.m.
    - Thursdays – 9:00 a.m. to 4:30 p.m.
    - Fridays – 9:00 a.m. to 4:30 p.m.
    - Saturdays – 8:00 a.m. to 11:00 a.m.
    - Sundays -- closed;

- g. no more than 15 daily attendees, inclusive of family members, staff and volunteers, shall be permitted;
  - h. no more than five (5) horses shall be maintained on the parcel;
  - i. no on-street parking (along or within the John Anderson Highway right-of-way) is permitted;
  - j. all animal waste shall be collected on a daily basis and placed within airtight containers for offsite disposal;
  - k. one (1) annual fundraising or community-outreach event may be conducted on the parcel each calendar-year, subject to the County's special event permitting process but waiving any application or review fee; and
  - l. any violation of any of these conditions, following notification and investigation by Code Enforcement and based on competent substantial evidence indicating that the violation has occurred, shall result in the Semi-Public Use approval being revoked. The revocation shall occur only after due-process notice and an opportunity for rebuttal have been provided to the applicant, with any appeal to be considered by the Board of County Commissioners.
3. **Denies** the Semi-Public Use for Whispering Meadows Ranch at 5011 John Anderson Highway.
4. **Continues (Tables)** the Semi-Public Use for Whispering Meadows Ranch at 5011 John Anderson Highway to a time and date certain.

**ATTACHMENTS:**

- 1. Technical Staff Report (TSR)
- 2. Site Plan
- 3. Application and supporting documents
- 4. TRC review comments dated February 17, 2021
- 5. Planning and Development Board draft April 13, 2021 meeting minutes (in part)
- 6. Public notice
- 7. Public Correspondence (provided online)



**APPLICATION #3239  
SEMI-PUBLIC USE REQUEST FOR WHISPERING MEADOWS RANCH  
5011 JOHN ANDERSON HIGHWAY  
TECHNICAL STAFF REPORT**

Application/Project #: 3239/COND-000350-2020

Address: 5011 John Anderson Highway

Owner: Richard and Mary Helene Davis

Agent: Dennis K. Bayer, Esquire

Parcel #: 37-12-31-0610-00000-0120

Parcel Size: 4.25+/- acres

**Legal Description:**

Lot 12 (and a 1/24th interest in Lot 19-A, a Permanent Private Recreation Area), Bulow Woods Unit #1 subdivision, according to the plat thereof as recorded in Plat Book 26, Pages 17 and 18, Public Records of Flagler County, Florida.

**Existing Zoning and Land Use Classification:**

Zoning: R-1 (Rural Residential) District

Land Use: RLDRE (Residential Low Density: Rural Estate)

**Future Land Use Map Classification/Zoning of Surrounding Land:**

North: RLDRE (Residential Low Density: Rural Estate)/R-1 (Rural Residential) District

East: RLDRE (Residential Low Density: Rural Estate)/R-1 (Rural Residential) District

South: RLDRE (Residential Low Density: Rural Estate)/R-1 (Rural Residential) District

West: John Anderson Highway right-of-way; RLDRE (Residential Low Density: Rural Estate)/R-1 (Rural Residential) District

**Land Development Code Sections Affected:** Land Development Code (LDC) Section 3.06.05, *Public, semi-public and special uses.*

**Summary of Request:** Dennis Bayer on behalf of the parcel owners, Mr. and Mrs. Davis, has requested Semi-Public Use approval for an equine therapy non-profit operating as Whispering Meadows Ranch located at 5011 John Anderson Highway. As proposed, the daily operations will be limited to no more than 15 participants. According to the application materials and public correspondence received related to this request, this use has been operating from this location for approximately 15 years. There are no ancillary uses proposed at this time.

**Staff Analysis:** Land Development Code (LDC) Section 3.06.05(B) provides that public and semi-public uses may be permitted as follows:

Standard: Any public or semipublic use may be permitted in any land use district provided that the request for such use is officially made to the Planning and Development Board.

*Analysis: Through their agent, Dennis Bayer, Mr. and Mrs. Davis have submitted this request for a semi-public use.*

Standard: The Planning and Development Board shall determine whether or not such requested use is consistent with the adopted comprehensive plan and whether the use is necessary or desirable to support projected community needs.

*Analysis: The adopted comprehensive plan is silent to semi-public uses. Staff has reviewed the development and use as an equine therapy program on this residentially-zoned parcel with the applicant and their agent. The semi-public use approval does not change the underlying zoning or Future Land Use designations.*

*No other potential locations for this non-profit operation have been provided by the applicant. The non-profit has operated from this location because this parcel also serves as the homesteaded residence for Mr. and Mrs. Davis.*

Standard: Public or semi-public uses and structures may be located in any land use district upon recommendation of the Planning and Development Board, based in part on the submittal of a site plan showing site alterations, improvements to be made, and proposed buffers and conceptual landscaping plans.

*Analysis: The site plan submitted on January 19, 2021 demonstrates the ability to comply with the minimum requirements of the R-1 district. The plans submitted indicate minimal additional development, with parking sited towards the center of the parcel so as reduce conflicts with adjacent parcels.*

Standard: The permitted location of public or semi-public uses or structures shall be such as not to be injurious to the health, safety and welfare of the public and shall protect the existing character of the surrounding properties or neighborhoods.

*Analysis: The subject property currently includes a 3,702 sq. ft. residence located in the center-rear of the subject parcel. Continued use of this parcel as a non-profit equine therapy program should have minimal impact on adjacent properties or the neighborhood. It is more than likely that few of the adjacent neighbors were even aware of this operation prior to the County's public notice regarding this request.*

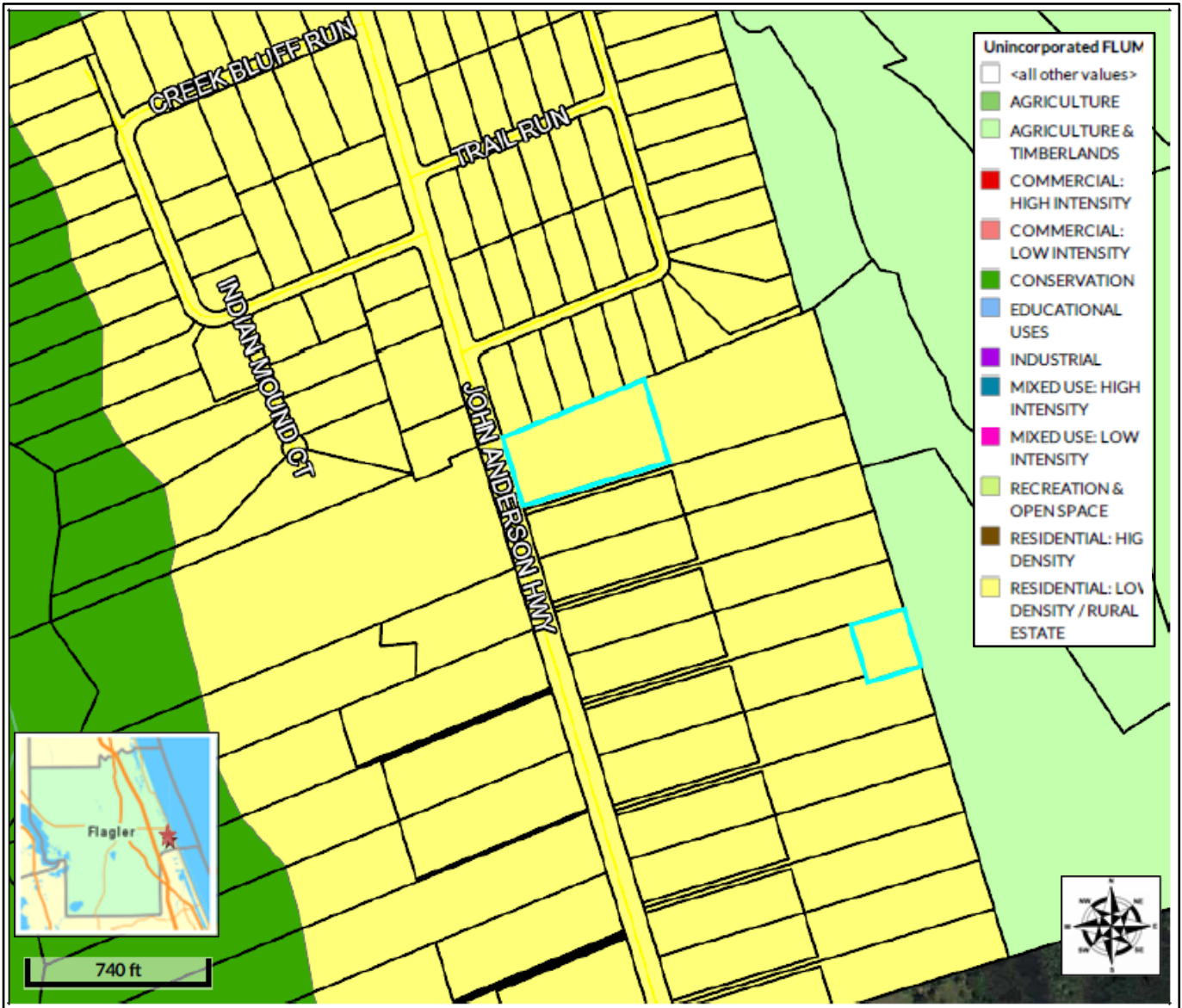
Standard: The Planning and Development Board shall consider the impact of the proposed use on land development patterns, on important natural resources, and, where applicable, the cost effectiveness of service delivery.

*Analysis: Use of the subject parcel as a non-profit equine therapy program should not impact land development patterns, natural resources, or the cost effectiveness of service delivery.*

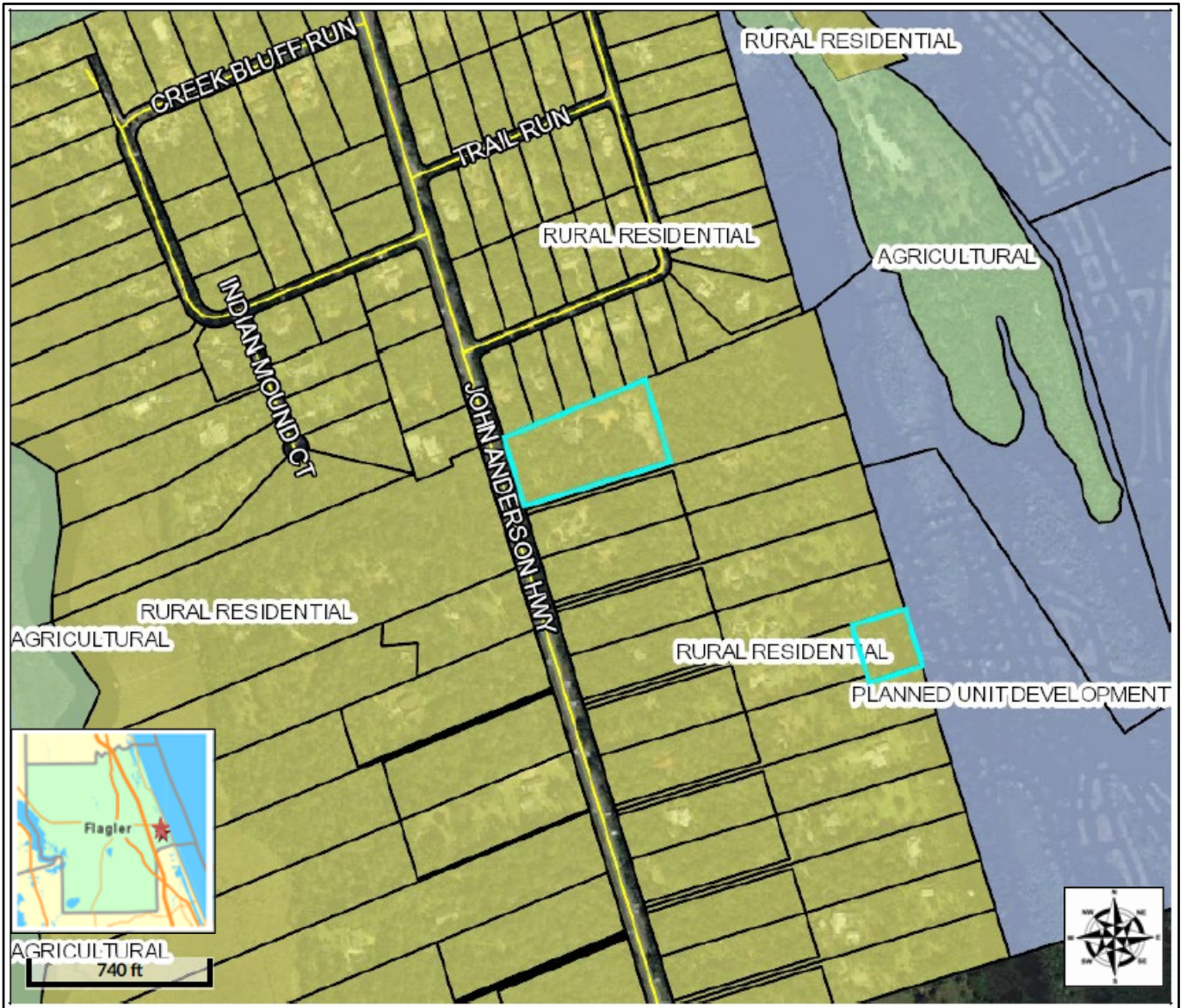
Standard: The Planning and Development Board also shall determine whether the proposed use will impose any substantial detrimental effects on the living or working conditions in the neighborhood.

*Analysis: It is likely that the use of this parcel as a non-profit in addition to its use as a single-family residence will go unnoticed in the future. With the proposed conditions in place, the non-profit will not impose any negative effects on the neighborhood.*

# Future Land Use Map



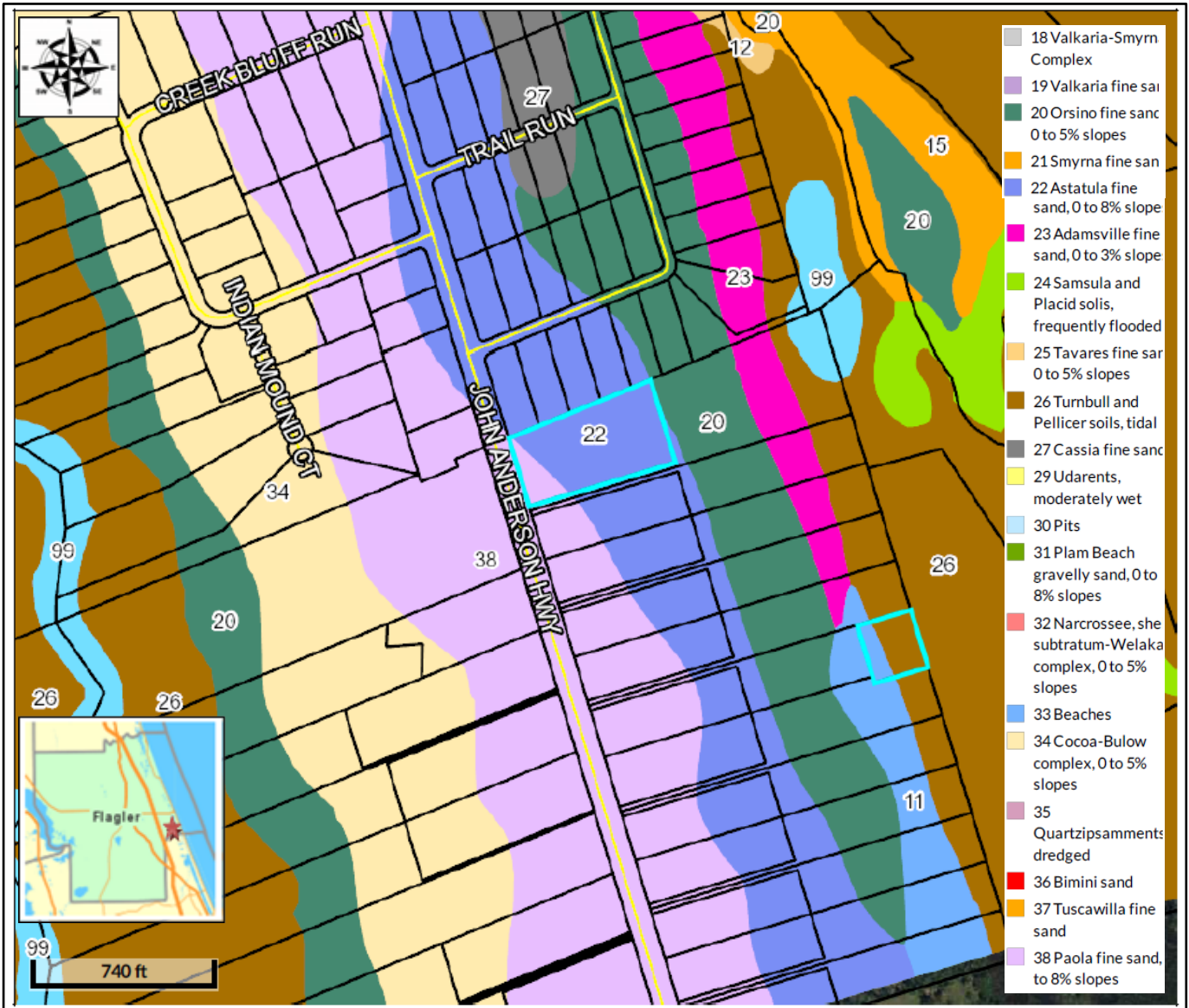
# Zoning Map



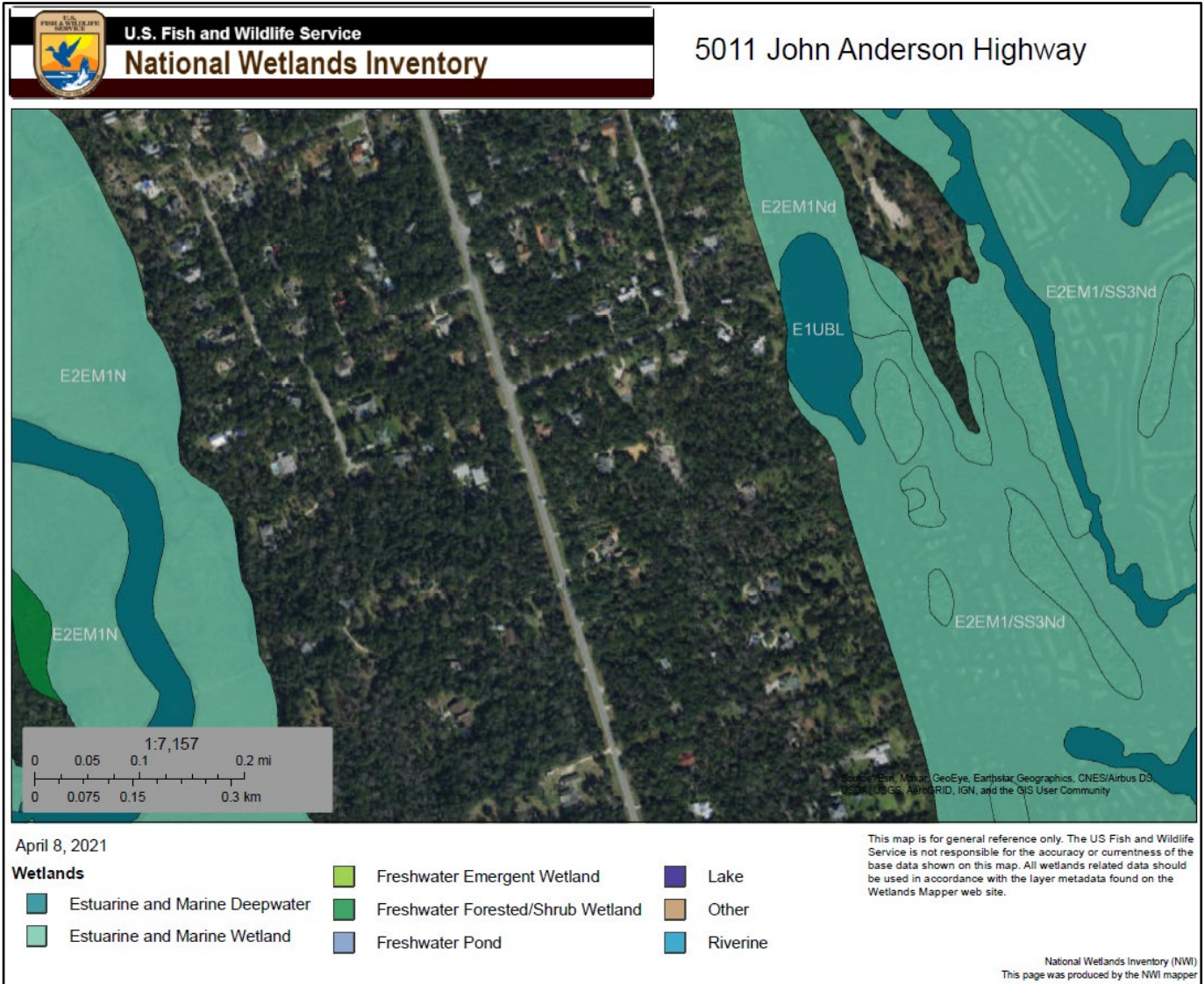
# Flood Zone Map



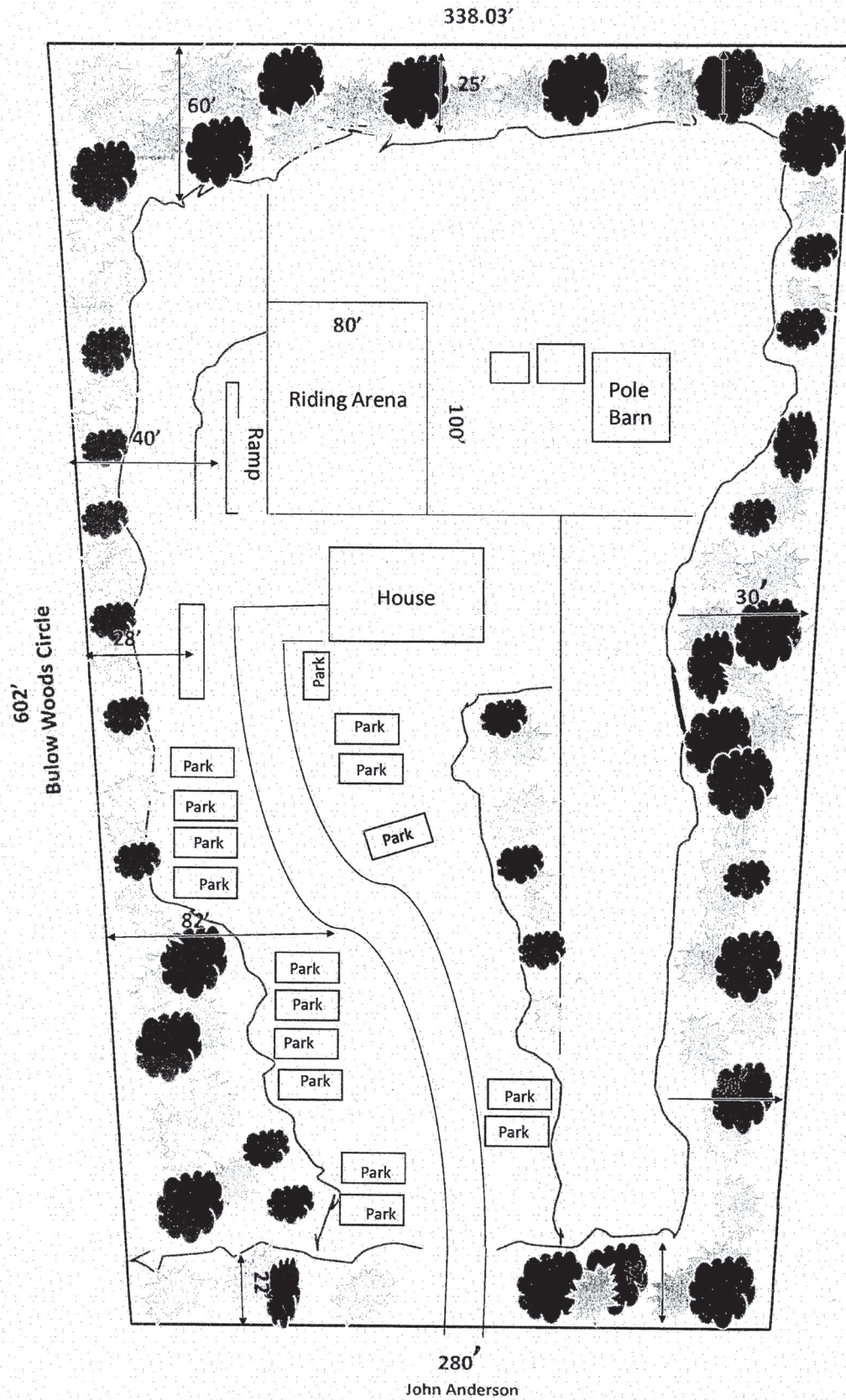
# Soils Map



# Wetlands Map







John Anderson

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# APPLICATION FOR SEMI-PUBLIC USE

FLAGLER COUNTY, FLORIDA  
1769 E. Moody Boulevard, Suite 105  
Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 3239 /

<b>PROPERTY OWNER(S)</b>	Name(s):	Richard + Mary Helene Davis		
	Mailing Address:	5011 John Anderson Hwy		
	City: Flagler Bch	State: FL	Zip: 32136	
	Telephone Number	386 439 3195	Fax Number	386 439 3195

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<b>APPLICANT /AGENT</b>	Name(s):	Dennis Bayer		
	Mailing Address:	109 S. 6th St		
	City: Flagler Bch.	State: FL	Zip: 32136	
	Telephone Number	386 439 2332	Fax Number	386 439 6522
	Email Address	Dennis @ Bayer legal. com		

<b>SUBJECT PROPERTY</b>	SITE LOCATION (street address):	5011 John Anderson Hwy		
	LEGAL DESCRIPTION: <small>(briefly describe, do not use "see attached")</small>	Bulow Woods Subdivision Unit 1 Lot 12		
	Parcel # (tax ID #):	37-12-31-0610-00000-0120		
	Parcel Size:	280' x 600' 4.25 acres		
	Current Zoning Classification:	R1		
	Current Future Land Use Designation:	Rural Estate		
	Subject to A1A Scenic Corridor IDO?	YES	NO	

Type of Use: single family

Mary Helene Davis  
Signature of Owner(s) or Applicant/Agent  
if Owner Authorization form attached

01/15/2021  
Date

**\*\*OFFICIAL USE ONLY\*\***

PLANNING BOARD RECOMMENDATION/ACTION: \_\_\_\_\_

APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

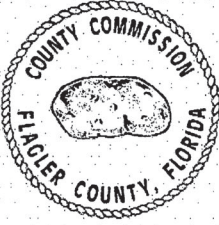
PLANNING BOARD RECOMMENDATION/ACTION: \_\_\_\_\_

APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application. Rev. 01/06



# Owner's Authorization for Applicant/Agent

FLAGLER COUNTY, FLORIDA

1769 E. Moody Boulevard, Suite 105

Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project # \_\_\_\_\_

Dennis K. Bayer \_\_\_\_\_, is hereby authorized TO ACT ON BEHALF OF Richard and Mary Helene Davis \_\_\_\_\_, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Flagler County, Florida for an application for the Semi-Public Use Application for Richard and Mary Helene Davis \_\_\_\_\_.

(ALL PERSONS, WHO'S NAMES APPEAR ON THE DEED MUST SIGN)

By: Richard E Davis  
Signature of Owner

Richard Davis  
Printed Name of Owner / Title (if owner is corporation or partnership)

Mary Helene Davis  
Signature of Owner

Mary Helene Davis  
Printed Name of Owner

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Address of Owner: Telephone Number (incl. area code)

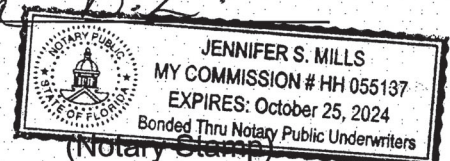
5011 John Anderson Highway Mailing Address 386-439-3195

Flagler Beach FL 32136  
City State Zip

STATE OF Florida  
COUNTY OF Flagler

The foregoing was acknowledged before me this 18th day of January, 2021 by Richard Davis and Mary Helene Davis who is/are personally known to me or who has produced Fla D.C. as identification, and who (did) / (did not) take an oath.

JSM  
Signature of Notary Public



<http://www.flaglercounty.org/doc/dpt/centprmt/landdev/owner%20auth.pdf>

# Dennis K. Bayer

## Attorney

Dennis K. Bayer, Esq.  
dennis@bayerlegal.com

109 South 6<sup>th</sup> Street, Suite 200  
Flagler Beach, FL 32136  
Tel: 386-439-2332  
Fax: 386-439-6522

January 19, 2021

Adam Mengel,  
Planning Director  
1769 E. Moody Blvd, Bldg 2, Suite 105  
Bunnell, FL 32110

VIA Email and Hand Delivery  
Email: [amengel@flaglercounty.org](mailto:amengel@flaglercounty.org)

Re: Application for Semi Public Use  
5011 John Anderson Highway

Dear Mr. Mengel:

Attached please find a completed application package for Mr. and Mrs. Davis for the use of their property for non-profit equine related activities. Included in the package please find the application form, the site plan for the property and the warranty deed. My clients have operated the Whispering Meadows operation for approximately 14 years with no issues or complaints. During that time, they have served children from area schools as well as disabled veterans and handicapped people of all ages.

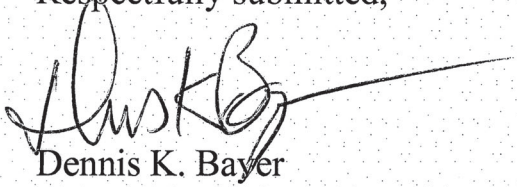
Also enclosed is the January 2021 Palm Coast Observer article about the Whispering Meadows Ranch being one of the outstanding organizations in the county. No fees are charged and volunteers assist with the operation. In fact the neighbors have routinely complemented my clients for their non-profit activities which have been used by many handicapped children in our community.

The site plan shows the proposed parking areas on the property and the existing improvements. Visitors are by appointment only with no more than ten visitors allowed at a time. The hours of operation are limited to Monday, Wednesday, Thursday and Friday from 8:30 am until 5:00 pm. Saturdays are limited from 8:00 am until 11:00 am. There is no amplified music. My clients are willing to discuss any other reasonable site operation restrictions that may be required.

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Please review this application and call me to discuss.

Respectfully submitted,



Dennis K. Bayer

DKB/kh

Enclosures

cc: Mr. and Mrs. Richard Davis

Prepared by and Return to:

Robin Ammann  
FLAGLER COUNTY ABSTRACT CO.  
305 E. Moody Blvd. -P.O. Box 398  
Bunnell, FL 32110  
SS# - GRANTEE 1: - -

DOC NO: 99002605 DATE: 2/05/1999  
DOC STAMP-DEED : \$483.00  
SVD CROSBY, FLAGLER COUNTY  
BY: M. Stevens D.C. 3:19

DOC NO: 99002605 DATE: 2/05/1999  
OFF REC: 642 PAGE: 1429

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JAN 19 2000

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[Space Above This Line for Recording Data]

# WARRANTY DEED

File No. 104002

THIS INDENTURE, made this 30 day of January, A.D. 1999 between  
Emidio F. Ramada and Deolinda M. Ramada, husband and wife

as Grantor\*, whose address is: 7 Britewood Lane, Branford, CT 06405  
and

Richard E. Davis and Mary Helene Davis, husband and wife  
as Grantee\*, whose address is: 1541 N. Oceanshore Blvd., Flagler Beach, FL 32136

WITNESSETH: That the Grantors, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations to said grantors in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of Flagler, State of Florida, to-wit:

Lot 12, Bulow Woods, Unit 1, a subdivision according to the plat or map thereof described in Plat Book 26, at page(s) 17 and 18, of the Public Records of Flagler County, Florida.

SUBJECT TO THE FOLLOWING: Taxes for the year 1998 and subsequent years. Restrictions, Covenants, Easements, Dedications, Reservations, Resolutions and Conditions of record, if any. Balances due on utility assessments, if any.

GRANTOR WARRANTS THAT THIS IS NOT HOMESTEAD PROPERTY.

Property Tax ID Number: 37-12-31-0610-00000-0120

SUBJECT TO easements, restrictions and reservations of record, if any, and taxes for 1999 and subsequent years.

Said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

\*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Witnesses

2 DIFFERENT WITNESSES

(SIGN HERE 1) Maria Guidone

PRINT OR TYPE NAME: Maria Guidone

(SIGN HERE 2) Thomas C. Brow

PRINT OR TYPE NAME: THOMAS C. BROW

Emidio Ramada  
Emidio F. Ramada

Deolinda M. Ramada  
Deolinda M. Ramada

State of Connecticut  
County of New Haven

The foregoing instrument was acknowledged before me on this 30 day of

January, 1999 by Emidio F. Ramada and Deolinda M. Ramada, husband and wife, who is known to me or who has produced passport photos as identification and did not take an oath.

My Commission Expires:

LISA BROW  
NOTARY PUBLIC  
MY COMMISSION EXPIRES MAY 31, 2003

(SEAL)

Lisa Brow  
NOTARY PUBLIC  
PRINT OR TYPE NAME:

SEAL AND EXPIRATION DATE



# SUZANNE JOHNSTON Flagler County Tax Collector

## 2020 REAL ESTATE NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

TAX YEAR	ACCOUNT NUMBER	AD VALOR	MILLAGE CODE	ESCRROW CODE
2020	3712310610000000120	77263	001	

R



Application for Partial Payments on back of this notice.

5011 JOHN ANDERSON  
FLAGLER BEACH 32136  
BULOW WOODS UNIT #1 LOT 12 &  
1/24 INTEREST IN LOT 19-A OR 138  
PG 73-QC OR 138 PG 74 OR 161 PG  
539 OR 294 PG 834 OR 350 PG 507  
OR 415 PG 330 OR 642 PG 1429 OR  
1510 PG 1506

DAVIS RICHARD E &  
MARY HELENE DAVIS H&W  
5011 JOHN ANDERSON HWY  
FLAGLER BEACH FL 32136-5515



68  
7-21042

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## Owner Information

**Primary Owner**  
Davis Richard E &  
Mary Helene Davis H&W  
5011 John Anderson Hwy  
Flagler Beach, FL 32136

## Parcel Summary

**Parcel ID** 37-12-31-0610-00000-0120  
**Location Address** 5011 JOHN ANDERSON HWY  
FLAGLER BEACH 32136  
**Brief** BULOW WOODS UNIT #1 LOT 12 & 1/24 INTEREST IN LOT 19-A OR 138 PG 73-QC OR 138 PG 74 OR 161 PG 539 OR 294 PG 834 OR 350 PG 507 OR 415 PG 330 OR  
**Tax Description\*** 642 PG 1429 OR 1510 PG 1506  
\*The Description above is not to be used on legal documents.  
**Property Use** SINGLE FAM (000100)  
**Code**  
**Tax District** UNINCORPORATED AREA WITH MOSQUITO CONTROL (District 1)  
**Millage Rate** 15.0849  
**Acreage** 4.250  
**Homestead** Y  
**Feet (GIS)** 237223.38147

[View Map](#)

## Valuation

Columns

	2020 Certified Values	2019 Certified Values	2018 Certified Values
Building Value	\$194,489	\$194,489	\$175,980
Extra Features Value	\$16,568	\$16,568	\$16,341
Land Value	\$90,000	\$81,600	\$72,000
Land Agricultural Value	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$301,057</b>	<b>\$292,657</b>	<b>\$264,321</b>
Assessed Value	\$223,176	\$218,158	\$214,090



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Palm Coast Observations

JAN 19 2020

FLAGLER COUNTY  
PLANNING & ZONING DEPT

BUSINESS



PALM COAST

WEDNESDAY, JAN. 6, 2021 1 week ago

## Standing O: Whispering Meadows Ranch provides equine therapy

SHARE



COMMENTS 0

Richard and Helene Davis and Kristine Aguirre, along with nearly 40 others, volunteer their time at the ranch.

by: Guest | Writer

*by: Brent Woronoff*

There's no sign on the road for Whispering Meadows Ranch, so if you miss the number on the mailbox you might drive right past, not knowing that this is where miracles happen.

Helene and Richard Davis opened Whispering Meadows Ranch with their daughter Kristine Aguirre 13 years ago. The five-acre ranch off John Anderson Highway is a 100% volunteer-based nonprofit that provides equine therapy for children and adults with special needs.

Helene and Kristine and an army of nearly 40 volunteers introduce horsemanship to kids with a wide-range of disabilities from behavioral issues such as attention deficit hyperactivity disorder to autism, cerebral palsy, Down syndrome and brain injuries.

---

"The guests are provided with opportunities to plant gardens, ride and groom horses, take pictures, and walk-in-the-woods experiences."

RICHARD and POLLY  
CONKLING

The ranch is a Professional Association of Therapeutic Horsemanship (PATH) International center. Helene and Kristine first learned about PATH International when they volunteered at Marion Therapeutic Riding Association in Ocala.

"We heard about that place, and we just went over there one day," Helene said. "We fell in love with just the whole concept of working with these kids and how the horses empower them and how it helps them in every single part of their body."

⊗ Kristine said: “It was just breathtaking to see what they were doing over there and realizing that we had nothing like it in this county or adjoining counties to serve this community.” 🔍

They enrolled in a two-year program to become certified instructors. They had to volunteer while learning about disabilities as well as the horses and equipment and becoming proficient at riding.

Once they were certified, Helene and Richard decided to transform their five acres of undeveloped property into the ranch.

“This was all covered with trees,” Helene said, sweeping an arm over the property. “Someone donated a horse to us. We had no place to put it, so my husband got the tractor out, cleared a little bit of area, put some fencing up, and shortly after another horse came and then another horse, so he kept on working, expanding.”

◀ PREVIOUS ARTICLE

They now have four horses and a pony, a riding arena and interactive trails with chalk boards, magnetic boards and various games.

NEXT ARTICLE ▶

“As soon as the word got out, it spread like wildfire,” Helene said. “We had somebody donate the labor for the ramp and somebody else donate the lumber, so we could help people in wheel chairs get on the horse.”

Everyone who works at the ranch is a volunteer, including Helene, Kristine and Richard. All of the money that comes in goes back into the ranch.

Children are scheduled once a week with no more than three to a session. They ride for 30 minutes and they interact with their horse for an additional 15 minutes, building a relationship. They learn all the steps to groom their horse.

⊗ “Every session incorporates a riding skill and a life skill,” Kristine said. “A life skill might be just following instructions. We may have a pattern where they have three stops, so they’re going to practice walking and whoaing and steering their horse, and their life skill will be following the pattern, stopping your horse when you’re supposed to, picking up the item you’re supposed to. 🔍

“One of the biggest things we see is when the kids come here they may be shy and some of them are very sad or withdrawn, and after one or two visits they’re opening up and they’re sharing.”

Helene said they have seen non-verbal children speak their first words – giving their horse the command to “walk on.” And she said they have seen children take their first steps.

Helene, who is 73, had a window treatment business in Bunnell for 27 years. She finally closed it five years ago.

◀ PREVIOUS ARTICLE

“We didn’t sell it, we just walked out the door. I loved my job, I loved my customers, but this was where my heart was,” she said.

NEXT ARTICLE ▶

“My parents retired, and this is their way of giving back to the community that has been good to them,” Kristine said. “We’ve been very blessed with this program. Everyone who comes here says this place is different, because we do it for love. We love everyone who comes here.”

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← Previ Article

Next Article →

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**FLAGLER COUNTY**

**TECHNICAL REVIEW COMMITTEE COMMENTS**

**MEETING DATE: 02 / 17 / 2021**

**APPLICATION #3239 – SEMI-PUBLIC USE**

**APPLICANT: DENNIS BAYER, ESQ. / OWNER: DAVIS, RICHARD and MARY HELENE**

Distribution date: February 12, 2021

Plan: COND-000350-2021

Application #: 3239

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

**REVIEWING DEPARTMENT: BUILDING DEPARTMENT**

1. Please provide information for accessible restroom accommodations on site.

**REVIEWING DEPARTMENT: COUNTY ATTORNEY**

1. The Planning Board and the County Commission will need to base the approval or disapproval on standards identified in LDC Sec. 3.06.05.B.1.

**REVIEWING DEPARTMENT: DEVELOPMENT ENGINEERING**

1. Comments pending.

**REVIEWING DEPARTMENT: E-911 STAFF**

1. From what I can ascertain on this they are simply adding parking. If that is, in fact, true then we have no comment. All structures appear to already have been captured.

**REVIEWING DEPARTMENT: ENVIRONMENTAL HEALTH DEPT**

- More information is required to properly review application.

1. Is water from the existing private potable well provided to guests for consumption? If yes, a Limited Use Commercial Public Water System and new public well, along with required quarterly bacteriological sampling, and chemical sampling for nitrate and lead every 5 years is required.
2. If bathroom facilities will be provided for guests, a permitted septic system(s) will be required to dispose of wastewater.

**REVIEWING DEPARTMENT: FIRE INSPECTOR**

1. No comments.

**REVIEWING DEPARTMENT: PLANNING DEPARTMENT**

1. The Semi-Public Use application states that the type of use is single family: the type of use is – we believe – non-profit equine day therapy. If another reference is more appropriate, please advise.
2. As described, the Semi-Public Use is needed for zoning authorization for the existing non-profit use. As a residential lot established prior to zoning – the plat for Bulow Woods Unit #1 was approved by the Board of County Commissioners on November 17, 1977 and recorded at Map Book 26, Pages 17 and 18, Public Records of Flagler County, Florida – this parcel is a conforming R-1 (Rural Residential) zoned parcel, which permits the uses and structures as listed within LDC Sec. 3.03.04. A Semi-Public Use approval is required for a non-profit use of a platted, residentially-zoned subdivision lot.

3. A site data table should be added to the site plan, listing development areas, buffers, and parking (including the number of spaces). Areas should be described both in terms of square footage and as a percentage of the total parcel area.
4. The site plan should be labeled (name and address) and dated, include a North arrow, and either provide a graphic scale or state "Not to Scale."
5. The site plan should include all existing and proposed structures and uses. If additional structures or uses are anticipated, they should be shown in their approximate location and dimensions, and be labeled as "future" to indicate that these are not presently on site.
6. Conditions will be recommended by staff as part of the Planning and Development Board staff report. These conditions are likely to include: restricted access (by appointment only); restricted days and hours of operation (as stated in the letter dated January 19, 2021 accompanying the application, 8:30 a.m. to 5 p.m. weekdays (no Tuesdays) and 8:00 a.m. to 11:00 a.m. on Saturdays (no Sundays); no amplified sound; maintenance of an opaque perimeter landscape buffer for the duration of the use; a limit on the number of horses, staff members/volunteers, and clients that may be present on the parcel at one time; prohibition (or limitation to one or two per year) on fundraising festivals and open house events at the parcel; and a prohibition on on-street parking.
7. For reference, staff is aware that the subject parcel is subject to Covenants and Restrictions (Protective Covenants and Restrictions for Bulow Woods Unit #1, Inc.) recorded at Official Record Book 96, Page 616, Public Records of Flagler County, Florida. These Covenants include a prohibition on commercial activity:

"No business, commercial or manufacturing enterprise of any nature shall be operated on any of the lots, nor shall any noxious or offensive activity be carried on upon any of the property; nor shall anything be done which may be or become an annoyance or nuisance to the neighborhood."

**From:** [Dennis Bayer](#)  
**To:** [Adam Mengel, AICP, LEED AP BD+C](#)  
**Subject:** FW: FW: Whispering Meadows  
**Date:** Friday, March 26, 2021 2:44:44 PM

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**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

Here is the answer to your questions

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)     **386.439.2332**

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**From:** Kristine Aguirre <kristine@whisperingmeadowsranch.org>  
**Sent:** Friday, March 26, 2021 9:27 AM  
**To:** Dennis Bayer <dennis@Bayerlegal.com>  
**Subject:** Re: FW: Whispering Meadows

Here you go.

1. Maximum # of participants on a given day is 15-20 (includes volunteers)  
Most days we have about 8 kids throughout the day. Typically the schedule is 30-60 minute after school sessions and will have a few riders at a time, e.g. 2:30 (3) kids, 3:00 (2) kids, 4:00 (3) kids.
2. Number of Parking Spaces (3) Wheelchair Accessible Parking, plus 20 parking spots. Total of 23 parking spots.
3. Hours of Operation: By Appointment Only  
Monday 8-4:30  
Tuesday CLOSED  
Wednesday 9-4:30  
Thursday 9-4:30  
Friday 9-4:30  
Saturday 8-11am  
Sunday CLOSED



ADA COMPLIANT...YES.

4. A topic that keeps coming back to us, is the # of horses we have on the property. Please share this info with Adam. **We are not a rescue facility.** We have 4 horses and 1 pony. We have never exceeded this number. Each horse has gone through extensive training and screening for the therapy work they participate in. We will have our Vet write a letter to the outstanding care and health of our horses and grounds if that is necessary.

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)     **386.439.2332**

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**From:** Kristine Aguirre <[kristine@whisperingmeadowsranch.org](mailto:kristine@whisperingmeadowsranch.org)>

**Sent:** Wednesday, March 24, 2021 3:49 PM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: FW: Whispering Meadows

Ok Tuesday is a great day as we do not have riders on that day. It is very quiet at the Ranch.

We heard from Elizabeth Hathaway (through a mutual friend) and she stated that Tanner has spoken to her regarding the Ranch in the recent past. He stated to her that our events would be better suited over at the Flagler County Fairgrounds for various reasons.

It's interesting that he feels so inclined to speak with our neighbors regarding the Ranch but has never reached out to us with his concerns or recommendations.

I hope Tanner will make the effort to meet soon.

On Wed, Mar 24, 2021 at 12:41 PM Dennis Bayer <[dennis@bayerlegal.com](mailto:dennis@bayerlegal.com)> wrote:

Tanner can not make Friday.

I am aiming for Tuesday at 4:30 at the ranch

Dennis

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)    **386.439.2332**

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**From:** Kristine Aguirre <[kristine@whisperingmeadowsranch.org](mailto:kristine@whisperingmeadowsranch.org)>

**Sent:** Tuesday, March 23, 2021 7:11 AM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: FW: Whispering Meadows

Friday is fine.

He is available anytime this week and will change his schedule to make it work

On Mon, Mar 22, 2021 at 4:27 PM Dennis Bayer <[dennis@bayerlegal.com](mailto:dennis@bayerlegal.com)> wrote:

I will reach out to Tanner. How about this Friday at 3:00 ?

The Planning Board hearing allows us the chance to make a presentation after the staff report. I confirmed Friday with Adam that he has all of the material he needs.

Then the public is allowed to comment. I get the final argument before the Board votes.

Dennis

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)    **386.439.2332**

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**From:** Kristine Aguirre <[kristine@whisperingmeadowsranch.org](mailto:kristine@whisperingmeadowsranch.org)>

**Sent:** Monday, March 22, 2021 3:56 PM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: FW: Whispering Meadows

Hi Dennis,

Here is my Dad's phone #. (386) 503-6498, he is waiting for the call to meet with Mr. Tanner.

A few thoughts.....when you have a moment.

Would it be possible for you to stop by the Ranch one morning or afternoon so I can show you around before the meeting?

How does the planning and development meeting work?

Will we have an opportunity to talk?

Should I have the site plan and pictures blown up to a larger size?

I understand the complainants and opposition will be there, we are planning on having people there to speak on our behalf.

What are the most important points that we must drive home? by appt. only, attendance, reach in the community, etc.

What are the chances of the County working with us if we are denied?

Do you think I should reach out to the County Commissioners inviting them to visit Ranch?

Could you please inquire about the Planning and Development Board having (2) agents from Coldwell Banker and if that is a conflict of interest..

1. Michael C. Boyd. Cattleman's Association
2. Mark Langelo. Commercial Developer M&M Development
3. Timothy Conner Attorney
4. Anthony Lombardo Coldwell Banker Real Estate
5. Mike Goodman. Palm Coast Entrepreneur Captain's BBQ
6. Jack Corbett. Coldwell Banker Real Estate

On Thu, Mar 18, 2021 at 9:40 AM Dennis Bayer <[dennis@bayerlegal.com](mailto:dennis@bayerlegal.com)> wrote:

Here is Tanner's response

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com) **386.439.2332**

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**From:** John Tanner <[tanner4freedom@gmail.com](mailto:tanner4freedom@gmail.com)>

**Sent:** Wednesday, March 17, 2021 5:37 PM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: Whispering Meadows

Dennis, I would like to meet with you and Dick. What he's doing is a good thing, he is just doing it in a residential neighborhood and that exception could open the floodgates to a myriad of small businesses. That would negatively affect property values, safety and quality of life in our neighborhood. Let me know when you want to meet. John

On Mar 17, 2021, at 5:14 PM, Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)> wrote:

John

I received a call this morning from my clients who own Whispering Meadows. I know that you had mentioned this issue a few weeks ago in my office.

My concern is that my clients have been informed that you are involved with the opposition to the continued use by my clients. I would like to arrange a meeting with you and my clients to discuss. Let me know your thoughts

Dennis

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com) **386.439.2332**

**Mission:**

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



**Ron DeSantis**  
Governor

**Scott A. Rivkees, MD**  
State Surgeon General

**Vision:** To be the Healthiest State in the Nation

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March 29, 2021

Richard & Mary Davis  
5011 John Anderson Hwy.  
Flagler Beach, FL 32136

RE: 5011 John Anderson Hwy., Flagler Beach, FL 32136  
Parcel ID # 37-12-31-0610-00000-0120  
Application # AP1639623

Please be advised that this department has received an application for a change of use of the above referenced property and existing septic system. The application proposes an equine therapy facility, with up to 15 attendees per day, to utilize the previously approved septic system on the property, which currently services the existing single family residence .

Based on the information submitted by the applicant, the department has no objection to the proposed changes. No further modification is required of the onsite sewage treatment and disposal system at this time. Future additions or changes will require review by this department and possible modifications to the septic system(s).

If you have any questions concerning the content of this letter, please contact the undersigned at (386) 437-7350 x7123

Sincerely,

A handwritten signature in black ink, appearing to read "John Bey".

John Bey, C.E.H.P.  
Environmental Administrator



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
EXISTING SYSTEM AND SYSTEM REPAIR EVALUATION

PERMIT # 18-SN2253546

APPLICANT: Whispering Meadows Ranch 5011 John Anderson Hwy Flagler Beach  
CONTRACTOR / AGENT: Turner's Septic Service

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIV: \_\_\_\_\_ ID#: \_\_\_\_\_

TO BE COMPLETED BY FLORIDA REGISTERED ENGINEER, DEPARTMENT EMPLOYEE, SEPTIC TANK CONTRACTOR OR OTHER CERTIFIED PERSON. SIGN AND SEAL ALL SUBMITTED DOCUMENTS. COMPLETE ALL APPLICABLE ITEMS. COMPLETE TANK CERTIFICATION BELOW OR NOTE IN REMARKS WHY THE TANKS CANNOT BE CERTIFIED.

EXISTING TANK INFORMATION

[ 1050 ] GALLONS SEPTIC TANK / GPD ATU      LEGEND: 8x4x4      MATERIAL: Fiberglass      BAFFLED: (Y/N)  
[       ] GALLONS SEPTIC TANK / GPD ATU      LEGEND: \_\_\_\_\_      MATERIAL: \_\_\_\_\_      BAFFLED: (Y/N)  
[       ] GALLONS GREASE INTERCEPTOR      LEGEND: \_\_\_\_\_      MATERIAL: \_\_\_\_\_  
[       ] GALLONS DOSING TANK      LEGEND: \_\_\_\_\_      MATERIAL: \_\_\_\_\_      # PUMPS: [       ]

I CERTIFY THAT THE LISTED TANKS WERE PUMPED ON 02/25/21 BY Turner's Septic Service, HAVE THE VOLUMES SPECIFIED AS DETERMINED BY [ DIMENSIONS / FILLING / LEGEND ], ARE FREE OF OBSERVABLE DEFECTS OR LEAKS, AND HAVE A [ SOLIDS DEFLECTION DEVICE / OUTLET FILTER DEVICE ] INSTALLED.

SIGNATURE OF LICENSED CONTRACTOR: \_\_\_\_\_ BUSINESS NAME: Turner's Septic Service DATE: 2/25/2021

EXISTING DRAINFIELD INFORMATION

[ 335 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM NO. OF TRENCHES [ 2 ] DIMENSIONS: 3 x 40  
[       ] SQUARE FEET      SYSTEM NO. OF TRENCHES [       ] DIMENSIONS: \_\_\_\_\_  
TYPE OF SYSTEM: [  ] STANDARD [       ] FILLED [       ] MOUND [       ]  
CONFIGURATION: [  ] TRENCH [       ] BED [       ]  
DESIGN: [  ] HEADER [       ] D-BOX [  ] GRAVITY SYSTEM [       ] DOSED SYSTEM  
ELEVATION OF BOTTOM OF DRAINFIELD IN RELATION TO EXISTING GRADE 28 INCHES [ ABOVE ] (BELOW)

SYSTEM FAILURE AND REPAIR INFORMATION

[       ] SYSTEM INSTALLATION DATE      TYPE OF WASTE [       ] DOMESTIC [       ] COMMERCIAL  
[       ] GPD ESTIMATED SEWAGE FLOW BASED ON [       ] METTERED WATER [       ] TABLE 1, 64E-6, FAC  
SITE [       ] DRAINAGE STRUCTURES [       ] POOL [       ] PATIO / DECK [       ] PARKING  
CONDITIONS: [       ] SLOPING PROPERTY [       ]  
NATURE OF FAILURE: [       ] HYDRAULIC OVERLOAD [       ] SOILS [       ] MAINTENANCE [       ] SYSTEM DAMAGE  
[       ] DRAINAGE / RUN OFF [       ] ROOTS [       ] WATER TABLE [       ]  
FAILURE SYMPTOM: [       ] SEWAGE ON GROUND [       ] TANK [       ] D BOX/HEADER [       ] DRAINFIELD  
[       ] PLUMBING BACKUP [       ]

REMARKS/ADDITIONAL CRITERIA Septic system is in great working condition.

SUBMITTED BY: [Signature] TITLE/LICENSE owner DATE: 02/25/2021  
DH 4015, 08/09 (Obsoletes previous editions which may not be used)  
Incorporated 64E-6.001, FAC Page 4 of 4



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-SN-2253546  
DATE PAID: 3/22/21  
FEE PAID: 50.00  
RECEIPT #: \_\_\_\_\_  
18.BID. 5208729

APPLICATION FOR:

- New System       Existing System       Holding Tank       Innovative
- Repair             Abandonment         Temporary         \_\_\_\_\_

APPLICANT: Richard E. Davis & Mary Helene Davis

AGENT: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_

MAILING ADDRESS: 5011 John Anderson Hwy, Flagler Beach, FL 32136  
sunrisewithgod@aol.com

=====

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

=====

PROPERTY INFORMATION

LOT: 12 BLOCK: \_\_\_\_\_ SUBDIVISION: Bulow Woods Unit 1 PLATTED: Book 26 pg 17-18

PROPERTY ID #: 39-12-31-0610-0000-0120 ZONING: R1 I/M OR EQUIVALENT: [ Y / N ]

PROPERTY SIZE: 4.25 ACRES WATER SUPPLY: [  PRIVATE PUBLIC [ ] ] <=2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y /  N ] DISTANCE TO SEWER: \_\_\_\_\_ FT

PROPERTY ADDRESS: 5011 John Anderson Hwy Flagler Beach FL 32136

DIRECTIONS TO PROPERTY: 100 East, right on John Anderson Hwy, home on left

BUILDING INFORMATION

[ ] RESIDENTIAL      [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SFR (existing)</u>	<u>3</u>	<u>2128 sq</u>	
2	<u>Equine Therapy for Special Needs (proposed)</u>	<u>-</u>	<u>56 sq</u>	<u>Bathroom for up to 15 attendees</u>
3	_____	_____	_____	_____
4	_____	_____	_____	_____

[ ] Floor/Equipment Drains      [ ] Other (Specify) \_\_\_\_\_

SIGNATURE: Mary H. Davis DATE: 3-22-2021



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
EXISTING SYSTEM AND SYSTEM REPAIR EVALUATION

PERMIT # 18-SN-2053546

APPLICANT: Richard E. Davis & Mary Helene Davis

CONTRACTOR / AGENT: \_\_\_\_\_

LOT: 12 BLOCK: \_\_\_\_\_ SUBDIV: Bulow Woods Unit #1 ID#: 37-12-31-  
01610-00000-010

TO BE COMPLETED BY FLORIDA REGISTERED ENGINEER, DEPARTMENT EMPLOYEE, SEPTIC TANK CONTRACTOR OR OTHER CERTIFIED PERSON. SIGN AND SEAL ALL SUBMITTED DOCUMENTS. COMPLETE ALL APPLICABLE ITEMS. COMPLETE TANK CERTIFICATION BELOW OR NOTE IN REMARKS WHY THE TANKS CANNOT BE CERTIFIED.

EXISTING TANK INFORMATION

[ <u>1050</u> ]	GALLONS SEPTIC TANK/GPD ATU	LEGEND: <u>28-004-08</u>	MATERIAL: <u>Fiberglass</u>	BAFFLED: <u>(Y) / N</u>
[ ]	GALLONS SEPTIC TANK/GPD ATU	LEGEND: _____	MATERIAL: _____	BAFFLED: [ Y / N ]
[ ]	GALLONS GREASE INTERCEPTOR	LEGEND: _____	MATERIAL: _____	
[ ]	GALLONS DOSING TANK	LEGEND: _____	MATERIAL: _____	# PUMPS: [ ]

I CERTIFY THAT THE LISTED TANKS WERE PUMPED ON 1 / 1 BY \_\_\_\_\_, HAVE THE VOLUMES SPECIFIED AS DETERMINED BY [ DIMENSIONS / FILLING / LEGEND ], ARE FREE OF OBSERVABLE DEFECTS OR LEAKS, AND HAVE A [ SOLIDS DEFLECTION DEVICE / OUTLET FILTER DEVICE ] INSTALLED.

SIGNATURE OF LICENSED CONTRACTOR \_\_\_\_\_ BUSINESS NAME \_\_\_\_\_ DATE \_\_\_\_\_

EXISTING DRAINFIELD INFORMATION

E2 Flow 2012 As per Perm. # 99-0018-N (8.5 sections)

[ 340 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM NO. OF TRENCHES [ 2 ] DIMENSIONS: 4 x 40

[ ] SQUARE FEET \_\_\_\_\_ SYSTEM NO. OF TRENCHES [ ] DIMENSIONS: \_\_\_\_\_

TYPE OF SYSTEM: [ ] STANDARD [ ] FILLED [ ] MOUND [ ]

CONFIGURATION: [ X ] TRENCH [ ] BED [ X ] 8.5 sections E2 Flow 2012

DESIGN: [ X ] HEADER [ ] D-BOX [ X ] GRAVITY SYSTEM [ ] DOSED SYSTEM

ELEVATION OF BOTTOM OF DRAINFIELD IN RELATION TO EXISTING GRADE 27 INCHES [ ABOVE ] (BELOW)

SYSTEM FAILURE AND REPAIR INFORMATION

[ 9/22/99 ] SYSTEM INSTALLATION DATE TYPE OF WASTE [ X ] DOMESTIC [ ] COMMERCIAL

[ 300 ] GPD ESTIMATED SEWAGE FLOW BASED ON [ ] METERED WATER [ X ] TABLE 1, 64E-6, FAC

SITE [ ] DRAINAGE STRUCTURES [ ] POOL [ ] PATIO / DECK [ ] PARKING

CONDITIONS: [ ] SLOPING PROPERTY [ ] \_\_\_\_\_

NATURE OF FAILURE: [ ] HYDRAULIC OVERLOAD [ ] SOILS [ ] MAINTENANCE [ ] SYSTEM DAMAGE

[ ] DRAINAGE / RUN OFF [ ] ROOTS [ ] WATER TABLE [ ] \_\_\_\_\_

FAILURE SYMPTOM: [ ] SEWAGE ON GROUND [ ] TANK [ ] D BOX/HEADER [ ] DRAINFIELD

[ ] PLUMBING BACKUP [ ] \_\_\_\_\_

REMARKS/ADDITIONAL CRITERIA No nuisance or setback violations observed. System appears to be in satisfactory working order. Applicant proposes to add E2 Flow Therapy to SFR with 300gpd system. 20% allowance for domestic strength sewage increase would allow for up to 15 attendees per day (4gpd/attendee).

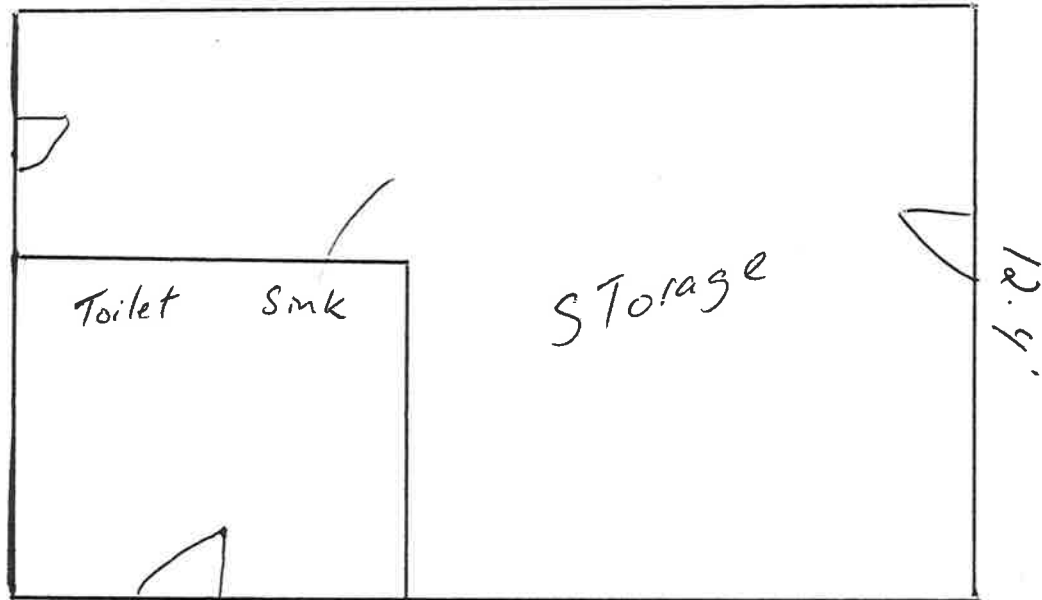
SUBMITTED BY: [Signature] TITLE/LICENSE Env. Adm DATE: 3/23/21



Proposed

$1/4" = 1'$

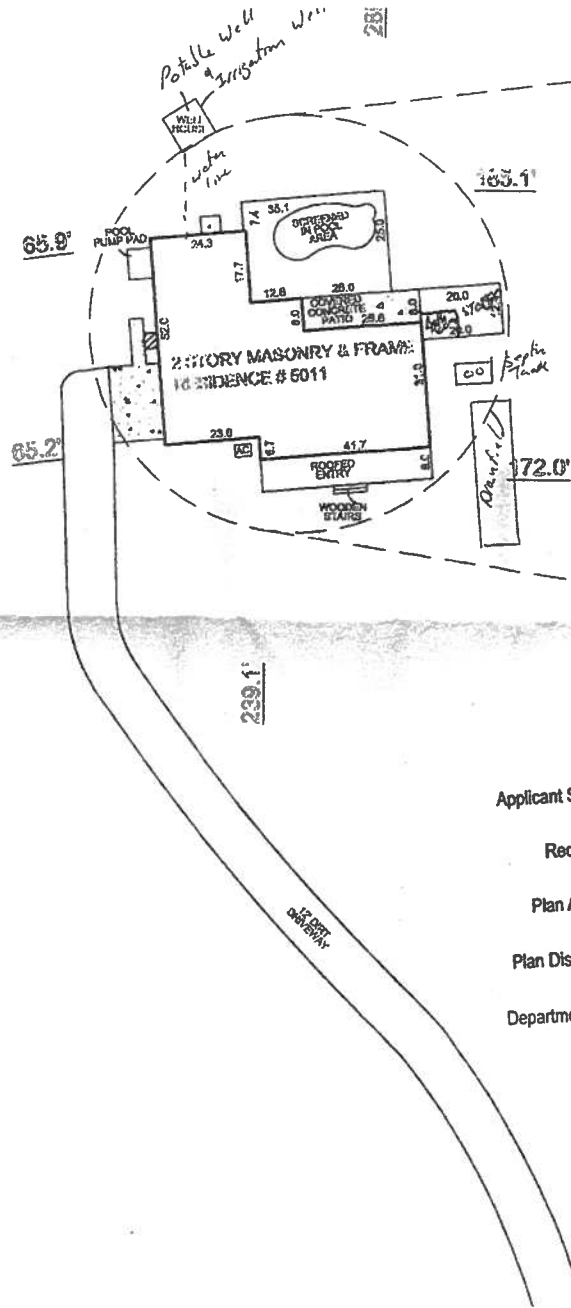
20'



624"E

602.72

NORTH LINE  
LOT 7  
BULOW GRANT



Applicant Signature: May H. Davis Date: 3-22-21  
 Received by: [Signature] Date: 3/22/21  
 Plan Approved: [Signature] Date: 3/29/21  
 Plan Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_  
 Department of Health in Flagler County

S73°17'55"W

PRIVATE DRIVEWAY FOR LOT #24

PRIVATE DRIVEWAY FOR LOT #23

## FLAGLER COUNTY PLANNING AND DEVELOPMENT BOARD REGULAR MEETING

Flagler County Government Services Building,  
1769 East Moody Blvd., Board Chambers, Bunnell, FL

### MEETING MINUTES

Tuesday, April 13, 2021 at 6:00 PM

1. **Roll Call:** The meeting was called to order by the Chair and a quorum was present.

**Members Present:** Anthony Lombardo (Chair), Mike Goodman (Vice Chair), Michael Boyd, Fernando Melendez, Mark Langello, Jack Corbett, Timothy Connor

**Staff Present:** Adam Mengel, Growth Management Director, Chuck Merenda, Assistant Director, Gina Lemon, Planner

**Board Counsel:** Sean Moylan, Assistant County Attorney

2. **Pledge to the Flag:** was led by the Chair.

3. **Approval of Minutes:**

- March 10, 2020 regular meeting minutes
- July 14, 2020 regular meeting minutes
- August 11, 2020 regular meeting minutes
- September 8, 2020 regular meeting minutes
- October 13, 2020 regular meeting minutes
- November 10, 2020 regular meeting minutes
- January 12, 2021 regular meeting minutes
- February 9, 2021 regular meeting minutes
- March 9, 2021 regular meeting minutes.

**Discussion:** Mark Langello would like future minutes to include an indicator of the direction of discussion.

**Motion:** To Approve All Minutes

**Motion by:** Mark Langello

**Motion 2<sup>nd</sup> by:** Michael Boyd

**Vote:** Motion approved 7-0 by unanimous vote

4. **Application #3239 – APPLICATION FOR SEMI-PUBLIC USE IN THE R-1 (RURAL RESIDENTIAL) DISTRICT** – request for Semi-Public Use for equine therapy d/b/a Whispering Meadows Ranch at 5011 John Anderson Highway on Parcel Number 37-12-31-0610-00000-0120; 4.25+/- acres. Owner: Richard and Mary Helene Davis/Agent: Dennis K. Bayer, Esquire. *Project #COND-000350-2020 (TRC, PDB, BCC)*

#### **Board Member Disclosures:**

**Anthony Lombardo:** 1) contacted by the listing agent for board email addresses, he directed the agent to speak with staff; 2) contacted by Michael Chiumento to confirm a receipt of a memo; 3) received several emails that are all part of the agenda packet that was posted.

**Mark Langello:** 1) contacted by Michael Chiumento to confirm he read a brief he had sent; 2) received several emails that are all part of the agenda packet that was posted.

**Mike Goodman:** 1) contacted by the listing agent, he advised he could not speak about this upcoming item; 2) received several emails that are all part of the agenda packet that was posted.

**Tim Connor** – 1) received phone calls from John Tanner and Michael Chiumento, Mr. Chiumento encouraged him to read the packet and Mr. Tanner expressed displeasure as to the magnitude of the operation. 2) received letters from John Burek, Ms. Kiefer and Richard Davis, these were shared with the board. Mr. Connor lives in the neighborhood and wondered if he should abstain. **Sean Moylan** advised living in the neighborhood does not require him to abstain. He would only need to abstain if he would privately gain from the vote. However, the law allows him to abstain if he feels it necessary but he is not compelled to do so. Mr. Connor ultimately decided to participate but has the option to abstain later in the process.

**Fernando Melendez:** received emails from Mr. Farmer and Mr. Tanner, he advised he did not respond.

**Staff Presentation:** by Adam Mengel, Growth Management Director. Mr. Mengel shared the following emails were received after the date of publication: Kathy Di Benedetto, Judy Hucik, Marsha Tanner, John Tanner and Mr. Palmer.

**Applicant Presentation:** Dennis Bayer presented on behalf of the applicant Richard and Helene Davis. He shared the history of the non-profit that was started 13 years ago and its purpose is therapy. There has never been a complaint or violation.

**Public Comment:**

**The following spoke in support:**

Valerie Sanson, Patty Holloway, Tammy Gray, John Fischer, Christina Blackburn, Vicky Fraser, Olivia Fraser, Sam Smith, Time Welch, Betty Ledyard, Dr. Jennifer Baker, Celeste Baker, Mark Moskowitz, Lynn Rossmeyer, Colleen Conklin, Chance Jewels, Sarah Benson, Robin Ottlein, Sandra Schultheiss, Ricker Alford, Jeff Brock, Cassandra Baker, Kevin Baker, Sandy Smith, Linda Liston, Lisa Cullen, Claudette Odowd, Toni Anderson, Christopher Pinto, Barbara Cordero, Aniston Schake, Tammy Schake, Janet McDonald, Mary Crawford, Bruce Anderson, Debra Baker

**The following spoke in opposition:**

Susan Kiefer representing David Kiefer, Michael Chiumento representing Mr. Burek, John Tanner

**The following spoke neutrally:**

Marsha Tanner, Maria Radojkovic, Bill Blackburn

**Applicant Rebuttal:** Dennis Bayer advised no expansion is intended.

**Staff Comments:** Adam Mengel and Sean Moylan shared findings and process information.

**Board Discussion:**

**Mark Langello:** Requested semi-public use question be addressed. Sean Moylan advised this would only apply to a stable. Adam Mengel confirmed.

**Timothy Connor:** Requested clarification on a semi-public body. Mr. Moylan advised this meets the threshold. Mr. Connor asked Mr. Bayer to confirm that his client is agreeable to the conditions.

**Jack Corbett:** Inquired if 15 people are enough on property. Mr. Bayer confirmed it is sufficient.

**Mike Boyd:** Inquired about staff and visitor limits. Mr. Bayer advised the number varies but is generally only a few at a time.

**Motion: Motion to Approve**

**Motion By:** Mike Boyd

**Discussion:**

**Melendez:** Inquired about precedence. Mr. Mengel advised typically they are churches and daycares.

**Mark Langello:** Believes this is good the area and agrees this should be limited to the Davis's. Asked the Board to consider amending the motion to not let this run with the land but let it reside with ownership of either of the two Davis's listed in the application

**Tim Connor:** Asked that if there are violations there would be a forfeiture of semi-public use.

**Mike Goodman:** Asked if there are any grandfather clauses. Sean Moylan advised there are not.

**Motion 2<sup>nd</sup> by:** Mike Goodman

**Motion Amended: Motion to Approve with Conditions – note does not run with the land.**

**Amended Motion By:** Mike Boyd  
**Amended Motion 2<sup>nd</sup> by:** Mike Goodman

**Vote:** Motion approved 6-0 with by Timothy Connor abstaining.

5. **Application #3242 – AMEND DEVELOPMENT AGREEMENT IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request to amend the PUD Development Agreement for the Dixie Commons PUD on Parcel Numbers 03-13-31-1375-00000-0010 through -0280; 13.57+/- acres. Applicant: Craven Land Corporation and Dixie Commons Property Owners Association, Inc./Agent: Hunter Faulkner, Esquire. *Project #AR-000388-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Hunter Faulkner on behalf of the applicant. During the presentation Mark Langelo asked about individual lots as well as how they propose to control materials and parking.

**Public Comment:**

**The following spoke in opposition:** Dennis Bayer, Keith Brown, Tom Cooke, and Rob Haynes

**Board Discussion:**

**Anthony Lombardo:** does not feel this belongs here

Mark Langelo: Advises the board is here to enforce zoning and to protect property owners equity

**Applicant Rebuttal:** Mr. Faulkner believes the board is being premature. When the motion was made to deny Mr. Faulkner asked the board to consider tabling instead.

**Motion: Motion to Deny**

**Motion By:** Mark Langelo

**Discussion:** Mark Langelo asked staff if the item is tabled can the applicant come back with a new application. Mr. Mengel explained the process.

**Motion 2<sup>nd</sup> by:** Mike Goodman

**Vote:** Motion approved 7-0 by unanimous vote

6. **Application #3243 – REPLACE NONCONFORMING USE IN THE R/C (RESIDENTIAL/LIMITED COMMERCIAL) DISTRICT** – request to replace a nonconforming mobile home with another mobile home at 5328 N. Oceanshore Boulevard on Parcel Number 40-10-31-0010-00020-0090; 1.15+/- acres. Owner: Hammock First Baptist Church, Inc./Applicant: Jeffrey C. McKay, Head Trustee. *Project #COND-000389-2021 (TRC, PDB)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jeff McKay, Head Trustee for Hammock First Baptist Church. Explained why this location was chosen.

**Public Comment:** Diane Odom: Inquired if it will be further on Sanchez. Mr. McKay advised the plan is to be 10 feet from the fence.

**Motion: Motion to Approve**

**Motion By:** Mark Langelo

**Discussion:** Mike Boyd

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

7. **Application #3244 – VARIANCE IN THE R/C (RESIDENTIAL/LIMITED COMMERCIAL) DISTRICT** – request for a secondary street front setback variance from 40 feet to 10 feet at 5328 N. Oceanshore Boulevard on Parcel Number 40-10-31-0010-00020-0090; 1.15+/- acres. Owner: Hammock First Baptist Church, Inc./Applicant: Jeffrey C. McKay, Head Trustee. *Project #VAR-000390-2021 (TRC, PDB)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jeff McKay, Head Trustee for Hammock First Baptist Church.

**Board Questions:** Tim Connor asked if Sanchez is currently an open roadway. Mr. McKay advised it is a 50-60 foot open roadway.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mark Langelo

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

8. **Application #3245 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #SDP-000391-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley explained the project.

**Board Discussion:** Mark Langelo asked if staff had any concerns. Adam advised there are none.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Jack Corbett

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

9. **Application #3246 – PRELIMINARY PLAT IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for preliminary plat for Plantation Bay Section 2A-F, Unit 12B on Parcel Number 03-13-31-0000-01010-0020; 9.95+/- acres. Owner: WL Residential Land, LLC/ Agent: Jerry K. Finley, P.E., Finley Engineering Solutions. *Project #PLAT-000392-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Jerry Finley was present but did not give a presentation.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mike Goodman

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mike Boyd

**Vote:** Motion approved 7-0 by unanimous vote

10. **Application #3249 – SITE DEVELOPMENT PLAN IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for PUD Site Development Plan for a temporary sales office/model home at 79 Huntington Place (also described as Lot 69 of Huntington Green at Hunters Ridge, Phase 2A) on Parcel Number 22-14-31-0254-00000-0690; 0.38+/- acres. Owner: Maronda Homes, LLC of Florida/Applicant: Howard Lefkowitz, President, BADC Huntington Communities, Inc. *Project #SDP-000430-2021 (TRC, PDB, BCC)*

**Board Member Disclosures:** None

**Staff Presentation:** by Adam Mengel, Growth Management Director

**Applicant Presentation:** Howard Lefkowitz was present but did not give a presentation.

**Board Discussion:** **Mark Langello** inquired about what would happen when the sales office was no longer needed. Mr. Lefkowitz advised it would be returned to a drive way and garage door. Mr. Langello suggested he bring a secondary site plan to the BOCC when it is heard for approval.

**Public Comment:** None

**Motion: Motion to Approve**

**Motion By:** Mike Goodman

**Discussion:** None

**Motion 2<sup>nd</sup> by:** Mark Langello

**Vote:** Motion approved 7-0 by unanimous vote

**11. Staff Comments:** None

**12. Board Comments:** None

**13. Public Comments:** None

**14. Adjournment: Motion to adjourn**

**Motion by:** Mark Langello

**Motion 2<sup>nd</sup> by:** Mike Boyd

Meeting adjourned

DRAFT

Application #3239  
Semi-Public Use  
Whispering Meadow

ParcelId	OwnerName	OwnerAddress1	OwnerAddress2	OwnerAdd	OwnerCityStZip
37-12-31-0000-07040-0010	BOARD OF TRUSTEES OF THE	INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA	3900 COMMONWEALTH BLVD		TALLAHASSEE, FL 32399
37-12-31-0610-00000-0010	FETTY ROBERT C &	AMELIA C TIERNEY-FETTY	5507 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0020	LUMADUE PATRICIA H -TRUSTEE		5501 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0030	LUMADUE PATRICIA H TRUSTEE		5501 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0040	GARGON KAREN ANN & KRISTEN	JAMES	2 WATERMILL PL		PALM COAST, FL 32164
37-12-31-0610-00000-0050	BRAY JOEL		5307 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0060	DAWSON WILLIAM M	& VICKI L H&W	5301 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0070	CONKLING RICHARD D &	DENZALENE T LIFE ESTATE	5207 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0080	KIRBY KIM GLENN &	DIANA W H&W	5201 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0090	KNAPP MICHAEL D &	NANCY J LIFE ESTATE	5107 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0100	WILLIAMS KENDALL GRAHAM &	ELLEN KAHRs WILLIAMS	5101 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0110	MALLORY DUANE L	LIFE ESTATE	5017 JOHN ANDERSON		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0120	DAVIS RICHARD E &	MARY HELENE DAVIS H&W	5011 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0130	SHUMATE JOHN R &	PEGGY W H&W	5505 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0150	BENSON SARAH H	TRUSTEE	5405 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0160	SCHULTHEISS CHRISTOPHER J &	SANDRA KAYE SCHULTHEISS TRUSTEES	5403 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0170	HATHAWAY MATTHEW L & ELIZABETH	D H&W	5305 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0180	FOX HARVEY R &	VICKY M	5303 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0191	BORDER PEGGY J		400 CANOPY WALK LANE #424		PALM COAST, FL 32137
37-12-31-0610-00000-0194	FLAGLER COUNTY BOARD OF	COUNTY COMMISSIONERS	1969 E MOODY BLVD BLDG 2 SUITE 302		BUNNELL, FL 32110
37-12-31-0610-00000-0195	FIRST LAND NORTH LLC		PO BOX 566601		PINECREST, FL 33256
37-12-31-0610-00000-019A	BULOW WOODS UNIT 1	UNDIVIDED INTERESTS BY BULOW WOODS LOT OWNERS			
37-12-31-0610-00000-0200	ALFORD RICKER S III		5203 JOHN ANDERSON HIGHWAY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0210	WATSON ELIZABETH & GEORGE	ROGERS JTWROS	5105 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0220	MYERS ROSEMARY		5103 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0230	THOMPSON WILLIAM F &	CONNIE A	5015 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0610-00000-0240	BUREK JOHN JR &	REDEMPTEA BUREK	74 RIVER TRAIL DRIVE		PALM COAST, FL 32137
37-12-31-0611-00000-0010	GARDNER JOSEPH H &	JOANN H&W TRUSTEES	4028 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0611-00000-0020	NOLLMANN RONALD B &		4026 JOHN ANDERSON HWY		FLAGLER BEACH, FL 32136
37-12-31-0615-00000-0450	COLLIER CARY W & LISA A	COLLIER	41 BULOW WOODS CIRCLE		FLAGLER BEACH, FL 32136
37-12-31-0615-00000-0460	WILSON CATHERINE P TRUSTEE		43 BULOW WOODS CIRCLE		FLAGLER BEACH, FL 32136
37-12-31-0615-00000-0470	ANDERSON FREDERICK B &	ANTOINETTE R H&W	45 BULOW WOODS CIRCLE		PALM COAST, FL 32136
37-12-31-0615-00000-0480	MOSCONI MARK S & ANDREA H	CLAYMAN H&W LIFE ESTATE	47 BULOW WOODS CIRCLE		FLAGLER BEACH, FL 32136
37-12-31-0615-00000-0490	KIEFER SUSAN		PO BOX 1229		FLAGLER BEACH, FL 32136
37-12-31-0615-00000-0500	PALMER JENNIFER D & SEAN R	H&W	51 BULOW WOODS CIRCLE		FLAGLER BEACH, FL 32136
37-12-31-0615-00000-0510	CAUSIER LINDA C & JAMES H	W&H	4027 JOHNS ANDERSON HWY		FLAGLER BEACH, FL 32136
38-12-31-0625-000A0-0010	TANNER JOHN W & MARSHA G		PO BOX 1628		FLAGLER BEACH, FL 32136
38-12-31-0625-000B0-0000	LACY BENJAMIN W IV &	JUDITH S H&W	5100 JOHN ANDERSON		FLAGLER BEACH, FL 32136

I hereby affirm mailed notice to each owner on March 9, 2021 for the Planning Development Board Meeting on April 13, 2021 at 6:00 pm. and the May 17, 2021 at 5:30 pm Board of County Commission hearing.



Gina Lemon



**PROOF OF PUBLICATION**

FCOBOCC FLAGLER COUNTY BOARD OF COUNTY C  
Purchasing  
Flagler County Board Of County Commissioners  
1769 E Moody BLVD # 306  
Bunnell FL 32110-6355  
STATE OF FLORIDA, COUNTY OF VOLUSIA

Before the undersigned authority personally appeared, who, on oath says that he/she is LEGAL COORDINATOR of The Flagler/Palm Coast NEWS-TRIBUNE, a weekly newspaper, published in Flagler County, Florida; that the attached copy of advertisement, being a Public Notices in the Court, was published in said newspaper in the issues

03/10/2021

Affiant further says that The Flagler/Palm Coast News-Tribune is a newspaper published in said Flagler County, Florida, and that the said newspaper has heretofore been continuously published in said Flagler County, Florida each Wednesday and has been entered as second-class mail matter at the post office in said Flagler Beach, in said Flagler County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. Subscribed and sworn to before on 03/10/2021

*Sana Koritz*  
Legal Clerk

*Vicky Felty*  
Notary, State of WI, County of Brown  
9192

My commission expires

Publication Cost: \$40.42  
Order No: 5635498 # of Copies:  
Customer No: 465546 1  
PO #:

**THIS IS NOT AN INVOICE!**

*Please do not use this form for payment remittance.*

VICKY FELTY  
Notary Public  
State of Wisconsin

NOTICE OF PUBLIC HEARING FOR  
SEMI-PUBLIC USE APPLICATION  
#3239

A request has been made by Dennis Bayer, Esquire as Agent for a Semi-Public Use approval for a non-profit equine facility on land owned by Richard E. Davis and Mary Helene Davis HW, located at 5011 John Anderson Highway and described as Bulow Woods Subdivision, Unit 1, Lot 12, Map Book 26, Page 17 and 18, Public Records of Flagler County, Florida; on parcel #37-12-31-0610-0000-0120. The subject property lies in the R-1 (Rural Residential) District. Semi-Public Uses may be permitted in any zoning district provided application is made to the Planning and Development Board for its review and recommendation to the County Commission for final decision.

Public hearings on the above-captioned matter will be held as follows:

**PLANNING AND DEVELOPMENT BOARD** - April 13, 2021 @ 4:00 p.m. or as soon thereafter as possible in the Flagler County Government Services Building, Board Chambers, 1769 E. Moody Boulevard, Bunnell, Florida 32110 for recommendation to the Board of County Commissioners

and  
**BOARD OF COUNTY COMMISSIONERS** - May 17, 2021 @ 5:30 p.m. or as soon thereafter as possible in the Flagler County Government Services Building, Board Chambers, 1769 E. Moody Boulevard, Bunnell, Florida 32110 for final decision.

All interested persons are urged to attend the public hearing and be heard. Anyone wishing to express their opinion may attend, telephone 386-313-4009 or write to: Flagler County Planning Department, 1769 E. Moody Blvd, Building 2, Bunnell, FL 32110 or email to [rlan.ninodest@flaglercounty.org](mailto:rlan.ninodest@flaglercounty.org). Please reference application number above. Copies of the application, supporting data and analysis, staff reports and other pertinent information are available for review at the Flagler County Planning & Zoning Dept., 1769 East Moody Boulevard, Building 2, Bunnell, Florida 32110, telephone (386) 313-4009.

IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE BOARD OF COUNTY COMMISSIONERS WITH RESPECT TO ANY MATTER CONSIDERED AT THE MEETING, A RECORD OF THE PROCEEDINGS MAY BE NEEDED AND, FOR SUCH PURPOSES, THE PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH APPEAL IS TO BE BASED. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, PERSONS NEEDING ASSISTANCE TO PARTICIPATE IN ANY OF THESE PROCEEDINGS SHOULD CONTACT THE PLANNING DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE MEETING.  
NT15625498 3/10/2021

Growth Management Department  
Planning & Development  
1769 E. Moody Blvd, Bldg. 2  
Bunnell, FL 32110



[www.flaglercounty.org](http://www.flaglercounty.org)  
Phone: (386)313-4003  
Fax: (386)313-4102

March 9, 2021

ALFORD RICKER S III  
5203 JOHN ANDERSON HIGHWAY  
FLAGLER BEACH, FL 32136

Re: Application #3239 – Semi-Public Use

Dear Property Owner –

As owner of property within 300' of the property referenced herein, the Flagler County Planning Department, in accordance with Section 2.07.00 of the Flagler County Land Development Code, advises you that :

A request has been made by Dennis Bayer, Esquire as Agent for a Semi-Public Use approval for a non-profit equine facility on land owned by Richard E. Davis and Mary Helene Davis H/W, located at 5011 John Anderson Highway and described as Bulow Woods Subdivision, Unit 1, Lot 12, Map Book 26, Page 17 and 18, Public Records of Flagler County, Florida; on parcel #37-12-31-0610-00000-0120. The subject property lies in the R-1 (Rural Residential) District. Semi-Public Uses may be permitted in any zoning district provided application is made to the Planning and Development Board for its review and recommendation to the County Commission for final decision.

You are hereby notified that public hearings for this request will be held as follows:

- **Flagler County Planning and Development Board, April 13, 2021 @ 6:00 p.m. or as soon thereafter as possible in the **Flagler County Government Services Building, Board Chambers, 1769 E. Moody Boulevard, Bunnell, Florida 32110** for recommendation to the Board of County Commissioners**

and

- **BOARD OF COUNTY COMMISSIONERS – May 17, 2021 @ 5:30 p.m. or as soon thereafter as possible in the **Flagler County Government Services Building, Board Chambers, 1769 E. Moody Boulevard, Bunnell, Florida 32110** for final decision.**

Andy Dance  
District 1

Greg Hansen  
District 2

David Sullivan  
District 3

Joe Mullins  
District 4

Donald O'Brien, Jr.  
District 5

You are welcome to attend each of the above referenced public hearings to express your opinion.

Sincerely,

A handwritten signature in black ink that reads "Gina Lemon". The signature is written in a cursive, flowing style.

Gina Lemon  
Development Review Planner III

NOTE: PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF A PERSON DECIDED TO APPEAL ANY DECISION BY THE BOARD, AGENCY OR COMMISSION WITH RESPECT TO ANY MATTER CONSIDERED AT SUCH MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS AND THAT, FOR SUCH PURPOSE, HE OR SHE WILL NEED TO ENSURE THAT A VERBATUM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTAMONY AND EVIDENCE UPON WHICH THE APPEAL IS BASED.

Mar 29, 2021 at 4:03:47 PM  
4305-4385 John Anderson Hwy  
Flagler Beach FL 32136  
United States



APPLICATION #1228  
**NOTICE OF PUBLIC HEARING**  
THE FLAGLER COUNTY BOARD OF COMMERCE HAS SET A PUBLIC HEARING AT:  
FLAGLER COUNTY GOVERNMENT SERVICE BUILDING  
1700 N. MONROE BOULEVARD, SUITE 200  
BUNELL, FL 32110  
MAY 12, 2021, 9:00 AM  
SUBJECT: 2021-0001  
APPLICANT: JAMES EARL JENSEN  
CITY: BUNELL, FL 32110  
The public hearing will be held at the location listed above on the date and time listed above. The public hearing will be held in person and will be open to the public. The public hearing will be held in person and will be open to the public. The public hearing will be held in person and will be open to the public.

APPLICATION #1228  
**NOTICE OF PUBLIC HEARING**  
THE FLAGLER COUNTY BOARD OF COMMERCE HAS SET A PUBLIC HEARING AT:  
FLAGLER COUNTY GOVERNMENT SERVICE BUILDING  
1700 N. MONROE BOULEVARD, SUITE 200  
BUNELL, FL 32110  
MAY 12, 2021, 9:00 AM  
SUBJECT: 2021-0001  
APPLICANT: JAMES EARL JENSEN  
CITY: BUNELL, FL 32110  
The public hearing will be held at the location listed above on the date and time listed above. The public hearing will be held in person and will be open to the public. The public hearing will be held in person and will be open to the public. The public hearing will be held in person and will be open to the public.

TO WHOM IT MAY CONCERN

WHISPERING MEADOWS RANCH

HERE ARE SOME FACTS THAT ARE PUBLIC. THE LAND BEHIND THE RANCH AT 5013 JOHN ANDERSON HWY WENT UP FOR SALE. IS OWNED BY MR & MRS JOHN BUREK. THEY HAD A CONTRACT ON THE LAND, BUT THE PARTY BACKED OUT. THE REASON WAS THAT THE RANCH WAS RUNNING A BUSINESS.

FACT THE REALTOR IS COLDWELL BANKER. THE AGENT IS LISA GARDNER  
THIS INFORMATION IS ON THE FOR SALE SIGN.  
LISAGARDNER RE @ G MAIL. COM

FACT THE OWNERS OF THE PROPERTY MR & MRS JOHN BUREK ARE THE ONES WHO FILED THE COMPLAINT WITH THE COUNTY ABOUT THE RANCH RUNNING A BUSINESS. (NOT THE NEIGHBORS). THE OWNERS AND MAYBE A COUPLE OTHERS WANT TO SHUT THE RANCH DOWN. HERE IS THE ADDRESS OF THE OWNERS.  
JOHN + REDEEMTA BUREK  
74 RIVER TRAIL  
PALM COAST FL. 32137

RUMOR A LAWSUIT MAY BE COMING DOWN THE ROAD ON RICHARD AND HELENE DAVIS, THE PROPERTY OWNERS, THAT WHISPERING MEADOWS RANCH OPERATES ON. REASON THEY ARE ALLOWING A BUSINESS TO RUN ON THEIR PROPERTY.

COMMISSIONERS GREG HANSEN #2 - DAVID SULLIVAN #3 - ANDY DANCE #1  
JOSEPH MULLINS #4 FLAGLER COUNTY COMMISSIONERS  
DAVID O'BRIEN JR #5 ATT. - - - - -  
1769 E MOODY BLVD  
BUNNELL FL. 32110

FLAGLER COUNTY BUILDING DEPT. 386-313-4002

FLAGLER COUNTY PLANNING DEPT. 386-313-4009

FLAGLER COUNTY DEVELOPMENT 386-313-4084

STATE REP. PAUL RENNER DIST 24

4877 N.W. PARKWAY

PALM COAST FL 32137

FLAGLER COUNTY ATTORNEY

ATT. AL HADEF

1769 E MOODY BLVD

BUNNELL FL 32110

386-313-4005

COMMISSIONER GREG HANSON IN A PRIVATE MEETING ON 1/17/21 WED. WHEN THE QUESTION WAS BROUGHT UP, DO YOU KNOW ABOUT WHISPERING MEADOWS RANCH? THE REPLY WAS, YES I KNOW THEM. FRIENDS OF MINE LOST THEIR COMMISSION ON A PIECE OF PROPERTY NEXT TO THEM. HE WENT ON TO LET THEM KNOW HIS DISPLEASURE ON THE MATTER, AND THAT HE WOULD LIKE TO SEE THE RANCH SHUT DOWN. FRIENDS PLURAL. WHO COULD THAT BE. ???

FACT

CONKLIN WHICH IS A SCHOOL BOARD MEMBER POSTED ON FACEBOOK. PEOPLE NEED TO WRITE LETTERS TO THE COMMISSIONERS NOW IN SUPPORT OF THE RANCH. AS YOU KNOW THERE ARE OTHER WAYS OF CONTACTING THEM

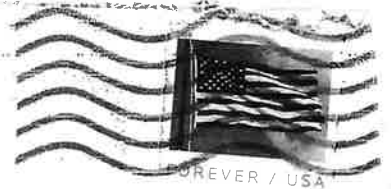
FACT

IN THE FUTURE WE WILL KEEP YOU UPDATED ON THE FACTS. WE WILL GIVE YOU ALL OF THE NAMES OF THE PEOPLE AND EVERYTHING THEY HAVE SAID AGAINST THE RANCH. ITS CALLED TRANSPARENCY. YOU WILL KNOW THEIR HEARTS.

IMPORTANT

ORLANDO FL 328

1 MAR 2021 PM 6 L



FLAGLER COUNTY BUILDING DEPT.  
ATT ADAM MENGEL  
1769 E MOODY BLVD  
BUNNELL FL. 32110

32110-635599



To Whom It May Concern:

## THE HEART BEAT OF WHISPERING MEADOWS RANCH

Transparency and Facts are what we are all about.

It all began 13 years ago, God is the architect of Whispering Meadows.

On this one sentence I could close this letter now. A wise person can easily figure out where we are coming from. Only a fool doesn't see the forest before their own eyes.

God is the Commander and Chief, the Head, the Boss and the Architect of the ranch. Under His direction, my wife Helene daughter Kristine and all the volunteers are on the same page. Serve the people.

God will judge me and each and every person who makes a statement for the good of the ranch or the fool who says to shut the ranch down.

By the way there are many so called Gods in this world so I will clearly state that our God at Whispering Meadows is the One and only true God. The Creator of the heavens and the earth and mankind. His son Jesus Christ the One who died for our sins. Gods Holy Spirit, the Comforter is with us now.

There is nothing concealed that will not be disclosed or hidden that will be made known. What you have said in the dark will be heard in the daylight, and what you have whispered in the ear in the inner rooms will be proclaimed from the roofs. He who has an ear let him hear.

"D"



Here is a list of all the people who received this letter.  
The Heart Beat of Whispering Meadows Ranch. Now that's transparency.

Group 1

Andy Dance	District 1	County Commissioner
Fred Hansen	" 2	" " "
David Sullivan	" 3	" " "
Joseph Mullins	" 4	" " "
David O'Brien Jr	" 5	" " "
Dennis Bayer		Ranch Lawyer

Group 2

Rep. Paul Renner District 24  
al Hadee Flagler County Attorney  
adam Mengel Flagler County Planning Department  
J. Gardner Tax appraiser  
Colleen Conklin Flagler County School Board  
Flagler County Fire Service  
Environmental Health Department

Whispering Meadows Ranch  
5011 John Anderson Hwy  
Flagler Beach, FL 32136

ORLANDO FL 328

8 MAR 2021 PM 6 L



Flagler County Planning Department  
att. adam mengel  
1769 E Moody Blvd  
Bunnell FL 32110

32110-635539



**From:** [Dennis Bayer](#)  
**To:** [Adam Mengel, AICP, LEED AP BD+C](#)  
**Subject:** FW: FW: Whispering Meadows  
**Date:** Friday, March 26, 2021 2:44:44 PM

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**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

Here is the answer to your questions

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)     **386.439.2332**

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**From:** Kristine Aguirre <kristine@whisperingmeadowsranch.org>  
**Sent:** Friday, March 26, 2021 9:27 AM  
**To:** Dennis Bayer <dennis@Bayerlegal.com>  
**Subject:** Re: FW: Whispering Meadows

Here you go.

1. Maximum # of participants on a given day is 15-20 (includes volunteers)  
Most days we have about 8 kids throughout the day. Typically the schedule is 30-60 minute after school sessions and will have a few riders at a time, e.g. 2:30 (3) kids, 3:00 (2) kids, 4:00 (3) kids.
2. Number of Parking Spaces (3) Wheelchair Accessible Parking, plus 20 parking spots. Total of 23 parking spots.
3. Hours of Operation: By Appointment Only  
Monday 8-4:30  
Tuesday CLOSED  
Wednesday 9-4:30  
Thursday 9-4:30  
Friday 9-4:30  
Saturday 8-11am  
Sunday CLOSED

ADA COMPLIANT...YES.

4. A topic that keeps coming back to us, is the # of horses we have on the property. Please share this info with Adam. **We are not a rescue facility.** We have 4 horses and 1 pony. We have never exceeded this number. Each horse has gone through extensive training and screening for the therapy work they participate in. We will have our Vet write a letter to the outstanding care and health of our horses and grounds if that is necessary.

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)     **386.439.2332**

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**From:** Kristine Aguirre <[kristine@whisperingmeadowsranch.org](mailto:kristine@whisperingmeadowsranch.org)>

**Sent:** Wednesday, March 24, 2021 3:49 PM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: FW: Whispering Meadows

Ok Tuesday is a great day as we do not have riders on that day. It is very quiet at the Ranch.

We heard from Elizabeth Hathaway (through a mutual friend) and she stated that Tanner has spoken to her regarding the Ranch in the recent past. He stated to her that our events would be better suited over at the Flagler County Fairgrounds for various reasons.

It's interesting that he feels so inclined to speak with our neighbors regarding the Ranch but has never reached out to us with his concerns or recommendations.

I hope Tanner will make the effort to meet soon.

On Wed, Mar 24, 2021 at 12:41 PM Dennis Bayer <[dennis@bayerlegal.com](mailto:dennis@bayerlegal.com)> wrote:

Tanner can not make Friday.

I am aiming for Tuesday at 4:30 at the ranch

Dennis

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)    **386.439.2332**

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**From:** Kristine Aguirre <[kristine@whisperingmeadowsranch.org](mailto:kristine@whisperingmeadowsranch.org)>

**Sent:** Tuesday, March 23, 2021 7:11 AM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: FW: Whispering Meadows

Friday is fine.

He is available anytime this week and will change his schedule to make it work

On Mon, Mar 22, 2021 at 4:27 PM Dennis Bayer <[dennis@bayerlegal.com](mailto:dennis@bayerlegal.com)> wrote:

I will reach out to Tanner. How about this Friday at 3:00 ?

The Planning Board hearing allows us the chance to make a presentation after the staff report. I confirmed Friday with Adam that he has all of the material he needs.

Then the public is allowed to comment. I get the final argument before the Board votes.

Dennis

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com)    **386.439.2332**

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**From:** Kristine Aguirre <[kristine@whisperingmeadowsranch.org](mailto:kristine@whisperingmeadowsranch.org)>

**Sent:** Monday, March 22, 2021 3:56 PM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: FW: Whispering Meadows

Hi Dennis,

Here is my Dad's phone #. (386) 503-6498, he is waiting for the call to meet with Mr. Tanner.

A few thoughts.....when you have a moment.

Would it be possible for you to stop by the Ranch one morning or afternoon so I can show you around before the meeting?

How does the planning and development meeting work?

Will we have an opportunity to talk?

Should I have the site plan and pictures blown up to a larger size?

I understand the complainants and opposition will be there, we are planning on having people there to speak on our behalf.

What are the most important points that we must drive home? by appt. only, attendance, reach in the community, etc.

What are the chances of the County working with us if we are denied?

Do you think I should reach out to the County Commissioners inviting them to visit Ranch?

Could you please inquire about the Planning and Development Board having (2) agents from Coldwell Banker and if that is a conflict of interest..

1. Michael C. Boyd. Cattleman's Association
2. Mark Langelo. Commercial Developer M&M Development
3. Timothy Conner Attorney
4. Anthony Lombardo Coldwell Banker Real Estate
5. Mike Goodman. Palm Coast Entrepreneur Captain's BBQ
6. Jack Corbett. Coldwell Banker Real Estate

On Thu, Mar 18, 2021 at 9:40 AM Dennis Bayer <[dennis@bayerlegal.com](mailto:dennis@bayerlegal.com)> wrote:

Here is Tanner's response

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com) **386.439.2332**

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**From:** John Tanner <[tanner4freedom@gmail.com](mailto:tanner4freedom@gmail.com)>

**Sent:** Wednesday, March 17, 2021 5:37 PM

**To:** Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)>

**Subject:** Re: Whispering Meadows

Dennis, I would like to meet with you and Dick. What he's doing is a good thing, he is just doing it in a residential neighborhood and that exception could open the floodgates to a myriad of small businesses. That would negatively affect property values, safety and quality of life in our neighborhood. Let me know when you want to meet. John

On Mar 17, 2021, at 5:14 PM, Dennis Bayer <[dennis@Bayerlegal.com](mailto:dennis@Bayerlegal.com)> wrote:

John

I received a call this morning from my clients who own Whispering Meadows. I know that you had mentioned this issue a few weeks ago in my office.

My concern is that my clients have been informed that you are involved with the opposition to the continued use by my clients. I would like to arrange a meeting with you and my clients to discuss. Let me know your thoughts

Dennis

**Dennis Bayer**

Attorney at Law | Circuit Court Mediator | Bayer Law

**109 South 6<sup>th</sup> Street, Flagler Beach Fl., 32136**

[Dennis@bayerlegal.com](mailto:Dennis@bayerlegal.com) **386.439.2332**

Whispering Meadows Ranch  
5011 John Anderson Pkwy  
Flagler Beach, Florida 32136

January 19, 2021

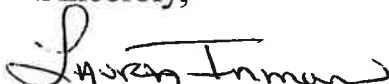
To Whom It May Concern:

I am the mother and legal guardian of a young man with a developmental disability. For many years I have been his advocate and worked to navigate the difficult road of helping him find meaningful work and educational experiences to improve the quality of his life. I have consistently impressed the importance of work to my son, and he let me know that he was ready!

Sadly, once Ben was graduated from a high school for those with special needs, we ran into road blocks for supervised job placement with the State of FL Voc Rehab system due to funding cuts. However, my son has had a wonderful opportunity to do meaningful work through the various activities offered at the Whispering Meadows Ranch owned by the Davis family.

Supervised work on the grounds and with horses, arts and crafts, games and other activities have been offered as tailored to the participants with an overall caring and concern for them as individuals. In addition, this program has made an ongoing effort to be integrated with and earn respect of the surrounding community. I sincerely hope that this great program can continue its operation for as long as possible!

Sincerely,

A handwritten signature in black ink that reads "Laura Inman". The signature is written in a cursive style with a large initial "L".

Laura Inman





140 S Beach Street, Daytona Beach FL 32124,  
P.386.383.4562, F386.256.2320

To Whom It May Concern:

We are writing this letter in support of *Whispering Meadow's Horse Ranch*. Hope Behavioral Services of Volusia, provides pediatric Applied Behavioral Analysis services (ABA therapy) to children with Autism Disorders in Volusia and Flagler County.

For the past two years, we have worked with families and caseworkers from Children Medical Services and referring children to *Whispering Meadow's Horse Ranch*, for equine therapy in addition to ABA therapy.

We are doing so because Kristine and Ms. D's philosophies on supporting and strengthening children and families with special needs children aligns with our mission.

Equine therapy is a prescribed, specialized service in addition to ABA services, and is used because it has a positive input on our client's cognitive function as many of our common patients developed patience, are more responsible and developed more self-control and emotional control, in addition to growth in their language and speech abilities.

We have seen such a huge improvement in our common patients for the past few years that we are continually will let our caseworkers, staff and families know about this amazing program. We are looking forward to many more years working together with Kristine and the entire *Whispering Meadow's Horse Ranch family*. On the common project of providing Hope, Passion and strengthen individuals with special needs of all ages and their families.

Sincerely

**Will Wallace**

Director and Owner of Hope Behavioral Services of Volusia

49 River Trail Drive

Palm Coast, FL 32137

January 26, 2021

To Whom It May Concern:

My husband and I have been volunteering at Whispering Meadows Ranch since 2003. <sup>13 DSM</sup> New to Palm Coast, we initially visited to see a Fall Festival they had going on. We went to the festival, and have never left. I can actually feel my blood pressure lower as I simply turn off of John Anderson Highway into the driveway.

Whispering Meadows...where do I begin? The fact the no one takes any type of salary, and everyone works so tirelessly, especially Kristine and her parents Helene and Richard Davis. That in itself is amazing. Everyone, from the children, to their parents, to the volunteers, to the "work crew" of young people associated with the Flagler schools is treated with infinite patience and kindness. It truly is an oasis of peace in our crazy world. Groups of our country's veterans visit.....frequently experience a mental healing from the caring, the peace, the outstanding horses and the environment.

I am a parent, and remember cherishing the first words my child said. Those first words were understandable at 12 months. Now, imagine having your child be non-verbal, in addition to a number of other health challenges. I have witnessed a five year old say his first words on the back of a horse. So incredible, so powerful, and so moving. My eyes moistened when it occurred...the mom started crying full tears of joy! To see wheelchair bound young man on the back of a horse, (with the help of four volunteers) and then several months into riding start to take a few steps....miracles happen big time at Whispering Meadows. It truly is a special, God filled place, like none other that I know of.

I feel privileged to be a small part of the many volunteers. This is only the beginning of the many stories and miracles I can tell you about..I will be happy to talk to anyone at any time about Whispering Meadows Ranch. It would be a disservice to many special needs people if they were not permitted to continue their work.

Thank you.

Respectfully,

  
Dona Manuck

386-225-4000 home

860-305-2173

To Whom It May Concern:

My name is Priscilla and I am a mother to an autistic non-verbal child named Alex. I wanted to express my experience at the Whispering Meadows Ranch and how it has influenced my son Alex.

Alex was learning how to do work on the ranch. It taught Alex to become independent and helping with chores in his home. Alex was learning to interact with others, which is such an educational experience because he is non-verbal.

Please find it in your hearts and understand the needs for the ranch to stay open. The children with special needs have a beautiful environment to learn and volunteers that provide services they need. It also develops skills the children need to succeed in school and in life.

Sincerely,  
Priscilla

January 27, 2021

To: Flagler County

From: Ruth Leskovich

Re: Property at 5011 John Anderson Blvd.

I understand that Flagler County has requested the Davis family apply for a special land use permit in order to continue their 13-year ministry program for the disabled.

As a Flagler County resident and a volunteer for the Monday morning class for the disabled adults, I have seen an amazing variety of uplifting changes for the participants—whether it's saying a few words for the non-verbal, helping others to accomplish tasks/chores or even watching the participants learning to share and enjoy the fellowship of others. Should the County lose this program ministry, a great void would develop in the lives of the participants and their families. I am unaware of County program that offers all that 'The Ranch' offers: outdoor time, exercise, fellowship, task orientation and team support from all the participants.

Monday mornings ring out with the words: “Teamwork makes the Dream Work”. I would ask the the County adopt the same mission and help the Davis family continue this enriching program rather than attempt to eliminate this ministry.

Respectfully,

Ruth Leskovich  
646 Elk River Dr.  
Ormond Beach, FL 32174

cell: 412.877.3106  
email: ruth2222@gmail.com

January 21, 2021

Re: Whispering Meadows Ranch  
5011 John Anderson Hwy  
Flagler Beach, FL 32136

To Whom it May Concern:

My husband's 45 year old brother, Jason, came to live with us in September of 2019 after their father became ill.

Jason is non-verbal autistic with the mental capacity of a three year old.

A friend from church knew we were looking for a program to enroll Jason and she gave me Mr. D's telephone number for Whispering Meadows.

Imagine my delight and surprise when Mr D. assured me there would not be a fee for his Monday visits as the ranch was a non-profit organization!

Jason seems to find purpose when we show up on Monday mornings! He works with the other "kids", Mr. D. and the many volunteers who always make us welcome! I have even had the opportunity to volunteer my time on Mondays!

This wonderful group of people have become family to us! We hope Whispering Meadows Ranch continues to offer their amazing love for the community!

Sincerely,

A handwritten signature in cursive script that reads "Gail Norris". The signature is written in black ink and is positioned above the printed name.

Gail-Norris



## *From Buddy's Place*

5207 John Anderson Way, Flagler Beach, FL 32136-5517 - 386-439-3251 -  
[rconkling1@cfl.rr.com](mailto:rconkling1@cfl.rr.com)

*Flagler County Commissioners:  
1769 E. Moody Blvd #2  
Bunnell, FL 32110*

*Dear Sir*

*I am concerned that there seems to be some question about the use of the land by the Whispering Meadows Ranch. The "Ranch" is a non-profit operation which provides a valuable service in Flagler County. As a nearby neighbor they on occasion will bring down one of two of their horses and let them graze in my yard.*

*My wife and I occasionally make donations to the ranch in support of the work they do. The Palm Coast Kiwanis club has cooperated with the "Ranch" and held service days at the ranch along with the High School Key Club and the Middle School Builders Club.*

*I have been to the ranch numerous times and always found the place to be maintained in top condition. Flagler County is fortunate to have such a program serving its residents.*

*Respectfully,*

*Richard D. Conkling*  
Dr. & Mrs. Richard D. Conkling

January 28, 2021

To Whom It May Concern,

I'd like to take this opportunity to introduce myself. My name is Lynn Ann Rossmeyer and I am the proud mother of two boys ages twelve and fifteen.

Before becoming a mother I was an ESE teacher in Florida for sixteen years, I attained a graduate degree in Varying Exceptionalities, was a UCF Adjunct Professor, a College Intern Coordinator, an ESE Supervising Teacher, was the facilitator of after school tutorials for ESE students, and now I minimally consult as a Senior IEP Advocate for Pam Lindemann, founder of The IEP Advocate.

The experience listed above merely touched the surface of what I would require to raise two boys with varying exceptionalities. My youngest son is on the spectrum. He was diagnosed at 26 months. Since that time he has had extensive occupational therapy, speech therapy, language therapy, play therapy, endless diets, and costly supplements. We have endlessly searched for developmental pediatricians specializing in ASD and under their direction have completed many evaluations and medical tests that would hopefully offer us further critical information. Since he was three years old our educational pursuits have included a Family Educational Plan, participation in Extended School Year, an Individual Education Plan in place, a professional educational advocate for our family, and a service dog that goes everywhere with him. This journey is not for the weak and is extremely costly. Fortunately, I did have some experience, training, a support system, the ability to become a stay at home mom, and a family income to support the situation, demands, and needs.

Some of the biggest achievements, successes, progress, and periods of growth have come since being under the care of Dr. Julie Buckley, his professionally trained service dog Rainbow, and participating in weekly equine therapy sessions at Whispering Meadows Ranch.

He has been riding at the ranch for years now. Not only does it help him to build core strength, balance, and coordination, but the ranch directly positively impacts his social skills, communication, and expressive language interactions. After his weekly riding sessions, Gannon feels accomplished, proud, confident and most of all loved by the Davis Family and the devoted volunteers.

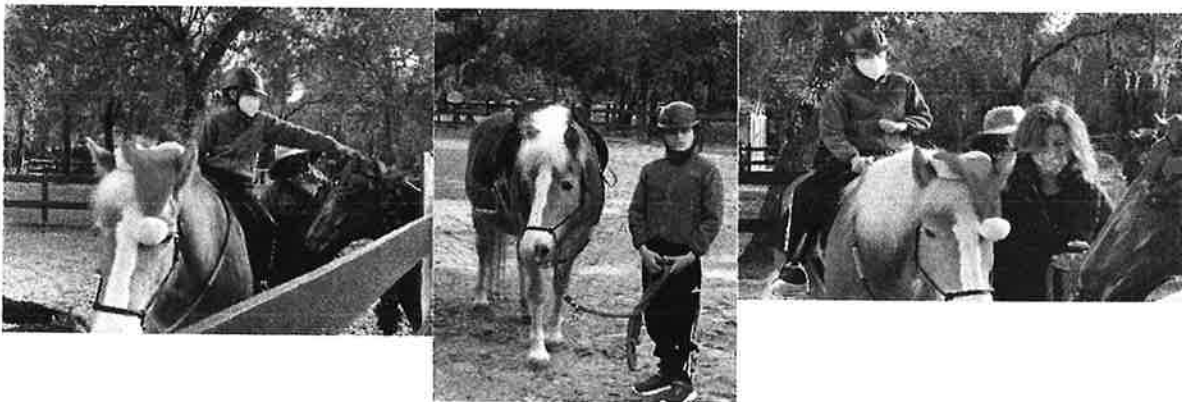
I'd like to also share that I am a very confidential, private person. I do not share the information in this letter lightly. I am a perfectionist. I have high standards and expectations especially of those that are directly interacting with my son. I am critical and observant. I require things to be safe, clean, respectful, efficient, meaningful, consistent, productive, kind, peaceful, and professional.

With that being said, I have always found the Davis Family and Whispering Meadows Ranch to be all of the above. They go over and beyond for their students, families, volunteers, and animals. Their charge for weekly riding therapy is very affordable, especially if it is compared to other similar programs that I've researched. I honestly do not know how they maintain the ranch on such nominal fees.

The ranch and family standards are high. The ranch is spotlessly clean, safe, and quiet. The equipment used for the therapy, horses, and students is up to date, clean, and safe. I'd also like to add that the volunteers that I have observed over the years are held to the same high expectations as well.

Lastly, this family and ranch do not just stop with their weekly equine therapy sessions. They provide so much more for their families, volunteers, and students.

This family, ranch, and therapy has become an absolute godsend. To not have it available to the current and future riders would be devastating. I cannot think of one solid reason why this establishment should not be permitted to continue to operate and serve the exceptional students in our community.



Thank you for your time.

Sincerely,

Lynn A. Rossmeyer



1/27/2021

From: Patricia Worley, 2550 Coconut Blvd, Bunnell FL 32110  
To: Whom it may concern

Patrick Klarich started attending the Whispering Meadow Ranch in 2014. He was filled with so much joy upon visiting for the first time that I continued allowing him to partake in special events on Mondays and Wednesdays. He felt so special participating in events and meeting new people that later became his friends. Although Patrick assisted in cleaning horse stables and raking leaves, he was also able to learn more about the bible and Jesus. Mr. Dick Davis ran a wonderful ministry for the kids, which they enjoyed very much.

Not only did Mr. Davis allow the children to partake in activities on Mondays and Wednesdays, but he also arranged Christmas parties, fall festivals, and crafts for the children yearly. He also provided birthday gifts for the children out of the kindness of his heart.

It breaks my heart that someone would try to take this joy away from the kids and volunteers that attend Whispering Meadow Ranch. Patrick always looked forward to attending, and he enjoyed sharing his experience with close family and friends. Visiting the ranch not only made Patrick feel special, but it made him feel like a normal human being. What parent would take this joy away from children, especially those with special needs viewed differently in society? What parent would not enjoy witnessing the joy that a place brings their child after each visit? The thought of taking away this joy from Patrick and his friends is indescribable. I pray that Mr. Dick will continue to be a blessing for children, especially ones like Patrick.  
Sincerely,

*Patricia A. Worley*

February 9, 2021

To whom it may concern,

I am writing this letter in support of the Flagler County Commission granting Whispering Meadows Ranch a semi public use permit.

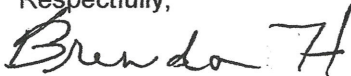
Whispering Meadows Ranch's mission is to provide equine-assisted therapies and activities for those with special needs and disabilities. Over the years of service the Ranch has expanded its reach in the community to provide programs for our local veterans and children in foster care.

I have been involved with Whispering Meadows Ranch as a volunteer and fundraiser for many years and have experienced the Ranch's commitment to its mission. I have participated in many events hosted at the Ranch celebrating the uniqueness and diversity of the children and adults it serves. I have seen firsthand the wonderful things that the volunteers do and how they help those with special needs and disabilities reach their capacity. I have seen the smile on the children's faces and the pride in their parent's hearts as they see their child accomplish things they never thought possible. And the Ranch and its volunteers do this every single day, with love, patience and respect for those they serve. Who among us can say they contribute to the world in such a way.

I also am aware of the Ranch's personal commitment to being a good neighbor and its commitment to the community. I was on the Board of Directors of the Gal7 Foundation, Inc several years ago. One of the Foundation's missions was to provide children in foster care with summer experiences such as swimming lessons, camp, and day trips. Many of the foster children wanted to have experiences with horses. The Foundation quickly found out there were no local programs available we could afford to fund. Whispering Meadows Ranch agreed to develop a summer program specifically for the foster children at a daily fee we could afford. Because of the Ranch, many foster children had a very enjoyable "Experience at Horse Camp" instead of being bored at home.

Whispering Meadows Ranch is a valuable asset to our County and to the children and adults it serves. The need for the services provided by the Ranch is here and will continue to be needed as the County grows. I encourage you to approve the semi public use permit and allow this wonderful group of volunteers to continue their mission helping those with special needs and disabilities in our County.

Respectfully,



Brenda Hagedorn  
327 N 12th Street  
Flagler beach, Fl 32136

February 9, 2021

To whom it may concern,

We have lived next to Whispering Meadows Ranch for four years and have nothing but praise for them. They are great neighbors in all aspects. They keep the facilities up very nicely, are friendly and will help others when needed. The volunteers are friendly and seem to take pride in maintaining the facilities for the children.

You may need to take time and go there when they are having a function and see the smiling faces of the children as they ride the horses and play on the grounds.

The children are all "Special Needs" and it is great to have an organization that provides such pleasure to them.

Before you reach decision, go and see what is really going on.

Sincerely,

*Jim Causier*  
*Linda Causier*

Jim and Linda Causier

2/11/21

To Whom Ever That may concern,

As an aunt to a niece with a rare disease, I know first hand how wonderful programs like the one at Whispering Meadows are. They offer opportunities for improvement in mental & physical health both through physical activity and through joy one is afforded in the company of animals so strong yet gentle & heart.

I strongly encourage you to maintain Whispering Meadows Ranch ability to operate by providing approval of semi-public use of land.

The health and hope a facility like Whispering Meadows offers is truly irreplaceable and should be supported 100%!

Sincerely Yours,

Kare S. Huey, RN, BSN, CCM.

21 Bulow Woods Circle  
Flagler Beach, FL

32136

T: 203-623-9779

Kathleen James  
23 Sea Harbor Drive, W.  
Ormond Beach, Florida  
(301) 509-3132

February 17, 2021

To Whom it may Concern,

My name is Kathleen James and I have been volunteering with Whispering Meadows Ranch since September, 2019 when my husband and I retired and relocated to Ormond by the Sea.

The relocation was not an easy transition for me as it was unfamiliar and we knew very few people. I was also dealing with a difficult family situation. I was looking to volunteer and have always loved animals. As soon as I walked through the gates of Whispering Meadows Ranch and was introduced to the Davis family (including the horses) I felt a sense of family, peace and well being.

Being with the horses, the children and the Monday adult group has brought me great pleasure and has been one of the most rewarding things I have ever done in my life.

Not only do the Davis' work with children and adults with special needs, they also host the equine therapy portion of Gratitude America's twice a year retreat. It is amazing to watch these young, post 911, combat veterans interact with the horses. It is a fun event and everyone has a wonderful time.

I am married to a Veteran, I have worked with Veterans and love Veterans. I simply can not admire the Davis' more for their service and giving to the community. They have become family and I love them dearly.

Those feelings of family, peace and well being continue and grow each and every day I walk through those gates.

Sincerely,

Kathleen C. James

TO: Flagler County Commission  
FROM: Jan Brock and Casey Brock  
RE: Permit for Semi Public Use  
DATE: January 31, 2021

I was surprised to hear that after 13 years in operation as a nationally accredited horse assisted therapy organization, that Whispering Meadows Ranch finds itself in a battle to continue its mission. This ranch is operated by a family that is dedicated to the mission of providing a much needed service to children and adults with a wide range of disabilities, as well as military veterans. Equine Assisted Therapies embodies all three major therapies - physical therapy, occupational therapy and speech therapy - that benefits people with physical and mental disorders. Riding a horse, under the careful supervision of trained teachers, provides motor and sensory input for many disabled individuals that has been proven to show not only sensory improvement but also neurological gains.

The staff at Whispering Meadows goes through a rigorous training program in order to become certified and able to work with the individuals served. This is a top notch facility for its riders and it offers outstanding care for its horses. My daughter has Autism and has been riding at Whispering Meadows for several years. She has made enormous positive strides under the guidance of the staff and family.

I do not understand why this permit has become a sudden issue, after 13 years of operation. Whispering Meadows runs a program that, to my knowledge, has not had even one "problem" as an Equine Assisted Therapy provider.

Remember, this is the only facility within a large territory to offer these much needed services. I would say it is quite telling that clients from as far as Jacksonville and Orlando travel to Whispering Meadows for its services.

I would think Flagler County would be happy to have such a needed provider of such a needed service within its County. Please don't discourage goodness - encourage it by granting Whispering Meadows Ranch its permit for semi-public use!

Dear Flagler County,

As a Flagler County Educator for almost 28 years, I have been involved with a number of nonprofits that benefit our community. But none have had the impact that Whispering Meadows has had for the past 13 years.

Through their programs they have provided a variety of opportunities to a wide range of citizens. While their therapy programs focus on the needs of children and adults with disabilities, the ripple effect impacts their families, volunteers and the community.

I have witnessed first hand the positive changes in participants as they interact not only with the horses and their handlers, but with the natural environment that the ranch provides. No matter the disability, the experiences they participate in increase confidence, physical abilities and mental health.

Over the years our FFA Chapter has assisted with many activities and our members have volunteered as grooms, horse walkers and more. Watching my students interact with the Ranch guests warms my heart. "Learning to Do, Doing to Learn, Earning to Live, Living to Serve" is the National FFA motto. As our members dedicate their time to Whispering Meadows, they truly learn the meaning of Living to Serve.

On behalf of our members, the community and the Ranch I fully support approving Whispering Meadows Ranch's Semi-Public Use of Land. Application.

Thank you for your consideration.

Johanna Davis

Bunnell FFA Advisor

Flagler Palm Coast High School

Agriscience and Veterinary Assisting Program

Phone 386-437-7540 x 1631

School Website - <https://fpcbulldogs.com/>

Bunnell FFA Website - <http://bunnellffa.theaet.com/AETHome.aspx?ID=28346>

Follow us on Facebook, Twitter (bunnellffa) and Instagram (bunnellffa)

Flagler County

Re: The "Semi-Public Use" Application for the Whispering Meadows Ranch

To whom it may concern,

For our adult daughter with special needs, the Whispering Meadows Ranch is her "Disney World" for 45 minutes every week ... A Magical, Loving, Learning, Breathtaking and Peaceful Environment. On the first day, Mrs. "D" introduced her to "Star," a beautiful, tall, strong and compassionate thoroughbred horse. From the moment they met, there was an immediate connection; a gentle, loving bond. Mr. & Mrs. "D", Kristine, all of the volunteers/staff and horses have given her the opportunity to overcome fear, gain confidence, learn new equine/life skills, talk, laugh and most of all enjoy going back every week to spend time together! The program is a true gift from their hearts! As a family, we are grateful, blessed and look forward to continuing to be a part of the Whispering Meadows Ranch Equine Therapy Program here in our community of Flagler County.

Sincerely,

The Mazzella Family



**From:** [Jerry Cameron](#)  
**To:** [Joseph Mullins](#)  
**Cc:** [Adam Mengel, AICP, LEED AP BD+C](#); [Jorge Salinas](#); [Heidi Petito](#)  
**Subject:** RE: Whispering Meadows Ranch  
**Date:** Monday, March 1, 2021 8:00:26 AM  
**Attachments:** [image006.png](#)  
[UGov\\_281c3052-c4cf-45e7-8fc9-ef3916cbd4fc.png](#)

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In order to continue operations in the future they must seek and the Board must approve a classification as "A Semi-Public Use". While their application is pending they will be allowed to continue operations.

**Jerry Cameron**

Flagler County Administrator

E: [JCameron@flaglercounty.org](mailto:JCameron@flaglercounty.org) | V: 386 313-4135 | W: [www.flaglercounty.org](http://www.flaglercounty.org)



**Flagler County Board of County Commissioners**

1769 E. Moody Blvd, Bldg #3  
Bunnell, FL 32110



***Flagler County's mission is to efficiently deliver the highest quality customer-focused services, to include safety and security, and create the greatest value to our community through integrity, innovation, and a culture of collaboration.***

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**From:** Joseph Mullins <[jmullins@flaglercounty.org](mailto:jmullins@flaglercounty.org)>  
**Sent:** Sunday, February 28, 2021 8:26 AM  
**To:** Jerry Cameron <[JCameron@flaglercounty.org](mailto:JCameron@flaglercounty.org)>  
**Subject:** Fwd: Whispering Meadows Ranch

Are we threatening to shut this down?

The Mullins Companies  
Joe Mullins  
311 N. Pine st.  
Bunnell, FL. 32110  
CEO  
706-829-8638  
<http://www.themullinscompanies.com>

**Joseph Mullins**

County Commissioner District 4

E: [jmullins@flaglercounty.org](mailto:jmullins@flaglercounty.org) | V: 386-313-4001 | W: [www.flaglercounty.org](http://www.flaglercounty.org)



**Flagler County Board of County Commissioners**

1769 E. Moody Blvd., Bldg #2

Bunnell, FL 32110



***Flagler County's mission is to efficiently deliver the highest quality customer-focused services, to include safety and security, and create the greatest value to our community through integrity, innovation, and a culture of collaboration.***

Begin forwarded message:

**From:** [eightball.vtwin@yahoo.com](mailto:eightball.vtwin@yahoo.com)

**Date:** February 27, 2021 at 1:14:26 PM EST

**To:** Joseph Mullins <[jmullins@flaglercounty.org](mailto:jmullins@flaglercounty.org)>

**Subject:** Whispering Meadows Ranch

**Reply-To:** "[eightball.vtwin@yahoo.com](mailto:eightball.vtwin@yahoo.com)" <[eightball.vtwin@yahoo.com](mailto:eightball.vtwin@yahoo.com)>

**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

Dear Commissioner of Flagler County

My former stepson, Brandon Currier, is the original young man to start the program at Whispering Meadows Ranch. The Work program and Riding therapy program has benefitted Brandon's life on many levels for Brandon was born with Cerebral Palsy and Autism. By participating at Whispering Meadows Ranch and learning to take care of the horses, Brandon has developed his social skills, made friends, and has a place to go where he feels he belongs. By the programs and all the love he gets from the horses plus the kindness from the volunteers, Whispering Meadows Ranch has helped Brandon through some difficult times in his life. When Brandon first started with the program he was afraid of horses, but Kristen worked with him and his now favorite horse Star until he was no longer afraid. Now Brandon looks forward to going to the ranch every week and gets upset when he is unable to go.

By shutting down Whispering Meadows Ranch, you will be taking away a program that offers so much to individuals with disabilities not to mention this is

the only program they have in Flagler County that offers these programs. The Ranch even has programs that includes veterans and children that are in foster care. Whispering Meadows Ranch is a great asset to Flagler County for it teaches confidence, social skills, structure and so much more.

So, I plea will you to please find it in your heart to keep Whispering Meadows Ranch open for my former stepson, Brandon, individuals with disabilities, the veterans that have served our country, and all the others that Whispering Meadows Ranch has changed their lives.

Thank you for taking your time and consideration in reading my concerns in regards to Whispering Meadows Ranch.

Best Regards,

Bonaventure Pinto

[Sent from Yahoo Mail on Android](#)

Mike and Nancy Knapp  
5107 John Anderson Hwy.  
Flagler Beach, FL 32136

To the County of Flagler:

Subject: Whispering Meadow Ranch

Mike and I have lived at this address for 40 years. We live a few doors down from the Whispering Meadows Ranch. For years we knew they were there but had no idea (because they are such good neighbors) what they were all about. About five years ago I went online to look them up and see what they did.

In the summer of 2019 I happen to be going out my drive when I saw a lady in front of their property with a horse. I had my granddaughter with me and wanted her to see the horse. The lady was very kind and let her pet the horse and invited us back to see their facility. I was very impressed. I was amazed at what they had back there and as a neighbor had no idea what a great facility they had and what great work they do. I was hoping to have my granddaughter do volunteer work the following summer. Of course that was this year with the pandemic so we did not pursue it.

We fully support their application for "semi-public use of land". They have been great neighbors and I have no doubt they will continue to do so while offering a great service to Flagler County.

Sincerely,

  
Nancy and Mike Knapp

From: **ROBIN SULLIVAN** robinbs52451@gmail.com  
Subject: Whispering Meadows Horse Ranch  
Date: Today at 12:24 PM  
To: Helene Davis sunrisewithgod@aol.com

**Dear Mr. and Mrs. Davis,**

I have such a heavy heart hearing the disturbing news of what you are going through. As a volunteer participant in many of your activities, it shocks me that anyone could put you through all of this.

These folks obviously do not understand what you do for our communities near and far. Your service to handicapped children of all ages is a beautiful thing. So many have become stronger because of your Equine therapy through your horses. To see the joy on their faces is totally amazing. I've been moved to tears with their happy faces!

The force behind this action is all about money. If they could only come and see what you are doing, maybe they would be moved to see your mission!

No one is being paid, it is all volunteer. The children are not charged for your services. This is your private residence and you have been kind enough to open it to those who need help.

My husband and I are praying that this situation will clear up without any lawyer having to step in. You are good, God loving people who love these precious children. I am so proud of the work you are doing. God, please continue to bless these wonderful people.

**Robin Sullivan, Chairwoman  
Women of the Church  
Hammock Community Church**

February 14, 2021

To Whom It May Concern:

I am writing in support of the Whispering Meadows Ranch. I am firmly opposed to any legislation, zoning issues or other county mandates that are an attempt to close Whispering Meadows.

I am a retired Registered Nurse with 25 years of employment with a non profit pediatric medical practice, Rocky Mountain Youth Clinics,(RMYC) in the Denver Colorado metropolitan area. The mission of the organization was to serve underserved children whose families could not afford primary healthcare.

I have been volunteering at Whispering Meadows Ranch for the past two years. The ranch offers services to children who have special needs ranging from emotional, cognitive, developmental and physical. I have witnessed the relationships between the children and the horses and the changes for the children as a result of these relationships. The children learn to trust, new skills, build confidence and feel supported in ways they have never experienced. Their smiles alone, speak volumes to the benefits of this program.

Any effort to close the ranch will deprive these children of these life changing experiences. The youth of our community are vulnerable and in need of structure and consistency and I urge you to strongly consider the void that the youth will experience if Whispering Meadows cannot continue its mission.

Respectfully submitted,

  
Carole Saylor

2-9-21

To Whom It May Concern:

My special needs son Joshua has been attending Whispering Meadows Ranch for 8+ years. That's one of the main activity he actually enjoys doing with the horses and it very beneficial to him. He his a freshman in high school now and from elementary to middle school the yearly field trips with his peers to Whispering Meadows Ranch was the only trips they would go on that was a highlight for him. The ranch is a family to us and in the pass when they hold an event he was able to play with other kids like him without people judging or staring at the kids. He is in a safe place at the ranch with people who truly love what they do. I don't trust a lot of people with him because he can't explain if something happens to him but I do trust and appreciate everyone at the ranch.

Sincerely  
Agnes Powell

**From:** [Marta Diaz](#)  
**To:** [David Sullivan](#); [Andy Dance](#); [Gregory Hansen](#); [Joseph Mullins](#); [Donald O'Brien](#); [Al Hadeed](#); [Adam Mengel, AICP](#),  
[LEED AP BD+C](#); [Jerry Cameron](#)  
**Subject:** Application #3239 for Semi-Public Use - Whispering Meadows Ranch  
**Date:** Monday, March 29, 2021 9:02:33 PM

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**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

It has come to our attention that the current business being operated at Whispering Meadows located at 5011 John Anderson Hwy., has filed an application seeking approval for Semi Public use. It's our understanding that this change in Zoning would allow for commercial and business activities in what is currently Zoned as R1 Rural -Residential.

As a property owner in the area, I would like to voice my OPPOSITION in allowing a business to operate in our residential community, We recently purchased our property without knowledge that a business was being run nearby. Our primary reason for buying along John Anderson was to ensure a rural lifestyle free from noise, traffic and more importantly away from commercial operations.

The property owners at the above location are operating a business which is not allowed per current zoning. Their request to further expand business activities should not be allowed.

Please do NOT approve this application.

Thank you for your consideration.

Marta Diaz & James Cox Jr.



**From:** [SUSAN KIEFER](#)  
**To:** [Adam Mengel, AICP, LEED AP BD+C](#)  
**Subject:** Application #3239  
**Date:** Tuesday, March 30, 2021 10:22:35 PM

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**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

Flagler County  
1769 E Moody Blvd # 2, Bunnell, FL 32110  
Subject: Application #3239 for Semi-Public Use of a Property

Dear Mr. Mengel,

I recently purchased the property at 49 Bulow Woods Circle, Flagler Beach with the understanding that it was a strictly residential neighborhood. I have been a homeowner in Flagler Beach for over 23 years and purchased this property (49 Bulow Woods Circle) to be in a quieter neighborhood across the bridge.

The R1 zoning is vital in that it protects this neighborhood and the home values. **My new property abuts the Whispering Meadows Ranch** and while I am a great proponent of the Davis Family and a supporter of assisting people with horseback riding I am completely against changing the covenant and permitting this Ranch to become a commercial enterprise. I am concerned that permitting the Ranch to operate as a commercial or nonprofit business would not only affect property values but would open the way for the possibility of other adjacent properties to become business operations in the future.

The Davis family is doing their work maybe the county would assist them in donating use at the county fairgrounds or agricultural center.

I strongly wish that the current residential covenants are upheld ensuring all property values are protected.

Thank you for your consideration,  
Susan Kiefer  
407-234-3134



RECEIVED

MAR 30 2021

FLAGLER COUNTY  
PLANNING & ZONING DEPT

February 5, 2021

To whom it may concern:

Please accept and consider this letter of support for Whispering Meadows Ranch from all the Knights of Columbus Councils in Flagler County!

Once in a lifetime we all get to witness miracles and this organization is certainly a miracle for all of us in Flagler County. Because of the miracles and caring Whispering Meadows Ranch has provided for our county Citizens' with Disabilities and Veterans, we at that Knights have been proud supporters for the past 13 years. Our support ha been through continued fund raising and many volunteer hours.

Our three councils, located in Flagler Beach, Palm Coast and Korona, proudly offer our unwavering support for this most worthy and tremendously needed cause.

Our City, County and State would suffer a serious loss and tremendous gift if such a wonderful and giving place was compromised or hindered in any way.

Thank you so very much for your kind consideration and I hope support for Whispering Meadows Ranch.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Kevin J. Ryan', with a long, sweeping underline.

Kevin J. Ryan

District Deputy 17

Knights of Columbus, State of Florida

RECEIVED

MAR 30 2021

FLAGLER COUNTY  
PLANNING & ZONING DEPT

## Questions all of us must answer

SPECIAL  
NEEDS  
PEOPLE

Do you know anything about these very special people? Do you know how young some of them are? Have you researched (careful or diligent search for new knowledge) the matter? Did you know some of these people are trapped inside their own bodies and minds and can't get out? Just look in their eyes and see the frustration and hurt. These children come to Whispering Meadows Ranch then a miracle happens. God touches them and for a moment the frustration and hurt is gone. You see it in their eyes.

And a couple of people want to shut down the ranch. Do you have any compassion at all for mankind?

THE  
PARENTS

Let's look at the parents for a second. What they've been through with their special needs child. What's their future look like? How many times have they cried themselves to sleep? Grandma in Indiana and Grandpa in Texas are mad and broken hearted at the thought of the ranch being shut down. Do you know anything about mama bear and her cubs? When they come with their child to the ranch a miracle happens. God touches them and they see the peace, and joy and a smile on the child's face. And tonight maybe the happy moment of the day on the ranch for the parents will be joy instead of tears on their pillow.

And a couple of people want to shut down the ranch. Where is your heart and understanding for these parents?

## VETERANS

All you have to do is watch a special on T.V. about Veterans. The hell they've been through. Their future of broken dreams, broken hearts and minds and broken bodies. The horror of it is mind boggling. All they're looking for is help, love, hope, encouragement, and the beginning of a new life. When they come to the ranch a miracle happens. God touches them in the only way He knows how. With His love and hope. And then lets them know, we got you.

And a couple of people want to shut down the ranch. If you are a veteran and have no compassion for your veteran brothers and sisters shame on you.

## FOSTER CHILDREN

Do you want me to tell you the horror stories of these children. The beatings from childhood. To be caged in like an animal. Feeling worthless not knowing what they did wrong. Only wanting to be loved. How about really young girls and boys being sexually molested. Then asking the question, why mommy? why daddy? And now they move in with foster parents having to adjust to a whole new life. Think about it when the child places their head down to go to sleep in a dark strange place alone. These children come to Whispering Meadows Ranch and miracles happen. God touches them with His love and they feel safe and begin to become a child for a moment. They just float around like butterflies.

And a couple of people want to shut down the ranch. Do you have any feelings at all for these children?

WE OWE  
THESE  
PEOPLE  
ANSWERS

The parents, families, veterans, neighbors, and volunteers that come to Whispering Meadows Ranch are devastated and sick to their stomach over the thought that someone wants the ranch shut down. They're in shock. They have questions that need answers. Like who are they? Why are they doing this? I want their names. Don't they understand what's going on at the ranch? It's a fact we owe the people this. As things are made public and go on record, every person and every statement they have said against the ranch will be revealed to these people. In the end they will know the truth.

"There is nothing concealed that will not be disclosed or hidden that will be made known. What you have said in the dark will be heard in the daylight, and what you have whispered in the ear in the inner rooms will be proclaimed from the roofs. He who has an ear let him hear." LUKE 12:2-3

Jesus

With many tears

D.

RECEIVED

MAR 30 2021

FLAGLER COUNTY  
PLANNING & ZONING DEPT

February 24, 2021

Robert James  
USN Retired

My wife, Kathy, and I recently retired and relocated from Maryland to Florida. We are happy with the new friends we have met but we were looking for an organization or a group where we could meet new friends and give something back to our new community. Kathy wanted to work with kids and horses, but I did not believe she would be able to find such a place.

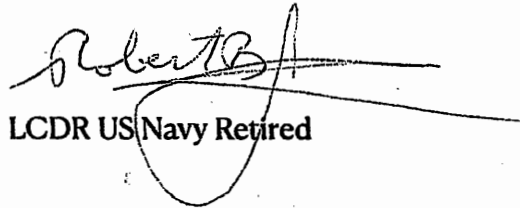
Kathy found Whispering Meadows Ranch while searching outlets for which to volunteer and a great find it was. Whispering Meadows works with children with disabilities. Just seeing these happy children pet a horse and smile and laugh makes you believe in miracles.

As a retired US Navy Veteran, I was even more amazed at the Ranch's program for Veterans with PTSD and the events they hold for them. Watching these Veterans develop a relationship with the gentle giants in smartly developed activities leading to a bond between veteran and horse was an experience I always cherish each time I watch it unfold.

I am proud to be a small part of a big hearted organization that is such a wonderful instrument of good for a portion of our community that needs and deserves every lift up and helping hand that we can provide.

Sincerely yours,

Robert B. James

A handwritten signature in black ink that reads "Robert B. James". The signature is stylized with a large, sweeping flourish that extends across the line and underlines the text below.

LCDR US Navy Retired

**From:** [Melanie](#)  
**To:** [David Sullivan](#); [Andy Dance](#); [Gregory Hansen](#); [Joseph Mullins](#); [Donald O'Brien](#); [Jerry Cameron](#); [Al Hadeed](#); [Adam Mengel](#), AICP, LEED AP BD+C  
**Subject:** Re: Whispering Meadows Ranch John Anderson Hwy  
**Date:** Wednesday, March 31, 2021 10:31:25 AM  
**Attachments:** [Letter from the Bureks.pdf](#)

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**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

To All:

The situation is beyond ridiculous between the adjacent property owners to the Davis's (Whispering Meadows Ranch). There is quite a bit of conflict of interest between the real estate agent, lawyers & all the others involved. I am hoping that someone honest representing our county & district will TRULY investigate the REAL facts & hidden agendas behind all of this nonsense. Below is the response I sent the selling property owners. Attached is their letter that was mailed.

Regards,  
Melanie Thompson

John & Redempta Burek,

I reviewed your letter mailed to my parents home regarding Whispering Meadows Ranch. I also live on John Anderson & have for over 12 years, less than a quarter mile from the ranch. I did not receive your letter.

Your letter is so off base & full of information that is not true. Your 'Covenants & Restrictions' is based on a 44 year old document pertaining to a Homeowner's Association that isn't what the area is.

There has never been an issue with the Ranch over the years AND most neighbors don't even know that is there.

There is no business for profit & they don't sell riding lessons. Their work extends to help & benefit the disabled (mentally & physically) & you should be ashamed of yourselves to blame them for your deal that fell through.

Please educate yourselves:  
<https://www.whisperingmeadowsranch.org/>

I am sorry you lost your sale, but maybe that's a sign that those prospect buyers weren't a good fit for our precious & unique neighborhood. I am sure you will find a buyer that will appreciate our little slice of paradise .....

Regards,  
Melanie Thompson

Dear Neighbor,

On April 13<sup>th</sup> at 6 PM the Flagler County Planning Board will decide whether or not to recommend that the Flagler County Commission approve pending Application #3239 for Semi-Public Use of a property in our neighborhood. On May 17<sup>th</sup> at 5:30 PM the County Commission will vote on the Application. If the County grants the application, that will open the door for other property owners to seek County approval for other commercial activities and businesses in our residential community. (Presently Zoned R1- Rural Residential.)

We live nearby and have owned Lot #24, Bulow Woods Unit #1 for 19 years – 5013 John Anderson Dr. We bought the property with the expectation of living there. We have decided to sell the property to fund our retirement, rather than building a new home at this later stage of our lives.

We listed our homesite for sale and were under contract. The prospective purchasers (upon visiting our lot and being approached by our neighbor - Mr Davis) discovered that a large and very busy non-profit commercial business is being run on the bordering adjacent property - Whispering Meadows Ranch. (They were not aware of this public business operation). Upon seeing the commercial operation on the immediately abutting property, the prospective purchasers lost interest in buying our property. We lost the sale!

Among the numerous services that the business provides to the public are: 1) horseback riding lessons (\$30-\$1000-depending upon the number of lessons.) 2) Birthday parties 3) cook-outs 4) work skills training 5) related activities for youths and adults with mental and or psychological challenges 6) coping skills and anger management counseling for foster care and adopted youths

The ongoing commercial enterprise has constant activities with numerous members of the public, parents, 40+ volunteers, friends and others coming and going to the 4 ¼ acre "Ranch". When they hold "events" on the property, the overflow of vehicles park along John Anderson Hwy. Sheriffs' Deputies manage the traffic. The outdoor bands they employ are so loud that they can be heard more than a quarter of a mile away. In addition, three school buses were parked along John Anderson and the "Ranch" hosted a student field trip/outing.

All of this has and will continue to negatively affect our opportunity to sell our property at the fair market value. (It may very well, negatively impact the value of your land and home also.)

Our hearts go out to the families of the youths who avail themselves of the services that the Davises provide. Surely, the "Ranch" can continue its good work, elsewhere. We would urge the County to donate use of the County Fairgrounds and/or the land at the County Agricultural Center. Good intentions at other people's expense are not good intention.

The County R1 zoning classification does not permit the operation of a commercial enterprise in this neighborhood, even if it is a "non-profit corp." The Bulow Woods Neighborhood Covenants and Restrictions filed of Record (See attached) protect homeowner in your neighborhood from the operation of businesses in this neighborhood. Number 1 states that "No business, commercial or manufacturing enterprise of any nature shall be operated on any of the lots, nor shall any noxious or offensive activity be carried on upon any of the property; nor shall anything be done that shall become an annoyance or nuisance to the neighborhood ....

If you care about protecting your property values and ensuring that this remains a residential ONLY neighborhood, you may email your county commissioners and County administrators TODAY.

[dsullivan@flaglercounty.org](mailto:dsullivan@flaglercounty.org) [adance@flaglercounty.org](mailto:adance@flaglercounty.org) [ghansen@flaglercounty.org](mailto:ghansen@flaglercounty.org)  
[jmullins@flaglercounty.org](mailto:jmullins@flaglercounty.org) [dobrien@flaglercounty.org](mailto:dobrien@flaglercounty.org) [jcameron@flaglercounty.org](mailto:jcameron@flaglercounty.org)  
[ahadeed@flaglercounty.org](mailto:ahadeed@flaglercounty.org) [amengel@flaglercounty.org](mailto:amengel@flaglercounty.org)

John and Redempta Burek (386) 585-4128 or demburek@cfl.rr.com



**From:** [demburek@cfl.rr.com](mailto:demburek@cfl.rr.com)  
**To:** [Planning Dept](#)  
**Subject:** FW: whispering meadows ranch  
**Date:** Wednesday, March 31, 2021 11:11:12 AM  
**Attachments:** [SKM\\_C45821032611580.pdf](#)

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**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

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Subject: whispering meadows ranch

This is the letter we sent to 130 neighbors in the Bulow Woods area. We received many phone calls supporting our endeavor. They all want to keep the area residential.

Dear Neighbor,

On April 13<sup>th</sup> at 6 PM the Flagler County Planning Board will decide whether or not to recommend that the Flagler County Commission approve pending Application #3239 for Semi-Public Use of a property in our neighborhood. On May 17<sup>th</sup> at 5:30 PM the County Commission will vote on the Application. If the County grants the application, that will open the door for other property owners to seek County approval for other commercial activities and businesses in our residential community. (Presently Zoned R1- Rural Residential.)

We live nearby and have owned Lot #24, Bulow Woods Unit #1 for 19 years – 5013 John Anderson Dr. We bought the property with the expectation of living there. We have decided to sell the property to fund our retirement, rather than building a new home at this later stage of our lives.

We listed our homesite for sale and were under contract. The prospective purchasers (upon visiting our lot and being approached by our neighbor - Mr Davis) discovered that a large and very busy non-profit commercial business is being run on the bordering adjacent property - Whispering Meadows Ranch. (They were not aware of this public business operation). Upon seeing the commercial operation on the immediately abutting property, the prospective purchasers lost interest in buying our property. We lost the sale!

Among the numerous services that the business provides to the public are: 1) horseback riding lessons (\$30-\$1000-depending upon the number of lessons.) 2) Birthday parties 3) cook-outs 4) work skills training 5) related activities for youths and adults with mental and or psychological challenges 6) coping skills and anger management counseling for foster care and adopted youths

The ongoing commercial enterprise has constant activities with numerous members of the public, parents, 40+ volunteers, friends and others coming and going to the 4 ¼ acre "Ranch". When they hold "events" on the property, the overflow of vehicles park along John Anderson Hwy. Sheriffs' Deputies manage the traffic. The outdoor bands they employ are so loud that they can be heard more than a quarter of a mile away. In addition, three school buses were parked along John Anderson and the "Ranch" hosted a student field trip/outing.

All of this has and will continue to negatively affect our opportunity to sell our property at the fair market value. (It may very well, negatively impact the value of your land and home also.)

Our hearts go out to the families of the youths who avail themselves of the services that the Davises provide. Surely, the "Ranch" can continue its good work, elsewhere. We would urge the County to donate use of the County Fairgrounds and/or the land at the County Agricultural Center. Good intentions at other people's expense are not good intention.

The County R1 zoning classification does not permit the operation of a commercial enterprise in this neighborhood, even if it is a "non-profit corp." The Bulow Woods Neighborhood Covenants and Restrictions filed of Record (See attached) protect homeowner in your neighborhood from the operation of businesses in this neighborhood. Number 1 states that "No business, commercial or manufacturing enterprise of any nature shall be operated on any of the lots, nor shall any noxious or offensive activity be carried on upon any of the property; nor shall anything be done that shall become an annoyance or nuisance to the neighborhood ....

If you care about protecting your property values and ensuring that this remains a residential ONLY neighborhood, you may email your county commissioners and County administrators TODAY.  
[dsullivan@flaglercounty.org](mailto:dsullivan@flaglercounty.org) [adance@flaglercounty.org](mailto:adance@flaglercounty.org) [ghansen@flaglercounty.org](mailto:ghansen@flaglercounty.org)  
[jmullins@flaglercounty.org](mailto:jmullins@flaglercounty.org) [dobrien@flaglercounty.org](mailto:dobrien@flaglercounty.org) [jcameron@flaglercounty.org](mailto:jcameron@flaglercounty.org)  
[ahadeed@flaglercounty.org](mailto:ahadeed@flaglercounty.org) [amengel@flaglercounty.org](mailto:amengel@flaglercounty.org)

John and Redempta Burek (386) 585-4128 or demburek@cfl.rr.com

THIS INSTRUMENT PREPARED BY:  
C.G. Phillips ✓  
834 Carswell Avenue  
Holly Hill, Florida 32017

OFF. REC. 096 PAGE 0616

PROTECTIVE COVENANTS AND RESTRICTIONS

FOR

BULOW WOODS UNIT #1, INC.

Declaror does hereby declare and establish the Protective Covenants and Restrictions hereinafter set forth upon the following described lands in Flagler County, Florida, to-wit:

A portion of Lot 7, Bulow Grant, said Grant being in Section 38, Township 12 South, Range 31 East and Section 37, Township 12 South, Range 32 East, Flagler County, Florida being more particularly described as follows: The Westerly 1320 feet of said Lot 7 that lies Easterly of the Easterly Right-of-Way line of John Anderson Highway (a 100 foot Right-of-Way) with the Easterly line of said Westerly 1320 feet being parallel to and measured at Right angles to said John Anderson Highway, containing 78.77 acres. The Grantor also grants a temporary easement over all of the canals located on the following described property as of this date, to-wit: Lots 13 through 24 inclusive and Lot 19A, Bulow Woods Unit #1 Subdivision as recorded in Plat Book 26 Page 18, Public Records of Flagler County, Florida and a portion of said Lot 7, Bulow Grant, being in Sections 38, Township 12 South, Range 31 East and in Section 37, Township 12 South, Range 32 East described as follows: Also included in the temporary easement is: That portion of said Lot 7 that lies Easterly of the Westerly 1320 feet lying Easterly of John Anderson Highway ( a 100 foot Right-of-Way), said parcel containing approximately 88 acres. This easement is temporary and may be used by the Grantees, their heirs and assigns, so long as it does not interfere with the Grantor's use of said property for developmental purposes. In the event Grantor develops any portion of said property granted for an easement above, the easement herein as to that portion of the property shall terminate. The Grantor grants a permanent easement to the residents of Bulow Woods Unit #1 Subdivision to the private drive located on the Southerly 30 feet of Lots 7 and 19 and the permanent private Recreation area designated as Lot 19A on the plat. The Grantor may grant a concurrent permanent easement to other residents residing in that portion of Lot 7, Bulow Grant, lying East of Bulow Creek.

These restrictions will in no way interfere with the normal living of responsible neighbors, but are designed to fully insure the value of the buyer's investment. The covenants are to run with the land and shall be binding on all parties claiming under them for a period of thirty (30) years from the date hereof, after which said covenants shall be automatically extended for successive periods of ten (10) years, unless an instrument signed by a majority of the then record owners has been recorded agreeing to change the covenants in whole or in part.

The subject property, in addition to the covenants and restrictions contained herein, are conveyed and subject to all present and future rules and regulations of the County of Flagler, State of Florida, if any, relative to zoning and construction.

1. USES AND PURPOSES

The subject lots shall not be subdivided and only one family dwelling unit per lot shall be permitted. No business, commercial or manufacturing enterprise of any nature shall be operated on any of the lots, nor shall any noxious or offensive activity be carried on upon any of the property; nor shall anything be done which may be or become an annoyance or nuisance to the neighborhood. Except for a reasonable period during actual construction of a residence, no trailer, tent, shack or other structure shall be erected or used upon any of the property, and in no event shall such structure be used as living quarters, temporary or permanent.

2. SQUARE FOOTAGE, SETBACKS, MATERIAL

Minimum house square footage shall be 1,200 square feet of enclosed living area. Ranch style, rough stained wood, glass, brick, and native stone exteriors are encouraged. Construction of houses must be completed within one year from commencement. Setbacks shall be 50 feet minimum from any street and 25 feet minimum from any other property line. No fencing along John Anderson Highway nor within 200 feet of the Easterly Right-of-Way of John Anderson Highway shall be made of barbed wire, hog wire, chicken wire, or chain link or like materials. Cypress, rough hewn, or wooden decorative fences will be allowed in these areas.

3. EASEMENTS

All easements shall be perpetual in duration.

Utility easements shall be defined as easements for installation, construction, reconstruction, maintenance, repair, operation and inspection of sewer, water, drainage, electric, gas, telephone, cable television or other necessary utilities. There shall be a 10 foot utility easement along the front, rear and side lines of the subject property.

The Declaror at all times shall have the right of ingress and egress over the aforesaid easements.

No structure, planting or other material shall be placed or permitted to remain which may cause inaccessibility of utilities within said easements. No fencing shall be permitted within the rear 10 feet. The landscaping and maintenance of the easement area, however, shall be maintained by the owner of the property.

4. MINING

No drilling or mining operations shall be carried on or permitted upon any lot, with the exception of drilling for water purposes.

5. NUISANCES

All homes, structures, fences, lawns, etc., shall be maintained in a neat and orderly manner at all times. Unused parked vehicles, refuse piles, debris, trash, scrap metal, or other unsightly objects will not be permitted. All exterior garbage containers shall be screened from view of adjoining property owners and road.

6. TRAILERS

Mobile homes will not be allowed under any conditions. Travel trailers, campers or motor homes may not be used for permanent or temporary living purposes.

7. WATER, SEWER, TELEPHONE, ELECTRIC

Water and sewer systems will be individually supplied by lot owners. They must be permitted by governing agency prior to

installations. Telephone and electric service may be obtained individually from Southern Bell Telephone Company and the Florida Power and Light Company respectively.

8. ANIMALS

Horses and household pets, only, will be allowed. No restrictions will be placed in the number allowed unless an excessive number becomes a public or health nuisance.

9. ENFORCEMENT

In the event of a violation of these covenats, it shall be lawful for the Declaror, the property owners association or any person or persons owning a parcel within the subdivision to prosecute any proceedings at low or in equity to enforce these covenatns or to recover damages for the violation of same. The prevailing party shall be entitled to reasonable attorneys fees.

10. SEVERABILITY

If any one or more of these restrictions should be declared invalid by a Court of competent jurisdiction, the remaining restrictions not fully expressly held to be invalid shall continue unimpaired and in full force and effect.

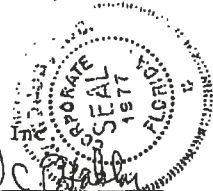
IN WITNESS WHEREOF, Declaror has executed these Protective Covenants and Restrictions this 18 day of Nov, 1977, 1977.

Signed, sealed and delivered in the presence of:

*Ch. Phillips*  
*[Signature]*

Bulow Woods, Inc

BY: *Richard C. Hollar*  
Richard C. Hollar,  
President

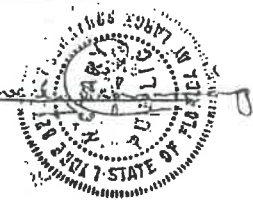


STATE OF FLORIDA  
COUNTY OF VOLUSIA

I HEREBY CERTIFY that on this day before me, on office duly qualified to take acknowledgments, personally appeared Richard C. Hollar, President of Bulow Woods, Inc., a Florida Corporation to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 18 day of November, 1977.

*[Signature]*  
NOTARY PUBLIC



NO. 77/ 05136  
FILED AND RECORDED  
D.R. BOOK 92 PAGE 618  
77 NOV 18 1977  
SHELTON D. PHILLIPS  
CLERK CIRCUIT COURT  
FLAGLER COUNTY, FLA.  
NOTARY PUBLIC STATE OF FLORIDA IN LARGE  
BOND THIS COMMISSION EXPIRES DECEMBER 23, 1980  
Expires:



**From:** [Vicky Fox](#)  
**To:** [David Sullivan](#); [Andy Dance](#); [Gregory Hansen](#); [Joseph Mullins](#); [Donald O'Brien](#); [Jerry Cameron](#); [Al Hadeed](#); [Adam Mengel](#), [AICP](#), [LEED AP BD+C](#)  
**Subject:** RE:Application #3239 Semi-public use  
**Date:** Thursday, April 1, 2021 4:32:32 PM

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**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

Dear Commissioners,

We will be unable to attend the April 13th public hearing regarding the above mentioned application but want our voices to be heard. Having lived in our home (5303 John Anderson Hwy.) for over 40 years and being only about 1/10th of a mile from 5011 John Anderson Hwy. the property asking for the usage change, we'd like to state why we oppose this application. We've witnessed over the years traffic problems, parking problems (blocking the bicycle lanes and parking on the grass coming close to blocking homeowners driveway openings) and pedestrian problems having to cross an ever growing busy highway with either their smaller or large events. We have heard that some of their offerings are paid for things thus making them a business? People aren't the only ones that suffer from all of this but the animals(dogs,deer etc) do as well. When they have their larger events the music and special announcements over the microphone are so loud that as they say "could wake the dead." We applaud their mission but not in our quiet residential neighborhood. We pity the poor neighbors that are directly next door for the noise and animal smells must be a constant annoyance. This all takes place on only 4 1/2 acres. If they are allowed to continue on with this usage as it is this will surely set a precedent for others to follow effecting all our property values. We are hoping that Whispering Meadows can find a more suitable place to continue on their works, just not in this residential area. Thank you so very much for your consideration to deny this application. Harvey and Vicky Fox 5303 John Anderson Hwy. Flagler Beach FL 32136  
vmfox@cfl.rr.com and hfox755064@aol.com



ROBIN SULLIVAN &lt;robinbs52451@gmail.com&gt;

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**Whispering Meadows Horse Ranch**

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**ROBIN SULLIVAN** <robinbs52451@gmail.com>  
Draft To: Helene Davis <sunrisewithgod@aol.com>

Tue, Feb 16, 2021 at 10:07 AM

From: **ROBIN SULLIVAN** <robinbs52451@gmail.com>  
Date: Wed, Feb 10, 2021 at 12:24 PM  
Subject: Whispering Meadows Horse Ranch  
To: Helene Davis <sunrisewithgod@aol.com>

Dear Mr. and Mrs. Davis,

I have such a heavy heart hearing the disturbing news of what you are going through. As a volunteer participant in many of your activities, it shocks me that anyone could put you through all of this.

These folks obviously do not understand what you do for our communities near and far. Your service to handicapped children of all ages is a beautiful thing. So many have become stronger because of your Equine therapy through your horses. To see the joy on their faces is totally amazing. I've been moved to tears with their happy faces!

The force behind this action is all about money. If they could only come and see what you are doing, maybe they would be moved to see your mission!

No one is being paid, it is all volunteer. The children are not charged for your services. This is your private residence and you have been kind enough to open it to those who need help.

My husband and I are praying that this situation will clear up without any lawyer having to step in. You are good, God loving people who love these precious children. I am so proud of the work you are doing. God, please continue to bless these wonderful people. **I am attaching four pages of signatures in a petition to try and stop this action.** We are praying hard for you and your ministry. God bless you all.

Robin Sullivan, Chairwoman  
Women of the Church  
Hammock Community Church

# PETITION TO SAVE WHISPERING MEADOWS HORSE RANCH

(Submitted by Robin Sullivan, Chair of Women of the Church, Hammock Community Church)

	<u>Name</u>	<u>Address</u>	<u>Phone #</u>
1	Robin Sullivan	20 Casa Bella Circle Unit 901, Palm Coast, Fl. 32137	386)547-9725
2	Jake Sullivan	" " " "	386)566-3646
3	Judy Walters	3 San Gabriel	446 5542
4	Jean Schooner	2 Monterey Dr.	446-4097
5	Brenda Rowe	8 Bellmore Pl. P.C. FLA. 32137	386-235-9012
6	Darla Tarlington	85 Ave de la Mer Unit 806 Palm Coast FL 32137	386-282-4604
7	Mary G. Mulbert	5716 N. 41A P.C. FL. 32137	386-445-2120
8	Clair Dull	400 VICIOW CIRCLE PALM COAST FL	772-341-0499
9	Phyllis Chaffetz	37 Arena Lake Dr.	417-230-2381
10	PAM MOORE	31 Smiling Fish Lane PC 32137	904-610-4716
11	Barbra Dragstrom		386-445-4807
12	Joanne Urgeze	8 Augusta Tr. PC 32137	386-446-3620
13	Valerie Rider	69 W. Waterside, PC 32137	
14	Ferraine Marsh	2 Bristol Dr P.C. 32137	(904)662-5324
15	William Marsh	2 Bristol Dr. P.C. 32137	(904)509-7160
16	Judy Wilson	23 Remedia Pl P.C. 32164	386-0588
17	MaryAnn Snyder	1 Ellis Place PC 32164	3864375949



# PETITION TO SAVE WHISPERING MEADOWS HORSE RANCH

(Submitted by Robin Sullivan, Chair of Women of the Church, Hammock Community Church)

	<u>Name</u>	<u>Address</u>	<u>Phone #</u>
18	Margo Usher	176 Bren Mar Ln.	386 283-4033
19	Janice Hopkins	1 Lantana Dr. Hammock,	386-445-3194
20	James Semelle	43 Weymouth Ln	354-864-3970
21	Denise Semelle	" "	384-864-3971
22	Gregory E. Reef	2 NANTUCKET TERRACE	216-544-8983
23	Mary Beth Liper	2 Nantucket Tr.	216-375-0070
24	Dani Walker	80 front St	386-591-3717
25	Surrey Walker	"	"
26	Catherine McCarty	126 Village Del Lago Lane, St Augustine 32088	904-471-7133
27	Mecker Roberts	19 Palm Villa	Flagler Beach
28	Joe Roberts	" " "	" "
29	Richard Gilbert	5716 N. Ocean Shore, P.C.	386-445-2121 32137
30	Jeanne Wuebel	56 Patric Dr. Palm Coast,	403-645-3134 Fl. 32164
31	James Edward White	56 Patric Dr. Palm Coast	Fl. 32164
32	Mae Ray Jensen	Bruskin Lane Palm Coast	32164
33	Joe Wei	440 Bulldog Dr. Palm Coast	32164
34	Ann White	62 Atlantic Drive Hammock,	Palm Coast 32137

# PETITION TO SAVE WHISPERING MEADOWS HORSE RANCH

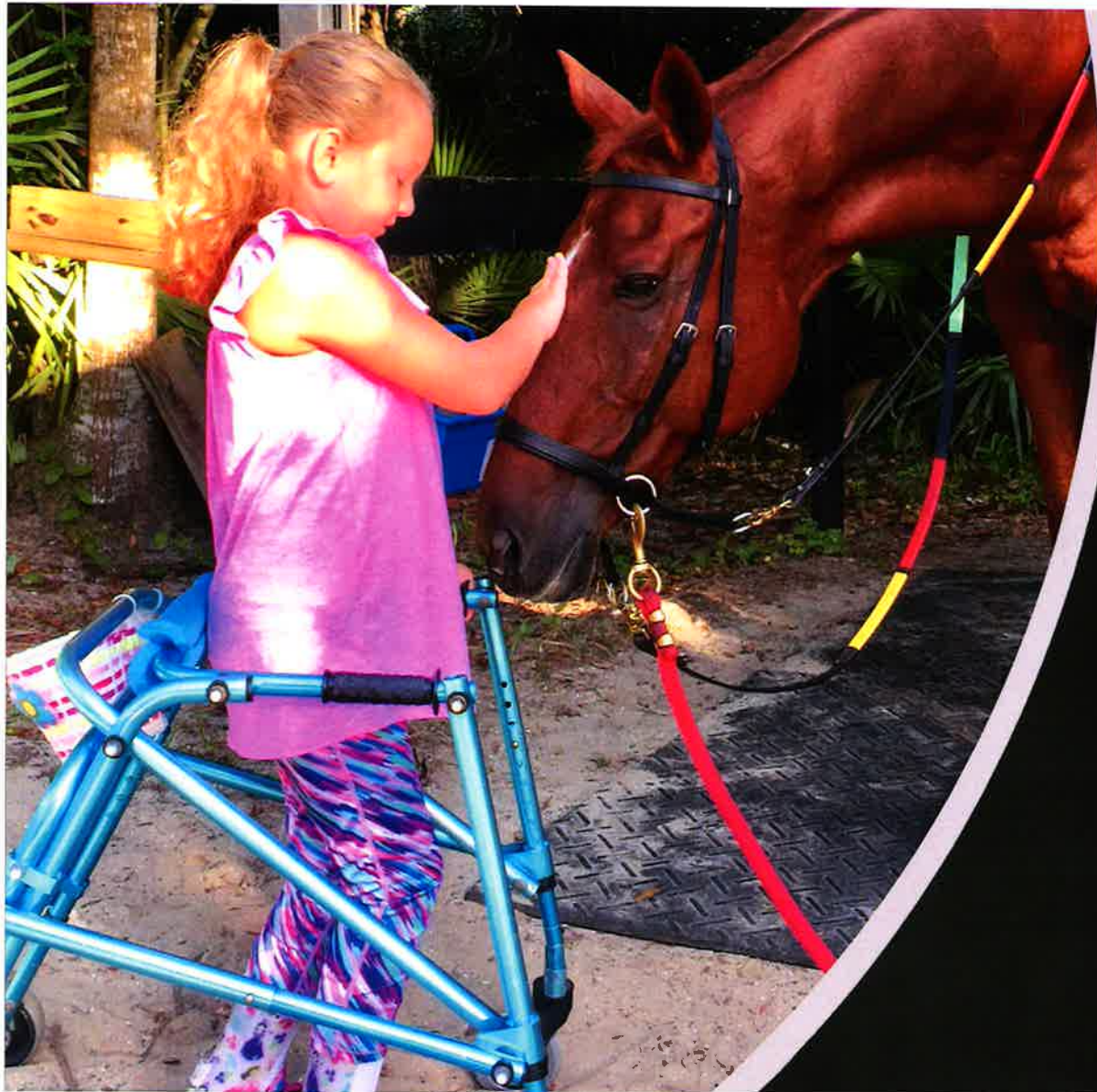
(Submitted by Robin Sullivan, Chair of Women of the Church, Hammock Community Church)

	<u>NAME</u>	<u>ADDRESS</u>	<u>PHONE</u>
35	Stacia M. Kidjian	9217 July Ln. SA	(904) 461-9476
36	Ann Khidjian	9217 July Lane St. Augustine 32080	1/904 461 9476
37	<del> Linda Hopkins</del>	2 Santarace Dr. P.C.	FL 32137 386-446-5746
38	Philip Stacy	134 Forest Guest Ormond Beach Fl.	479-721-1086
39	Carol Stacy	" " " "	" " "
40	Jean Haen	" " " "	" " "
41	Cheng Hulse	113 Bickford Dr. P.C., FL 32137	386-315-2023
42	<del> Paul Hulse</del>	(PAUL HULSE) 3737 Buffalo Pains Lane P.C. Fl.	386-315-2028
43	Walter Kyska	5 White Hale Pl. P.C. Fl. 32164	484-225-8861
44	Karen Legaty	70 San Juan Dr. Unit D-104, P.C 32137	619-290-3567
45	Grant Atkinson	5 Diamond Leaf Way P.C. Fl. 32137	804 385-1138
46	Virginia Burns	14 Covington Lane P.C. Fl. 32137	1703-901 6304
47	Janet Atkinson	5 Diamond Leaf Way P.C. Fl. 32137	386-585-2728
48	Bessie Bellmann	9 Anastacia Ct. PC Fl. 32137	386-237-0796
49	Ray Decker	45 Jasmine PC Fl. 32137	386 445 7758
50	Emily Schwart	11 Ave. de la Mer 2 #1106, P.C., Fl 32137	952 215-4377
51	EG BOYE	5 Avalon Dr. P.C. Fl. 32137	386-4457039
52	Gianna Knapke	5 White Hale Pl. Palm Coast 32164	610-349-5607
53	Melba Stavel	800 N. Central Ave. Flagler Beach Fl. 32136	386 439-8356

# PETITION TO SAVE WHISPERING MEADOWS HORSE RANCH

(Submitted by Robin Sullivan, Chair of Women of the Church, Hammock Community Church)

	NAME	ADDRESS	PHONE
54	<del>Anna Stowell</del>	800 N. Central Ave Flagler Bch, FL 32136	386) 503 9734
55	<del>John Copsy</del>	4 Zonal Ct P.C. Fl. 32164	386) 437 0135
56	Elizabeth Beese	<del>11 Crossleaf Ct.</del>	904) <del>417-3387</del> 825-8930
57	Philip Beese	11 Crossleaf Ct. P.C. Fl 32137	386 447 3387
58	Phy Henry (JR)	" "	" " "
59	Ophelia Beier	75 Lagare St. PC Fl. 32137	386) 445-0831
60	Edward Beier	75 Lagare St. PC Fl. 32137	386) 445-0831
61	<del>Bob Rowe</del> (Bob Rowe)	8 Bellmore Pl. PC Fl 32137	386) 445-8465
62	<del>Monty</del>	10 Marbella Ct. PC Fl. 32137	707-480 0878
63	Bill Bohler	6 San Pablo Ct. PC Fl. 32137	386-849-3773
64	<del>Sharon Freer</del>	28 Farnam Lane, PC Fl. 32137	318-608-0760
65	David Oertel	(DAVID) 5 San Pedro (OERTEL) Lane PC Fl 32137	315-247-9393
66	Ken Allen	20 Kingfisher Ln. PC Fl 32137	703) 966-9075
67	Barbara Fuchs	13 Fairways Circle Palm Coast, Fl. 32137	386) 338-2605
68	Kevin Jones	14 Avalon Terrace PC Fl. 32137	386 445 3713
69	Jim Guzzaldo	63 Weymouth Lane P.C. Fl. 32164	386 864 3910
70	<del>Michael Schwartz</del> (Michael Schwartz)	11 Avedala Mer #1106, P.C. Fl 32137	952) 215-4377
71	Brenda Green	14 Avalon Terr. PC Fl 32137	386 445 3713



**100  
Reasons  
To Save**

**Whispering  
Meadows  
Ranch**

**RECEIVED**

**APR 06 2021**

**FLAGLER COUNTY  
PLANNING & ZONING DEPT**

# Reason #1: 13 years of community service

Whispering Meadows Ranch has served children with special needs and disabled veterans in our community for 13 years. During this time, multiple Flagler County officials have visited and participated in events supporting the non-profit Ranch.



## Reason #2: Not-for-profit charitable organization

Whispering Meadows Ranch is a not-for-profit, charitable organization under Section 501(c)(3) of the U.S. tax code. Until February 2021, its owners were not aware they were required to seek an exception for Semi-Public Use. Since being made aware, the Ranch's owners have fully cooperated with county officials to ensure compliance with requirements for Semi-Public Use.



# Technical Compliance

## Reason #3: Technical Compliance

Whispering Meadows Ranch owners have met with Flagler County Planning and Zoning technical staff and have ensured full compliance with technical requirements for Semi-Public Use of their property.

## Reason #4: Potable water available

Whispering Meadows Ranch maintains a supply of bottled drinking water for consumption by visitors.

## Reason #5: Compliant site plan

A site plan responsive to specifications of the Technical Review team was submitted by the Ranch.

## Reason #6: ADA-compliant restroom

Whispering Meadows has an ADA-compliant restroom on-site and a septic system that has been inspected and confirmed to be sufficient for Semi-Public Use.

## Reason #7: By appointment only

Whispering Meadows Ranch restricts visitors to those with appointments only.

## Reason #8: Restrictions in place

The Ranch submitted conditions specified by the TR team, including: restricted access, restricted days and hours of operation, and no on-street parking.

# A Good Neighbor

## **Reason #9: Quiet and non-disruptive**

The level and type of activity carried out at the ranch make it non-disruptive to the neighborhood. If you were to stand outside on any neighboring lot during a lesson, you would hear nothing or, at most, a sound like neighbor children playing in the yard in the distance.

## **Reason #10: Well-maintained property**

The owners of Whispering Meadows Ranch maintain a high standard of maintenance of their property. From the street, one only sees an attractive, neat driveway entrance. Inside the property, the grounds and buildings are always well maintained.

## **Reason #11: Inconspicuous**

Whispering Meadows Ranch is no more obtrusive to the neighborhood than its neighbors. Its entrance blends in with the surrounding neighborhood, echoing the same simple entrance style of its neighbors.

## **Reason #12: Privacy**

A minimum 3' border of natural and lush vegetation surrounding the Ranch ensures the privacy of both the Ranch and its neighbors.



# A Good Community Member

## **Reason #13: Flagler schools enrichment visits**

All Flagler County Public Schools have visited the Ranch for structured lesson plans and enrichment sessions throughout the years. The students included those with special needs working alongside their peers. The Ranch has never charged a fee for these visits while providing the expertise of its certified equine therapists, the use of its horses, and the work of its volunteers.

## **Reason #14: Training enrichment for occupational therapy and medical students**

Through partnerships with Daytona State, Florida State University and Keiser University, the Ranch hosts students seeking OT and medical degrees for educational enrichment purposes. The Ranch charges no fees for these students' experiences.

## **Reason #15: Furthering goals of the Florida Volunteer and Community Service Act**

As outlined in Florida Statutes, Title IV, Chapter 11, Whispering Meadows Ranch is aiding "the development of better communities by fostering greater civic responsibility through volunteerism and service to the community."



### Reason #16:

"Flagler County needs your [Whispering Meadows Ranch] program to continue to provide equine-assisted therapies and activities for those with special needs and disabilities. ...Our Board urges Flagler County to approve your application for semi-public use of land."

Susan Josey, President



### Reason #17:

"On behalf of the members and friends of Trinity Presbyterian Church of Palm Coast I wanted to...demonstrate our shared concern and our unwavering support for Whispering Meadows Ranch...[which is] reaching out to those who so desperately need to be reminded that they are unconditionally loved."

Rev. Dr. Jeffrey W. Beebe, Pastor



### Reason #18:

"What they [Whispering Meadows Ranch] provide for children and their families is extraordinary love and ministry. Whispering Meadows is a wonderful blessing to the Flagler County community."

Charles R. Silano, Senior Pastor

### Reason # 19:



"Our City, County and State would suffer a serious loss of a tremendous gift if such a wonderful and giving place was compromised or hindered in any way."

Kevin J. Ryan, District Deputy

### Reason #20:

"Children and adults with developmental disabilities, as well as our dear veterans and foster children have benefited from this equine therapy program...Whispering Meadows is the only program like this in Flagler County, and a very much needed one."

Hammock Community Church Women's Group

## Reason # 21:



**GratitudeAmerica**

*Gratitude America provides retreats for post-9/11 veterans to help combat veterans and their supporters make peace with their past so they can begin planning for their new mission at home.*

“Our partnership with Whispering Meadows is a unique therapeutic approach using horses as catalysts for emotional growth and learning. Equine Assisted Psychotherapy has shown to be effective in treating patients, including combat veterans, with PTSD, depression, anxiety. Our staff psychologists and their [Whispering Meadows’] highly trained equine therapists have worked together to create a fantastic program for the veterans we serve.”

Michael A. Anthony, CEO

Just a few of the hundreds who have benefited from Whispering Meadows Ranch's service to the community...



- Reason # 22: Casey
- Reason #23: Iskra
- Reason #24: Della
- Reason #25: Zach
- Reason #26: Joshy
- Reason #27: Eli
- Reason #28: Vito
- Reason #29: Colton
- Reason #30: Olivia
- Reason #31: Kara

**Reason #32: Gannon**

**Reason #33: Dawson**

**Reason #34: Avery**

**Reason #35: Patrick**

**Reason #36: Wolfi**

**Reason #37: Nicolas**

**Reason #38: Devin**

**Reason #39: Journey**

**Reason #40: Thomas**

**Reason #41: Tyler**

**Reason #42: Mikey**

**Reason # 43: Brandon**

**Reason #44: Anna**



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**Reason #45: Cory**

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**Reason #46: Riley**

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**Reason #47: Drew**

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**Reason #48: Wesley**

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**Reason #49: Chloe**

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**Reason #50: Avi**

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**Reason #51: Courtney**

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**Reason #52: Natalia**

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**Reason #53: Valerie**

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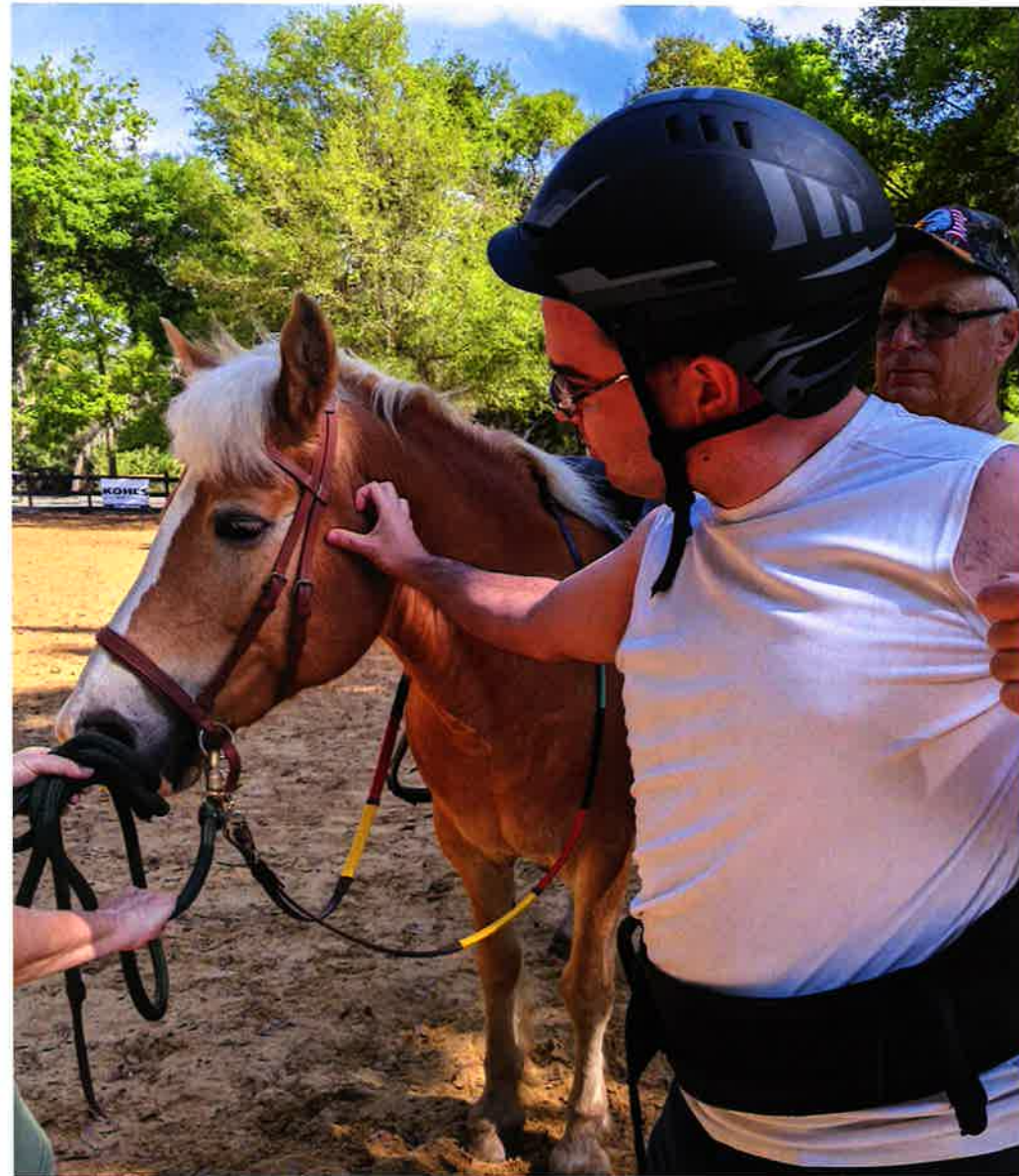
**Reason #54: Laila**

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**Reason #55: Benji**

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**Reason #56: Sage**



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**Reason #57: Noah**

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**Reason #58: Marley**

---

**Reason #59: Cailin**

---

**Reason #60: Morgan**

---

**Reason #61: Melissa**

---

**Reason #62: Aaron**

---

**Reason #63: Ella**

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**Reason #64: Emelia**

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**Reason #65: William**

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**Reason #66: Cheyenne**

---

**Reason #67: Matthew**

---

**Reason #68: AJ**



---

**Reason #69: Lolo**

---

**Reason #70: Christina**

---

**Reason #71: Grace**

---

**Reason #72: Toni**

---

**Reason #73: Tracie**

---

**Reason #74: Steve**

---

**Reason #75: Bradley**

---

**Reason #76: Dave**

---

**Reason #77: Anthony**

---

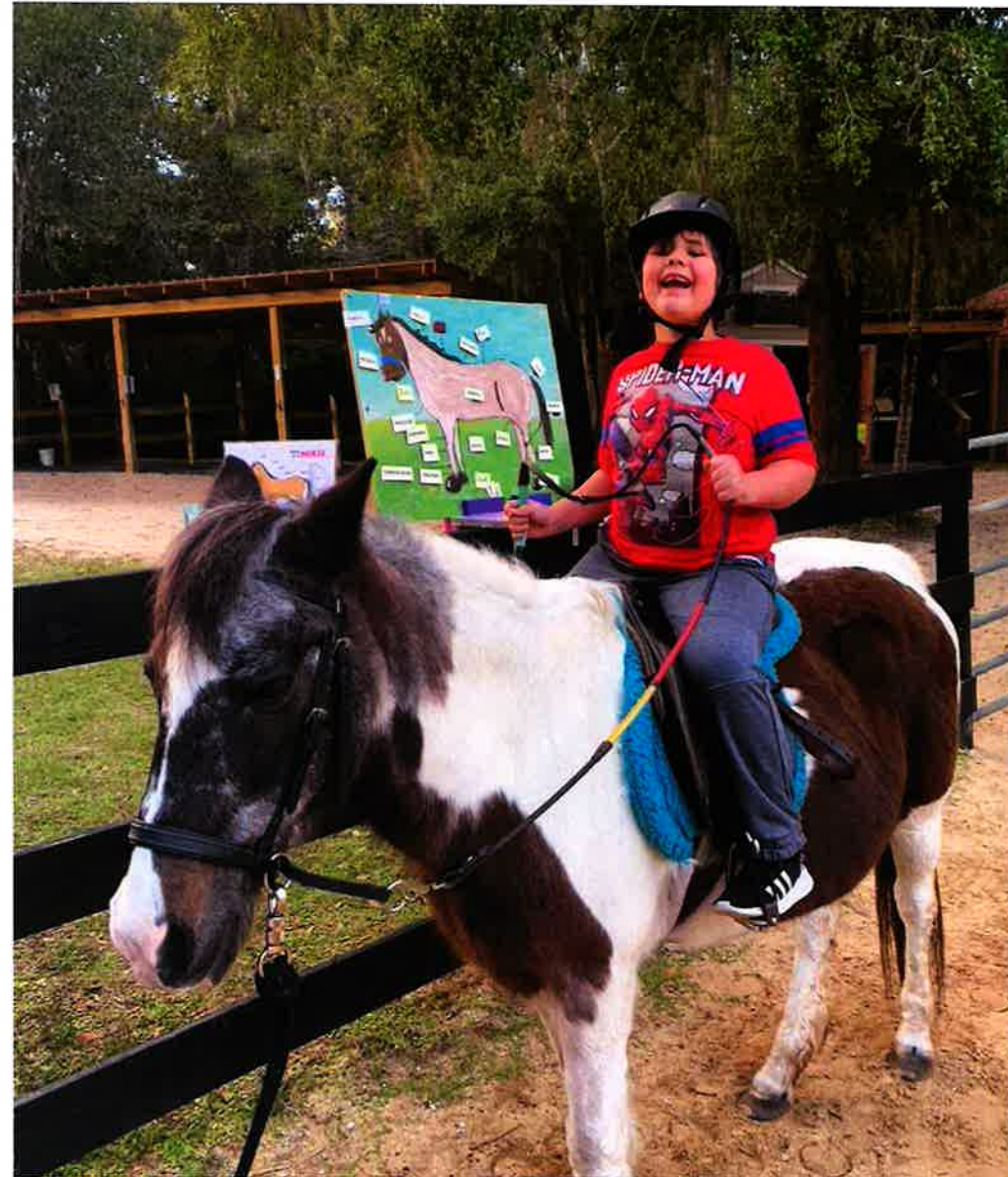
**Reason #78: Karen**

---

**Reason #79: Judy**

---

**Reason #80: Gail**





---

**Reason #81: Jacob**

---

**Reason #82: Hannah**

---

**Reason #83: Dale**

---

**Reason #84: Michelle**

---

**Reason #85: Charlie**

---

**Reason #86: Tiffany**

---

**Reason #87: Marlene**

---

**Reason #88: Cathy**

---

**Reason #89: Molly**

---

**Reason #90: Debbie**

---



# Citizens Speak Out...

*A small sampling from  
hundreds of comments  
from the community*

## Reason #91:

"So many children with disabilities need outlets to meet their creative needs; Whispering Meadows does this...Flagler County is uniquely gifted to have such a facility available to its citizens."

Sheila C. Platt

## Reason #92:

"I have seen individuals blossom beyond belief...for this Ranch not to be able to continue the way it is would be a tragedy to the community."

Kathy DiBenedetto

## Reason #93:

"Their simple operation is huge to the kids they serve. If you, or whoever lodged the complaint against them, have ever seen the good works they do, the happy faces on the kids and parents they serve, you'd never have the gall to try to stymie this endeavor."

Chris Calabrese

## Reason #94:

"Nothing but GOOD happens here [at the Ranch]...The Ranch is a huge asset to the area."

Judith Hucik

## Reason #95:

"Please ensure that Flagler County allows this 13-year-old ministry to continue to spread hope, joy and enrichment to its participants."

Ruth and Tom Leskovich

## Reason #96:

"WMR (Whispering Meadows Ranch) has also helped thousands of special needs children and their families, and if they were to have to discontinue their operation in Flagler Beach it would be a great loss to our community ... How would these parents be able to explain to their children that WMR is no longer available for them, knowing how much it has changed their lives? ...The [County] Commission would have an exceedingly difficult time explaining this and it would change the hearts and minds of the individuals in the community who have supported them."

Cathy Heigher, Gold Star Mother and  
Founder, Remembering VETS

# Citizens Speak Out *(cont'd)*

## Reason #97:

"Please don't take this ranch away...I have been caring for a special needs boy and he has been riding for about 10 years...[he] would be devastated if the Ranch were to close."

Kay Enea

## Reason #98:

"There is no other place or family in this community that opens their home or arms to individuals with disabilities as much as Whispering Meadows Ranch. My son Brandon has been going there since they first opened and I would hate to see such a wonderful place taken away from him."

Christina Blackburn

## Reason #99:

"As a retired US Navy Veteran, I was even more amazed at the Ranch's program for Veterans with PTSD...I am proud to be a small part of a big-hearted organization that is such a wonderful instrument of good for a portion of our community that deserves every lift up and helping hand we can provide."

Robert B. James, LCDR US Navy Retired

## Reason #100:

"The children grow on multiple planes, from developing improved ability to focus and follow instructions to improved ability to monitor their own behavior."

Molly Trenblay, retired physical therapist

Do the right thing.



Save  
Whispering  
Meadows  
Ranch

**From:** [rtvose@cfl.rr.com](mailto:rtvose@cfl.rr.com)  
**To:** [David Sullivan](#); [Andy Dance](#); [Gregory Hansen](#); [Joseph Mullins](#); [Donald O'Brien](#); [Jerry Cameron](#); [Al Hadeed](#); [Adam Mengel](#), [AICP](#), [LEED AP BD+C](#)  
**Subject:** Application #3239 Whispering Meadows  
**Date:** Tuesday, April 6, 2021 10:14:24 AM

---

**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

It has come to my attention that Application # 3239 will come before the Planning Board on April 13<sup>th</sup>. As a home owner in Bulow Woods, I want to you to know of my objection to the proposed change that would allow that property to be granted Semi-Public Use. Bulow Woods was established residential and should remain that way.

From the information I have gathered, the Davis's have been operating Whispering Meadows from the property without the Semi-Public Use designation. Before the Pandemic I have observed large gatherings of people, parked cars, buses and police cars at their events. If the application is approved, it will permit more events to take place. Whispering Meadows might be non-profit and use volunteers, but that does not make the events smaller or seem less commercial.

Please vote against the requested change.

Romeyn T. Vose

4016 John Anderson Hwy.

Flagler Beach, Florida

**From:** [Michael Chiumento III](#)  
**To:** [Adam Mengel, AICP, LEED AP BD+C](#)  
**Cc:** [Jerry Cameron](#); [Al Hadeed](#); [Timothy Conner - Conner & Bosch PA \(TJConner@cblpa.com\)](#); [Anthony Lombardo](#); [Mark Langello - M & M Development \(mark@buildmm.com\)](#); [Donald O'Brien](#); [Adam Harshaw](#); [Caroline McNeil](#)  
**Subject:** Davis Special Use Application #32391  
**Date:** Friday, April 9, 2021 10:36:34 AM  
**Attachments:** [Memo.County re Burek 04-09-21 with Exhibits.pdf](#)  
[image009.png](#)  
[image012.png](#)  
[image013.png](#)  
[image001.png](#)

---

**This email originated outside the Flagler County email system. DO NOT click any links or open any attachments unless you know the sender and know the content is safe.**

Adam, as we discussed, I represent the Mr. and Mrs. Burek who own property adjacent to the Davis property which is the subject of the above referenced application.

As outlined in the attached memo, we believe this application must be denied for many reasons including but not limited to: (1) the LDC prohibits the requested use since such use is permitted in the AG zoning District, (2) the LDC prohibits businesses to be operated on the property other than home office businesses, and (3) the use has an adverse effect on the neighboring residential properties as attested to by a Brokers Price Opinion showing at least a 10% decrease in property value.

Lastly, please understand that if the BOCC were to approve such a use, a precedent would be established allowing other businesses to operate on other properties in the vicinity.

In this light, we assert that the application should be denied. The County can no longer allow this business to avoid the law and now ....ask for forgives rather than permission.

Please forward this memo to the Planning Board members and BOCC.

**Michael D. Chiumento III**

Managing Partner



**Email:** [Michael3@LegalTeamForLife.com](mailto:Michael3@LegalTeamForLife.com)

**Website:** <http://www.LegalTeamForLife.com/>

Palm Coast, FL 32164  
T: (386) 445-8900 ext. 102  
F: (386) 445-6702

Ormond Beach, FL 32174



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---

**From:** Adam Harshaw <aharshaw@legalteamforlife.com>

**Sent:** Friday, April 9, 2021 10:10 AM

**To:** Michael Chiumento III <michael3@legalteamforlife.com>; Karolyn Sheekey <karolyn@legalteamforlife.com>

**Subject:** RE: Burek

## Adam Harshaw



**Email:** [AHarshaw@LegalTeamForLife.com](mailto:AHarshaw@LegalTeamForLife.com)

**Website:** <http://www.LegalTeamForLife.com/>

145 City Place, Suite 301  
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Ormond Beach, FL 32174



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---

**From:** Michael Chiumento III <[michael3@legalteamforlife.com](mailto:michael3@legalteamforlife.com)>  
**Sent:** Friday, April 9, 2021 10:05 AM  
**To:** Adam Harshaw <[aharshaw@legalteamforlife.com](mailto:aharshaw@legalteamforlife.com)>; Karolyn Sheekey <[karolyn@legalteamforlife.com](mailto:karolyn@legalteamforlife.com)>  
**Subject:** RE: Burek

Please put on our letterhead in memo format.

After send again in pdf.

**Michael D. Chiumento III**  
Managing Partner



**Email:** [Michael3@LegalTeamForLife.com](mailto:Michael3@LegalTeamForLife.com)  
**Website:** <http://www.LegalTeamForLife.com/>

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---

**From:** Adam Harshaw <[aharshaw@legalteamforlife.com](mailto:aharshaw@legalteamforlife.com)>  
**Sent:** Friday, April 9, 2021 10:00 AM  
**To:** Michael Chiumento III <[michael3@legalteamforlife.com](mailto:michael3@legalteamforlife.com)>  
**Subject:** RE: Burek

Here is the final memo pdf.

## Adam Harshaw



**Email:** [AHarshaw@LegalTeamForLife.com](mailto:AHarshaw@LegalTeamForLife.com)  
**Website:** <http://www.LegalTeamForLife.com/>

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---

**From:** Michael Chiumento III <[michael3@legalteamforlife.com](mailto:michael3@legalteamforlife.com)>  
**Sent:** Friday, April 9, 2021 9:43 AM  
**To:** Adam Harshaw <[aharshaw@legalteamforlife.com](mailto:aharshaw@legalteamforlife.com)>  
**Subject:** RE: Burek

Adam...this is final

1. Please make sure all your exhibits match.
2. Convert to pdf.
3. Send pdf to me and I will send out in final form.

This is the final work product.

## Michael D. Chiumento III

Managing Partner



**Email:** [Michael3@LegalTeamForLife.com](mailto:Michael3@LegalTeamForLife.com)

**Website:** <http://www.LegalTeamForLife.com/>

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---

**From:** Adam Harshaw <[aharshaw@legalteamforlife.com](mailto:aharshaw@legalteamforlife.com)>

**Sent:** Friday, April 9, 2021 9:23 AM

**To:** Michael Chiumento III <[michael3@legalteamforlife.com](mailto:michael3@legalteamforlife.com)>

**Subject:** Burek

**Adam Harshaw**



**Email:** [AHarshaw@LegalTeamForLife.com](mailto:AHarshaw@LegalTeamForLife.com)

**Website:** <http://www.LegalTeamForLife.com/>

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**Chiumento Law, PLLC**  
Michael D. Chiumento  
Michael D. Chiumento III  
Andrew C. Grant  
Vincent L. Sullivan  
Diane A. Vidal  
Art Zimmet  
Cynthia Lane



# CHIUMENTO LAW

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Fax: (386) 445-6702

*By Appointment Only:*  
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Ormond Beach, FL 32174

Michael D. Chiumento III  
Managing Member  
michael3@legalteamforlife.com

## MEMORANDUM

**TO:** Adam Mengel, Mr. Cameron, Mr. Hadeed, Planning Board Members and County Commissioners.

**CC:** Mr. & Mrs. Burek

**FROM:** Michael Chiumento III, Esq.

**RE:** Burek/Davis Semi-Public Use Application

**DATE:** April 9, 2021

---

*...ask for forgiveness rather than permission.*

### 1. INTRODUCTION.

- a. Property Owner: Richard and Mary Davis, H&W (“Davis”).
- b. Applicant: Richard and Mary Davis, H&W
- c. Semi-public user: Whispering Meadows Ranch, Inc. (“Corporation”)
- d. Application (Exhibit A):
  - i. Davis appears to be the owner of the Corporation. (Exhibit B) The Corporation has been in existence for more than 10 years. During this time, the Corporation has operated a horse riding stable on the Davis property despite the Davis’ obtaining a homestead exemption from Flagler County. It is not certain as to whether the Corporation has a lease with Davis to operate the business on the Davis’ property. It is not certain that the Davis’ declaration of homestead should be revoked since the Corporation is operating on the Davis property.
  - ii. For more than 10 years, the Corporation has operated on the Davis Property without County semi-public use approval provided in LDC 3.06.05.

## 2. THE LAW.

- a. The Flagler County Land Development Code (LDC) does not permit or contemplate businesses (other than home occupations) to operate in this residential area.
  - i. The Property is zoned R-1, Rural Residential (Exhibit C):
    1. The purpose and intent of the R-1, rural residential district is to provide a transition between the agricultural and urban single-family districts and to accommodate residential development in areas that are not serviced by central water and sanitary facilities.
    2. No businesses are permitted except:
      - a. Home occupation subject to 3.07.03(g) which must be incidental and secondary to the residential uses, or
      - b. Permitted Special Exceptions.
  - ii. Comp plan: Residential: Low Density /Rural Estate.
    1. Objective A.1.2: Flagler County shall eliminate or reduce uses of land within the County which are inconsistent with community character or desired future land uses. (Exhibit D)
    2. Policy A.1.2.3: Expansion and replacement of .existing land uses which are incompatible with the Future Land Use Element and Map plan shall be prohibited. (Exhibit E).
- b. (LDC 3.06.05). - Public, semi-public and special uses. (Exhibit F).
  - i. Public, semi-public, and special uses ***not specifically provided for in any planning district*** or in other provisions of this article shall be subject to the regulations of this article.
  - ii. Semipublic uses may be permitted in any land use district provided that *the semi-public body desiring such use makes the request*.
    1. The applicant is Mr. and Mrs. Davis.
    2. The Property is the homestead of Davis (Exhibit I).
    3. The Davis is requesting County approval to allow the Corporation to operate a horse riding stable on the Property despite being a permitted use in Ag zoned property.
    4. The applicant (Davis) is different from the user (Corporation)
      - a. Homestead violation?
      - b. Owner leasing to a business?
- c. (LDC 3.06.05.B) (Exhibit F): The Planning Board shall determine:
  - i. Whether or not such requested use is consistent with the adopted comprehensive plan and
  - ii. Whether the use is necessary or desirable to support projected community needs:
    1. Shall be such as not to be injurious to the health, safety, and welfare of the public; and
    2. Shall protect the existing character of the surrounding properties or neighborhoods.
  - iii. Shall consider the:

1. Impact of the proposed use on land development patterns,
  2. Important natural resources, and
  3. *Where applicable*, the cost effectiveness of service delivery
- iv. Whether the proposed use will impose **any substantial detrimental effects** on the living or working conditions in the neighborhood
  - v. Decision based in part on the submittal of a site plan showing site alterations, improvements to be made, and proposed buffers and conceptual landscaping plans.
  - vi. **If approved**, the planning board shall specify any requirements or conditions in the form of:
    1. Natural buffers, screening, landscaping, limited access or limited hours of operation or other site development restrictions that may be imposed by the planning board, and
    2. To protect the health, safety, and welfare of the public or surrounding property owners.

### 3. BASIS FOR DENIAL

- a. Prohibited since riding stable are permitted in other zoning districts.
  - i. (LDC 3.06.05) (Exhibit F)...only allows a semi-public and special uses if they are **not specifically provided for in any planning district**
    1. 3.03.02(B)(7) (Exhibit G) provides that horse farms and riding stables are specifically provided for and permitted as a matter of right in the AC, Agricultural zoning district
    2. Therefore, this applicant must be denied since the LDC provides for horse stable in another planning district.
- b. Applicant is not a semi-public entity.
  - i. Property Owner: Davis (Exhibit H).
  - ii. Property is Homestead (Exhibit I).
  - iii. Should not permit a homesteaded property owner lease their property to a business for operation.
- c. Inconsistent with LDC.
  - i. Although allowing horses and other farm animals is contemplated by the LDC, no businesses other than those specially stated in the code are allowed in this neighborhood.
  - ii. The only businesses allowed are home occupation business governed by the LDC or those two types permitted by special exception.
  - iii. Since riding stables are permitted in the Ag zoning district, such use is not permitted in the R1 zoning district.
- d. Inconsistent with Flagler County Comprehensive Plan.
  - i. Permitting a corporation to operate a riding stable on this property is “inconsistent with the community character” and should not permitted. Policy A.1.2.3 (Exhibit E):
  - ii. Moreover the Comp plan requires that such inconsistent uses should be eliminated. Objective A.1.2 (Exhibit D)
- e. CCR Violations (See Exhibit J)

- i. 1. Uses and Purposes – “No business, commercial or manufacturing enterprise of any nature shall be operated on any of the lots, nor shall any noxious or offensive activity be carried on upon any of the property; Nor shall anything be done which may be or become an annoyance or nuisance to the neighborhood.”
  - ii. 8. Animals – “Horses and household pets, only, will be allowed. No restrictions will be placed in the number allowed unless an excessive number becomes a public or health nuisance.”
  - iii. County cannot enforce private covenant and restrictions. Such is a private action.
  - iv. **HOWEVER**....As stated above, businesses are prohibited on this property. Permitting such would essentially require the adjacent property owners to file a lawsuit enforcing the CCRs. Therefore, by permitting such, the Planning Board would be complicit in forcing the adjacent homeowners to ask a judge for protection rather than the County’s Land Development Code.
- f. Substantial Detrimental effect on living conditions of neighborhood.
- i. Property Values
    - 1. There would be reduction in property values in the magnitude of 10-20%
    - 2. See attached BPO (See Exhibit K)
  - ii. Traffic
    - 1. Operating a business in the neighborhood would affect traffic
      - a. Ingress and Egress patters
      - b. Need for accel/decel lanes or maybe turn lanes.
- g. Impact on land development Patters
- i. Slippery Slope: If permitted then other business could be located on adjacent properties.
  - ii. Other non-profits: Homeless shelters, drug rehab, model airplane club, political organization headquarters.

4. CONCLUSION.

- a. The application should be denied because it violates provisions of the LDC, the County Comp Plan and private CCRs. Allowing such would promote individuals to ignore the County’s rules and regs. Moreover, if permitted any property owner in the area would be permitted to operate a semi-public use and therefore, adversely affecting the adjacent properties and character of community.

## **Exhibit A**





## APPLICATION FOR SEMI-PUBLIC USE

FLAGLER COUNTY, FLORIDA  
1789 E. Moody Boulevard, Suite 105  
Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 3239/

<b>PROPERTY OWNER(S)</b>	Name(s):	Richard + Mary Helene Davis		
	Mailing Address:	5011 John Anderson Hwy		
	City: Flagler Bch	State: FL	Zip: 32136	
	Telephone Number	386 439 3195	Fax Number	386 439 3195

RECEIVED  
JAN 19 2020  
FLAGLER COUNTY  
PLANNING & ZONING DEPT

<b>APPLICANT /AGENT</b>	Name(s):	Dennis Bayer		
	Mailing Address:	109 S. 6th St		
	City: Flagler Bch.	State: FL	Zip: 32136	
	Telephone Number	386 439 2332	Fax Number	386 439 6522
	Email Address	Dennis @ Bayer Legal. com		

<b>SUBJECT PROPERTY</b>	SITE LOCATION (street address):	5011 John Anderson Hwy	
	LEGAL DESCRIPTION: (briefly describe, do not use "see attached")	Bulow Woods Subdivision Unit 1 Lot 12	
	Parcel # (tax ID #):	37-12-31-0610-00000-0120	
	Parcel Size:	280' x 600' 4.25 acres	
	Current Zoning Classification:	R1	
	Current Future Land Use Designation:	Rural Estate	
	Subject to A1A Scenic Corridor IDO?	YES	<input type="radio"/> NO

Type of Use: single family

Mary Helene Davis  
Signature of Owner(s) or Applicant/Agent  
if Owner Authorization form attached

01/15/2021  
Date

**\*\*OFFICIAL USE ONLY\*\***

PLANNING BOARD RECOMMENDATION/ACTION:

APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

PLANNING BOARD RECOMMENDATION/ACTION:

APPROVED [ ]  
\*APPROVED WITH CONDITIONS [ ]  
DENIED [ ]

Signature of Chairman: \_\_\_\_\_

Date: \_\_\_\_\_ \*approved with conditions, see attached.

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application.

Rev. 01/08



**Owner's Authorization for Applicant/Agent**

FLAGLER COUNTY, FLORIDA  
1769 E. Moody Boulevard, Suite 105  
Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project # \_\_\_\_\_

Dennis K. Bayer \_\_\_\_\_, is hereby authorized TO ACT ON BEHALF  
OF Richard and Mary Helene Davis \_\_\_\_\_, the owner(s) of those lands described  
within the attached application, and as described in the attached deed or other such  
proof of ownership as may be required, in applying to Flagler County, Florida for an  
application for the Semi-Public Use Application for Richard and Mary Helene Davis \_\_\_\_\_.

(ALL PERSONS, WHO'S NAMES APPEAR ON THE DEED MUST SIGN)

By: Richard E Davis \_\_\_\_\_  
Signature of Owner

Richard Davis  
Printed Name of Owner / Title (if owner is corporation or partnership)

Mary Helene Davis \_\_\_\_\_  
Signature of Owner

Mary Helene Davis  
Printed Name of Owner

RECEIVED  
JAN 19 2020  
FLAGLER COUNTY  
PLANNING & ZONING DEPT

Address of Owner: \_\_\_\_\_ Telephone Number (incl. area code) \_\_\_\_\_

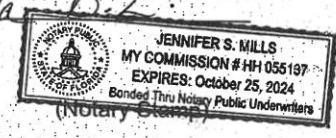
5011 John Anderson Highway \_\_\_\_\_ 386-439-3195 \_\_\_\_\_  
Mailing Address

Flagler Beach FL 32136  
City State Zip

STATE OF Florida  
COUNTY OF Flagler

The foregoing was acknowledged before me this 18th day of January,  
2021 by Richard Davis and Mary Helene Davis  
who is/are personally known to me or who has produced  
as identification, and who (did) / (did not) take an oath. Ma D

JSM \_\_\_\_\_  
Signature of Notary Public



<http://www.flaglercounty.org/doc/dpt/centprmt/landdev/owner%20auth.pdf>  
Revised 5/08

**Exhibit B**



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

### Detail by Entity Name

Florida Not For Profit Corporation  
WHISPERING MEADOWS RANCH, INC.

#### Filing Information

<b>Document Number</b>	N07000001544
<b>FEI/EIN Number</b>	20-8835282
<b>Date Filed</b>	02/12/2007
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	CANCEL ADM DISS/REV
<b>Event Date Filed</b>	04/27/2009
<b>Event Effective Date</b>	NONE

#### Principal Address

5011 JOHN ANDERSON HWY  
FLAGLER BEACH, FL 32136

Changed: 04/27/2009

#### Mailing Address

5011 JOHN ANDERSON HWY  
FLAGLER BEACH, FL 32136

Changed: 04/27/2009

#### Registered Agent Name & Address

BAYER, DENNIS KESQ  
109 SOUTH 6TH. STREET  
FLAGLER BEACH, FL 32136

Address Changed: 04/27/2009

#### Officer/Director Detail

##### **Name & Address**

##### **Title D**

DAVIS, RICHARD SR  
5011 JOHN ANDERSON HWY  
FLAGLER BEACH, FL 32136

##### **Title D**

search.sunbiz.org/Inquiry/CorporationSearch/SearchResultDetail?inquirytype=EntityName&directionType=Initial&searchNameOrder=WHISPERINGM... 1/2

## Exhibit C

## 3.03.04. - R-1—Rural residential district.

- A. *Purpose and intent.* The purpose and intent of the R-1, rural residential district is to provide a transition between the agricultural and urban single-family districts and to accommodate residential development in areas that are not serviced by central water and sanitary facilities.
- B. *Permitted principal uses and structures.* In the R-1 rural residential district no premises shall be used except for the following uses and their customary accessory uses or structures:
1. Single-family dwellings, but not mobile home dwellings.
  2. Recreation areas accessory to residential developments.
  3. Raising of crops and keeping of animals for personal use (not for resale), accessory to a single-family dwelling. The personal use restriction is not intended to apply to 4-H, FFA, or similar educational projects.
  4. Home occupations (subject to special exception regulations for home occupations as outlined in subsection 3.07.03G).
  5. Community residential homes, one (1) to six (6) persons.
  6. Short-term vacation rentals.
- C. *Permitted special exceptions.*
1. Cluster subdivisions.
  2. Nursing homes, boarding homes.
  3. Common household pet animal sanctuary/shelter facilities.
- D. *Dimensional requirements.*
1. Minimum lot size:  
Area—One (1) acre.  
Width—One hundred (100) feet.
  2. Minimum Setback Requirements for Structures:  
Front yard—Twenty-five (25) feet.  
Rear yard—Twenty (20) feet.  
Side yard interior lot—Ten (10) feet.  
Abutting any street—Twenty-five (25) feet.
  3. Maximum building height—Thirty-five (35) feet.
  4. Maximum lot coverage: The total lot area covered with principal and accessory buildings shall not exceed thirty (30) percent.
  5. Minimum pervious area: Fifty (50) percent.
  6. Minimum living area: Seven hundred fifty (750) square feet.
- E. *Off-street parking and loading requirements.* Off-street parking and loading space meeting the

## **Exhibit D**

**Policy A.1.1.2:** Land development activity and regulations which implement the Comprehensive Plan shall be based on and be consistent with the following maximum intensity and density standards:

Non-residential Future Land Use Map categories provide a maximum floor area ratio (FAR). FAR represents the gross floor area of all buildings on a parcel divided by the parcel area. Impervious surfaces include buildings, paving or other improvements that prevent absorption of stormwater into the soil surface below:

**Table A.1 Non-Residential Intensity Standards**

Land Use	FAR	Max. Impervious Area
Commercial Low Intensity	0.30	60%
Commercial High Intensity	0.40	70%
Industrial	0.45	70%

Flagler County shall continue to implement the following densities and intensities for residential Future Land Use Map categories through the adopted Land Development Regulations (LDRs):

**Table A.2 Residential Density Standards**

Land Use	Density (units per gross acre)
Residential Low Density/Rural Estate	1
Residential Low Density	1 to 3
Residential Medium Density	3.1 to 7.0
Residential High Density	7.1 to 10.0

**Policy A.1.1.2.a3:** The location and extent of low intensity and high intensity mixed land use categories in accordance with the Future Land Use Map and the policies and descriptions of type, sizes, densities, and intensities of land use are outlined below:

(1a-) Types of uses allowed in each mixed use category:

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## **Exhibit E**

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assessment of existing lots of records that do not comply with currently adopted dimension requirements as established in the Land Development Regulations (LDRs). The County shall use this analysis in forming amendments to the regulations to address the problems of lands which are platted, but possess limitations to development based upon inadequate public facilities and services, substandard lot configurations, or environmental constraints.

**Policy A.1.2.2:** The Flagler County Planning and Zoning Department shall maintain consistency between the Land Development ~~Code~~ Regulations (LDRs) and the Comprehensive Plan by the following means:

- (1) Parcels being considered for amendment to the Future Land Use ~~Map~~ shall be concurrently evaluated for rezoning to the most appropriate zoning district.
- (2) Parcels seeking site plan approval shall continue to be designed, developed and used for activities allowed by the appropriate zoning district.
- (3) Property owners will be asked to conform to pending land use/zoning regulations as they request development approval.

**Policy A.1.2.3:** Expansion and replacement of existing land uses which are incompatible with the ~~Future Land Use~~ Element and Map ~~plan~~ shall be prohibited.

**Policy A.1.2.4:** The Flagler County Land Development Code Regulations (LDRs) continue to recognize non-conforming land uses and non-conforming lots of record, provide for their legal status and provide for the conversion of such situations to conforming land uses, where possible.

## 3.06.05. - Public, semi-public and special uses.

- A. *Application.* All public, semi-public and special uses not specifically provided for in any planning district or in other provisions of this article shall be subject to the regulations of this article.
- B. *Public and semipublic uses.* Public and semipublic uses excluding special uses as defined by this Article, may be permitted as follows:
1. Any public or semipublic uses may be permitted in any land use district provided that the request for such use is officially made to the planning board by the public body or semipublic body desiring such use. The planning board shall determine whether or not such requested use is consistent with the adopted comprehensive plan and whether the use is necessary or desirable to support projected community needs. Public or semi-public uses and structures determined to be consistent with the comprehensive plan and necessary or desirable may be located in any land use district upon recommendation of the planning board, based in part on the submittal of a site plan showing site alterations, improvements to be made, and proposed buffers and conceptual landscaping plans. The site plan need not be engineered. The permitted location of public or semi-public uses or structures shall be such as not to be injurious to the health, safety and welfare of the public and shall protect the existing character of the surrounding properties or neighborhoods. The planning board shall consider the impact of the proposed use on land development patterns, on important natural resources, and, where applicable, the cost effectiveness of service delivery. The planning board also shall determine whether the proposed use will impose any substantial detrimental effects on the living or working conditions in the neighborhood. If approved, the planning board shall specify any requirements or conditions in the form of natural buffers, screening, landscaping, limited access or limited hours of operation or other site development restrictions that may be imposed by the planning board to protect the health, safety and welfare of the public or surrounding property owners. The planning board's recommendation, and the reasons therefor, shall be forwarded to the county commission for its review and decision.
  2. Public or semipublic uses existing at the time of the effective date of this article and as indicated on the Land Use Map of 1985 are hereby legally established as conforming public and semipublic uses. Modifications that involve additional structures or improvements on existing or approved sites shall require site plan review by the planning board. Expansion of public or semi-public uses which include additional land shall require reapplication and meet all requirements under this [section 3.06.05](#).
- C. *Special uses.* Special uses may be permitted as follows:
1. Essential public and private utility installations may be permitted in any land use district. Essential utility services are hereby defined as installations which distribute water, sewer, gas, telephone, electricity, stormwater runoff, cable TV and similar utility services, but excluding major installations such as electrical or gas generating plants, water and sewage treatment plants, and other similar major installations (see subsection 3.05.05C.2). Any such installations shall be reviewed and approved by the county engineering department and shall be subject to any applicable present or future ordinances governing use of the county right-of-way.
  2. Major utility installations, including telephone and telegraph buildings over 1,000 square feet, electric transmission lines exceeding 115KV, natural and artificial gas production plants, radio and television stations and towers, water and sewer treatment plants, rapid infiltration basins, off-site potable water storage tanks, sewage and sludge disposal sites, electronic transmissions towers, wellfield installations and such similar major utility installations, may be permitted in any district, provided that application is made to the planning board for its review and recommendations to the county commission.

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## **Exhibit G**

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## 3.03.02. - AC—Agriculture district.

- A. *Purpose and intent.* The purpose and intent of the AC—Agriculture district is to preserve valuable agricultural/forestry land for those uses, and to protect land best suited for agricultural/forestry uses from the encroachment of incompatible land uses.
- B. *Permitted principal uses and structures.* In the AC-agriculture district, no premises shall be used except for the following uses and their customary accessory uses or structures:
1. Single family dwellings or mobile homes.
  2. All bona fide agricultural/forestry pursuits, including dairies and dairy products, livestock, poultry, horticultural products which are raised on the premises. However, sales shall be permitted only from structures on private property conforming to all applicable codes or regulations.
  3. Agriculture, forestry, livestock and poultry production. All domesticated animals (except those generally recognized as pets) shall be kept in a fenced area, structure, pen or corral. No structure (excluding fenced areas) containing poultry or livestock and no storage of manure or odor- or dustproducing substance or use shall be located within one hundred (100) feet of a district boundary.
  4. Agriculture or farming, including horticulture, plant nurseries, market gardening, field crops and orchards and home gardens, provided no structure (excluding fenced areas) containing odor- or dustproducing materials, shall be located within one hundred (100) feet of a property or district boundary.
  5. Cemeteries.
  6. Home occupations (subject to special exception regulations for home occupations as outlined in subsection 3.07.03G).
  7. Horse farms and riding stables.
  8. Aquaculture.
  9. Fish farming.
  10. Short-term vacation rentals.
- C. *Permitted special exceptions.*
1. Guest/servant quarters.
  2. Animal hospitals, veterinary clinics, kennels.
  3. Automotive repair.
  4. Feed and seed processing, storage, retail or wholesale sales.
  5. Junk yards, provided no such operation shall be permitted to be located closer than one thousand five hundred (1,500) feet to a residential district and no closer than one thousand (1,000) feet to any property line. Operations shall be fenced for safety purposes and screened from view from adjacent property and roadways.

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## **Exhibit H**

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Prepared by and Return to:  
Robin Ammann  
FLAGLER COUNTY ABSTRACT CO.  
305 E. Moody Blvd. -P.O. Box 398  
Bunnell, FL 32110  
SS# - GRANTEE 1: - -

DOC NO: 99002565 DATE: 2/05/1999  
DOC STAMP-DEED : 9483.00  
SYD CROSBY, FLAGLER COUNTY  
BY: M. Stevens D.C. 3:19

DOC NO: 99002565 DATE: 2/05/1999  
OFF REC: 642 PAGE: 1429

[Space Above This Line for Recording Data]

### WARRANTY DEED

File No. 104002

THIS INDENTURE, made this 30 day of January, A.D. 1999 between  
Emidio F. Ramada and Deolinda M. Ramada, husband and wife

as Grantor\*, whose address is: 7 Britewood Lane, Branford, CT 06405  
and

Richard E. Davis and Mary Helene Davis, husband and wife  
as Grantee\*, whose address is: 1541 N. Oceanshore Blvd., Flagler Beach, FL 32136

✓ WITNESSETH: That the Grantors, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations to said grantors in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of Flagler, State of Florida, to-wit:

Lot 12, Bulow Woods, Unit 1, a subdivision according to the plat or map thereof described in Plat Book 26, at page(s) 17 and 18, of the Public Records of Flagler County, Florida.

SUBJECT TO THE FOLLOWING: Taxes for the year 1998 and subsequent years. Restrictions, Covenants, Easements, Dedications, Reservations, Resolutions and Conditions of record, if any. Balances due on utility assessments, if any.

GRANTOR WARRANTS THAT THIS IS NOT HOMESTEAD PROPERTY.

Property Tax ID Number: 37-12-31-0610-00000-0120

SUBJECT TO easements, restrictions and reservations of record, if any, and taxes for 1999 and subsequent years.

Said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

\*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Witnesses  
✓ (SIGN HERE 1) Maria Guidone  
✓ PRINT OR TYPE NAME: Maria Guidone  
✓ (SIGN HERE 2) Thomas C. Brown  
✓ PRINT OR TYPE NAME: Thomas C. Brown

✓ Emidio Ramada  
Emidio F. Ramada  
✓ Deolinda M. Ramada  
Deolinda M. Ramada

2 DIFFERENT WITNESSES

State of Connecticut  
County of New Haven

The foregoing instrument was acknowledged before me on this 30 day of January, 1999 by Emidio F. Ramada and Deolinda M. Ramada, husband and wife, who is known to me or who has produced passport photos as identification and did not take an oath.

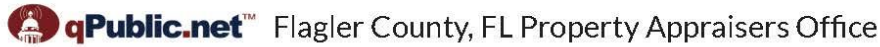
✓ Lisa Brown  
NOTARY PUBLIC  
PRINT OR TYPE NAME: Lisa Brown

My Commission Expires: Lisa Brown (SEAL)  
NOTARY PUBLIC  
MY COMMISSION EXPIRES MAY 31, 2003

SEAL AND EXPIRATION DATE



## Exhibit I



### Owner Information

**Primary Owner**  
Davis Richard E &  
Mary Helene Davis H&W  
5011 John Anderson Hwy  
Flagler Beach, FL 32136

### Parcel Summary

**Parcel ID** 37-12-31-0610-00000-0120  
**Location** 5011 JOHN ANDERSON HWY  
**Address** FLAGLER BEACH, FL 32136  
**Brief Tax Description\*** BULOW WOODS UNIT #1 LOT 12 & 1/24 INTEREST IN LOT 19-A OR 138 PG 73-QC OR 138 PG 74 OR 161 PG 539 OR 294 PG 834 OR 350 PG 507 OR 415 PG 330 OR 642 PG 1429 OR 1510 PG 1506  
*(Note: \*The Description above is not to be used on legal documents.)*  
**Property Use Code** SINGLE FAMILY (000100)  
**Tax District** UNINCORPORATED AREA WITH MOSQUITO CONTROL (District 1)  
**Millage Rate** 15.3059  
**Acreage** 4.250  
**Homestead** Y  
**Feet (GIS)** 237,223.381

[View Map](#)

### Valuation

	2020 Certified Values	2019 Certified Values	2018 Certified Values
Building Value	\$194,489	\$194,489	\$175,980
Extra Features Value	\$16,568	\$16,568	\$16,341
Land Value	\$90,000	\$81,600	\$72,000
Land Agricultural Value	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0
Just (Market) Value	\$301,057	\$292,657	\$264,321
Assessed Value	\$223,176	\$218,158	\$214,090
Exempt Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$173,176	\$168,158	\$164,090
Protected Value	\$77,881	\$74,499	\$50,231

Current Exemptions on this parcel:  
HX - HOMESTEAD

\*Just (Market) Value\* description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### Historical Assessments

#### 2020 TRIM Notice

[TRIM Notice \(PDF\)](#)

#### Residential Buildings

**Building** 1  
**Type** SINGLE FAM  
**Total Area** 3,702  
**Living Area** 2,613  
**Exterior Walls** VINYL SIDI  
**Roof Cover** ASP/COM SH  
**Interior Walls** DRYWALL  
**Frame Type** WOOD FRAME  
**Floor Cover** CARPET-HARDWOOD  
**Heat** FO AIR DCT  
**Air Conditioning** CENTRAL  
**Baths** 3  
**Year Built** 1999  
**Effective Year Built** 1999

#### Sketches

## Exhibit J

THIS INSTRUMENT PREPARED BY:  
C.G. Phillips ✓  
834 Carswell Avenue  
Holly Hill, Florida 32017

REC. 096 PAGE 0616

PROTECTIVE COVENANTS AND RESTRICTIONS  
FOR  
BULOW WOODS UNIT #1, INC.

Declaror does hereby declare and establish the Protective Covenants and Restrictions hereinafter set forth upon the following described lands in Flagler County, Florida, to-wit:

A portion of Lot 7, Bulow Grant, said Grant being in Section 38, Township 12 South, Range 31 East and Section 37, Township 12 South, Range 32 East, Flagler County, Florida being more particularly described as follows: The Westerly 1320 feet of said Lot 7 that lies Easterly of the Easterly Right-of-Way line of John Anderson Highway (a 100 foot Right-of-Way) with the Easterly line of said Westerly 1320 feet being parallel to and measured at Right angles to said John Anderson Highway, containing 78.77 acres. The Grantor also grants a temporary easement over all of the canals located on the following described property as of this date, to-wit: Lots 13 through 24 inclusive and Lot 19A, Bulow Woods Unit #1 Subdivision as recorded in Plat Book 26 Page 18, Public Records of Flagler County, Florida and a portion of said Lot 7, Bulow Grant, being in Sections 38, Township 12 South, Range 31 East and in Section 37, Township 12 South, Range 32 East described as follows: Also included in the temporary easement is: That portion of said Lot 7 that lies Easterly of the Westerly 1320 feet lying Easterly of John Anderson Highway (a 100 foot Right-of-Way), said parcel containing approximately 88 acres. This easement is temporary and may be used by the Grantees, their heirs and assigns, so long as it does not interfere with the Grantor's use of said property for developmental purposes. In the event Grantor develops any portion of said property granted for an easement above, the easement herein as to that portion of the property shall terminate. The Grantor grants a permanent easement to the residents of Bulow Woods Unit #1 Subdivision to the private drive located on the Southerly 30 feet of Lots 7 and 19 and the permanent private Recreation area designated as Lot 19A on the plat. The Grantor may grant a concurrent permanent easement to other residents residing in that portion of Lot 7, Bulow Grant, lying East of Bulow Creek.

These restrictions will in no way interfere with the normal living of responsible neighbors, but are designed to fully insure the value of the buyer's investment. The covenants are to run with the land and shall be binding on all parties claiming under them for a period of thirty (30) years from the date hereof, after which said covenants shall be automatically extended for successive periods of ten (10) years, unless an instrument signed by a majority of the then record owners has been recorded agreeing to change the covenants in whole or in part.

The subject property, in addition to the covenants and restrictions contained herein, are conveyed and subject to all present and future rules and regulations of the County of Flagler, State of Florida, if any, relative to zoning and construction.

OFF. REC. 096 PAGE 0617

1. USES AND PURPOSES

The subject lots shall not be subdivided and only one family dwelling unit per lot shall be permitted. No business, commercial or manufacturing enterprise of any nature shall be operated on any of the lots, nor shall any noxious or offensive activity be carried on upon any of the property; nor shall anything be done which may be or become an annoyance or nuisance to the neighborhood. Except for a reasonable period during actual construction of a residence, no trailer, tent, shack or other structure shall be erected or used upon any of the property, and in no event shall such structure be used as living quarters, temporary or permanent.

2. SQUARE FOOTAGE, SETBACKS, MATERIAL

Minimum house square footage shall be 1,200 square feet of enclosed living area. Ranch style, rough stained wood, glass, brick, and native stone exteriors are encouraged. Construction of houses must be completed within one year from commencement. Setbacks shall be 50 feet minimum from any street and 25 feet minimum from any other property line. No fencing along John Anderson Highway nor within 200 feet of the Easterly Right-of-Way of John Anderson Highway shall be made of barbed wire, hog wire, chicken wire, or chain link or like materials. Cypress, rough hewn, or wooden decorative fences will be allowed in these areas.

3. EASEMENTS

All easements shall be perpetual in duration.

Utility easements shall be defined as easements for installation, construction, reconstruction, maintenance, repair, operation and inspection of sewer, water, drainage, electric, gas, telephone, cable television or other necessary utilities. There shall be a 10 foot utility easement along the front, rear and side lines of the subject property.

The Declaror at all times shall have the right of ingress and egress over the aforesaid easements.

No structure, planting or other material shall be placed or permitted to remain which may cause inaccessibility of utilities within said easements. No fencing shall be permitted within the rear 10 feet. The landscaping and maintenance of the easment area, however, shall be maintained by the owner of the property.

4. MINING

No drilling or mining operations shall be carried on or permitted upon any lot, with the exception of drilling for water purposes.

5. NUISANCES

All homes, structures, fences, lawns, etc., shall be maintained in a neat and orderly manner at all times. Unused parked vehicles, refuse piles, debris, trash, scrap metal, or other unsightly objects will not be permitted. All exterior garbage containers shall be screened from view of adjoining property owners and road.

6. TRAILERS

Mobile homes will not be allowed under any conditions. Travel trailers, campers or motor homes may not be used for permanent or temporary living purposes.

7. WATER, SEWER, TELEPHONE, ELECTRIC

Water and sewer systems will be individually supplied by lot owners. They must be permitted by governing agency prior to

DIFF. 096 PAGE 0618  
REC.

installations. Telephone and electric service may be obtained individually from Southern Bell Telephone Company and the Florida Power and Light Company respectively.

8. ANIMALS

Horses and household pets, only, will be allowed. No restrictions will be placed in the number allowed unless an excessive number becomes a public or health nuisance.

9. ENFORCEMENT

In the event of a violation of these covenats, it shall be lawful for the Declaror, the property owners association or any person or persons owning a parcel within the subdivision to prosecute any proceedings at low or in equity to enforce these covenats or to recover damages for the violation of same. The prevailing party shall be entitled to reasonable attorneys fees.

10. SEVERABILITY

If any one or more of these restrictions should be declared invalid by a Court of competent jurisdiction, the remaining restrictions not fully expressly held to be invalid shall continue unimpaired and in full force and effect.

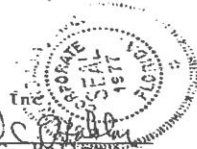
IN WITNESS WHEREOF, Declaror has executed these Protective Covenants and Restrictions this 18 day of Novr, 1977, 1977.

Signed, sealed and delivered in the presence of:

*Richard C. Hollar*  
*[Signature]*

Bulow Woods, Inc

BY: *Richard C. Hollar*  
Richard C. Hollar,  
President



STATE OF FLORIDA  
COUNTY OF VOLUSIA

I HEREBY CERTIFY that on this day before me, on office duly qualified to take acknowledgments, personally appeared Richard C. Hollar, President of Bulow Woods, Inc., a Florida Corporation to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 18 day of November, 1977.

*[Signature]*  
NOTARY PUBLIC



NO. 77-05136  
FILED AND RECORDED  
P.R. BOOK 8 PAGE 616  
MAY 24 1977  
77 NOV 18  
SHERIFF OF VOLUSIA COUNTY  
CLERK CIVIL DIVISION  
FLAGLER COUNTY, FLORIDA  
Expires: \_\_\_\_\_



## Exhibit K



April 7, 2021

Adam Mengel, Growth Management Director,

I have been asked to comment and prepare a Broker's Opinion of Value concerning the 6.7 acre vacant parcel at 5013 John Anderson Drive, Flagler Beach FL 32136.

This homesite is currently active for sale and has had an accepted offer. The buyers cancelled their purchase when they discovered an active non-profit business operating as a riding stable on the adjacent property at 5011 John Anderson Drive. Whispering Meadows Ranch is a non-profit business operating a horse farm and riding stables for people with disabilities and special needs.

This operating not-for-profit business has already had an adverse effect in value for adjacent properties. It has caused the loss of income for the above sellers of their property due to the loss of a valid contract.

If this non-profit business is permitted to remain, it has potential to cause a diminution of value to adjacent properties of 10-20 percent.

Thank you.

A handwritten signature in blue ink, appearing to read 'David W. Franklin'.

David W. Franklin  
Branch Manager  
Coldwell Banker Realty

Flagler/Palm Coast | Volusia/Daytona

11 Hammock Beach Parkway | Palm Coast, FL 32137 | (281) 525-5580

ColdwellBankerHomes.com

©2021 Coldwell Banker Realty

Good afternoon Kristine,

I wanted to reach out to you and express my heart-felt gratitude and appreciation for the entire Whispering Meadows family. I, as a licensed mental health counselor and board-certified behavior analyst, have had the privilege to see, firsthand, how you have helped children in our communities.

I have referred numerous clients to Whispering Meadows Ranch for assistance with behaviorally based diagnoses as well as children that are struggling with mental and emotional health issues.

Across the board I have heard nothing but positive feedback and responses from parents and caregivers as well as from clients themselves. I have been able to watch these children grow within themselves while at the ranch (through volunteering and mentoring) as well as see the positive changes begin to generalize to environments outside of the ranch. The life skills, acceptance, and most importantly the unconditional love and acceptance the children feel from the horses and staff is immeasurable.

It is my hope that children and their families, veterans, and those with disabilities will be able to benefit from the amazing therapies and gifts offered at Whispering Meadows Ranch for years to come.

Kindest Regards,

Courtney Mahairas, MA, NCC, LMHC, BCBA, ITDS

January 19, 2021

Lanny D. Hamilton

Susan S. Hamilton

47 Eagle Harbor Trail

Palm Coast, FL 32164

To Whom It May Concern:

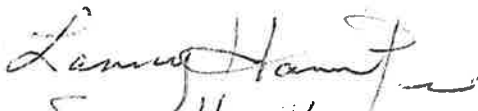

This letter is being written to let you know that we totally support Whispering Meadows Ranch in Flagler Beach, Florida. We have heard that they are being called a business and we want you to know that this is a non-profit ministry dedicated to helping disabled children and adults.

We have a 34 year old son, Drew Hamilton, with Down Syndrome that attends this ranch. He benefits from physical therapy while taking riding lessons along with increasing communication and directional skills. He experiences pure joy during his time there and looks forward every week to going to the ranch to ride "his" horse, Star. He adores Mr. and Mrs. D (which he calls Mr. and Mrs. Davis) and Kristine Aguirre.

This ranch was an answer to our prayers when we were searching for a way for Drew to be involved in the Palm Coast Community. They are a wonderful group of people and accomplish amazing results with many, many people with disabilities. If this organization could not continue to serve our community, it would have a devastating effect on my son, our family, and many, many other families in our surrounding area.

Please do NOT allow anyone or anything to cause this mission of God to come to an end!!!

Sincerely,

Lanny Hamilton   
Susan Hamilton 



1/22/21

To whom this may concern,

I am writing in support of the Whispering Meadows Ranch, and what it means to our family. My granddaughter with special needs has been a participant in this amazing program for 9 years. The benefits provided are vast and have been great for her. Having had several heart surgeries has left her with a weak core. The exercises performed with equine therapy have been close to miraculous. Children with behavioral problems, as many with special needs have, are of significance as well. Having to control this enormous and beautiful animal through listening and following commands, gives them a wonderful sense of pride and boosts self esteem-something most kids clearly lack. The additional experiences the ranch provides for these kids, such as gardening, a music center, tactical areas and the love of nature is calming and joyful. The staff of volunteers are amongst the most compassionate on the face of the earth.

I recently moved into the neighborhood. In fact my property meets the Davis property along our southern edge of 132'. We moved here in late July and I can attest to the fact that Whispering Meadows Ranch is not a distraction nor is there excessive noise. We rarely hear noise from there. So this is NOT an issue to be addressed as far as we are concerned. To consider this a business in my eyes, is not accurate.

There are so few opportunities for people with disabilities to participate in within our county. It truly would be an injustice for these lovely people to lose this incredible experience. I pray you will seriously consider granting this application for "semi-public use of land" for Whispering Meadows Ranch so this program will be able continue. Please feel free to contact us if we can offer further insight or give input of any kind to expedite your decision.

Respectfully,

The Anderson Family  
45 Bulow Woods Circle  
Flagler Beach, Fl 32136

386-439-3951

An

DEAR DAVIS FAMILY,

I DON'T HAVE A PRINTER,  
SO HOPEFULLY A HANDWRITTEN  
LETTER WILL DO. I'VE ADMIRERD  
THE PRESENCE OF WHISPERING  
MEADOWS ON MY STREET FOR AS  
LONG AS I CAN REMEMBER.

MY FAMILY HAS BEEN HERE  
ALMOST FORTY YEARS, AND YOUR  
PROGRAM IS A TRUE GEM  
OF OUR STREET. WE WISH YOU  
THE BEST OF LUCK WITH THIS NEW  
CHALLENGE, AND WILL PRAY THAT  
WHISPERING MEADOWS REMAINS  
ALIVE AND WELL. - THE MYERS FAMILY

TO WHOM IT MAY CONCERN

WHISPERING MEADOWS RANCH

HERE ARE SOME FACTS THAT ARE PUBLIC. THE LAND BEHIND THE RANCH AT 5013 JOHN ANDERSON HWY WENT UP FOR SALE. IS OWNED BY MR+MRS JOHN BUREK. THEY HAD A CONTRACT ON THE LAND, BUT THE PARTY BACKED OUT. THE REASON WAS THAT THE RANCH WAS RUNNING A BUSINESS.

FACT

THE REALTOR IS COLDWELL BANKER. THE AGENT IS LISA GARDNER  
THIS INFORMATION IS ON THE FOR SALE SIGN.  
LISAGARDNER RE@GMAIL.COM

FACT

THE OWNERS OF THE PROPERTY MR+MRS JOHN BUREK ARE THE ONES WHO FILED THE COMPLAINT WITH THE COUNTY ABOUT THE RANCH RUNNING A BUSINESS. (NOT THE NEIGHBORS). THE OWNERS AND MAYBE A COUPLE OTHERS WANT TO SHUT THE RANCH DOWN. HERE IS THE ADDRESS OF THE OWNERS. JOHN+REDEMPTA BUREK  
74 RIVER TRAIL  
PALM COAST FL. 32187

RUMOR

A LAWSUIT MAY BE COMING DOWN THE ROAD ON RICHARD AND HELENE DAVIS, THE PROPERTY OWNERS, THAT WHISPERING MEADOWS RANCH OPERATES ON. REASON THEY ARE ALLOWING A BUSINESS TO RUN ON THEIR PROPERTY.

COMMISSIONERS GREG HANSEN #2 - DAVID SULLIVAN #3 - ANDY DANCE #1

JOSEPH MULLINS #4

DAVID O'BRIEN JR #5

FLAGLER COUNTY COMMISSIONERS

ATT. - - - - -

1769 E MOODY BLVD

BUNNELL FL. 32110

FLAGLER COUNTY BUILDING DEPT. 386-313-4002

FLAGLER COUNTY PLANNING DEPT. 386-313-4009

FLAGLER COUNTY DEVELOPMENT 386-313-4082

{ STATE REP. PAUL RENNERT DIST 24  
4847 N.W. PARKWAY  
PALM COAST FL 32137

FLAGLER COUNTY ATTORNEY

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1769 E MOODY BLVD

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COMMISSIONER GREG HANSON IN A PRIVATE MEETING ON 1/17/21 WED. WHEN THE QUESTION WAS BROUGHT UP, DO YOU KNOW ABOUT WHISPERING MEADOWS RANCH? THE REPLY WAS, YES I KNOW THEM. FRIENDS OF MINE LOST THEIR COMMISSION ON A PIECE OF PROPERTY NEXT TO THEM. HE WENT ON TO LET THEM KNOW HIS DISPLEASURE ON THE MATTER, AND THAT HE WOULD LIKE TO SEE THE RANCH SHUT DOWN. FRIENDS PLURAL. WHO COULD THAT BE. ???

FACT CONKLIN WHICH IS A SCHOOL BOARD MEMBER POSTED ON FACEBOOK. PEOPLE NEED TO WRITE LETTERS TO THE COMMISSIONERS NOW IN SUPPORT OF THE RANCH. AS YOU KNOW THERE ARE OTHER WAYS OF CONTACTING THEM

FACT IN THE FUTURE WE WILL KEEP YOU UPDATED ON THE FACTS. WE WILL GIVE YOU ALL OF THE NAMES OF THE PEOPLE AND EVERYTHING THEY HAVE SAID AGAINST THE RANCH. IT'S CALLED TRANSPARENCY. YOU WILL KNOW THEIR HEARTS.