

**FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS
GENERAL BUSINESS / AGENDA ITEM # 14**

SUBJECT: Approval of: 1. Exhibit J, Guaranteed Maximum Price Amendment to the Construction Management Services Agreement between Flagler County and Allstate Construction, Inc. for Construction Phase Related Services in the Amount of \$16,442,282, as well as establishing Construction Management Fees and General Conditions as part of the Guaranteed Maximum Price; 2. An Owner's Project Budget of \$1,500,000; 3. A Total Maximum Project Budget of \$17,943,000 and 4. Issuance of Notice To Proceed, all for Expansion of the Flagler County Inmate Facility, Flagler County Request for Statement of Qualifications No. RSQ-Q005-0-2014.

DATE OF MEETING: February 2, 2015

OVERVIEW/SUMMARY: At the May 19, 2014, County Commission meeting the Board approved the Construction Management Services Agreement for Design Phase services and authorized Staff to negotiate a suitable fee for Construction Management Services with Allstate Construction, Inc.

The project design by Clemons Rutherford & Associates, Inc., with user coordination and participation, has been completed and the Board is being asked to approve the contract amendment for the Construction Phase Services, the Guaranteed Maximum Price Amendment to the Agreement with Allstate Construction, Inc. and the overall project construction budget. It is also requested that Staff be authorized to issue Notice-to-Proceed to Allstate Construction, Inc.

The final project scope includes construction of a new 270 bed inmate housing pod, renovation of the existing inmate facility into a support services building and renovation of the existing operations center into an overall detention center administration facility; along with related necessary site and infrastructure improvements. The new housing pod is divided into twelve (12) individual housing units that will allow separation of male inmates into appropriate classifications and minimize future staffing requirements. The new support services building will include expanded food service facilities, medical facilities, enlarged sallyport and intake booking areas and improved detention security features, along with 134 beds for female inmate housing within the existing cell blocks. Inmate video visitation facilities are being provided within the new administration building and will be interconnected with the multiple housing units.

At this time the Board is also being asked to approve the amount of \$16,442,282 for the Guaranteed Maximum Price (GMP) Construction Phase Services. These services will construct the Inmate Facility Expansion and related Site Improvements including Construction Management Fees, General Conditions and Contingency costs of 2%.

An Owner's project budget of \$1,500,000 is also requested. These funds are to cover project add alternatives still being finalized and third party costs (e.g. building/project permits, utility service fees, furniture, fixture and equipment and an additional 1% contingency) not within the Contractor's GMP amount. The approval of these funds is with the understanding the authorization is to insure project completeness and no delays in the construction process.

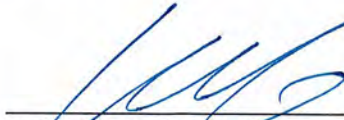
FUNDING INFORMATION: Funding for project #64555 Jail Expansion was appropriated with Budget Resolution on January 12, 2015 in account 312-6018-529.63-10 with the approval of Capital Improvement Refunding Revenue Bonds.

DEPT./CONTACT/PHONE #: Engineering; Faith Alkhatib, County Engineer, 313-4045

RECOMMENDATIONS: Request the Board approve: 1. Exhibit J, Guaranteed Maximum Price Amendment to the Construction Management Services Agreement between Flagler County and Allstate Construction, Inc. for Construction Phase Related Services in the Amount of \$16,442,282, as well as establishing Construction Management Fees and General Conditions as part of the Guaranteed Maximum Price; 2. An Owner's Project Budget of \$1,500,000; 3. A Total Maximum Project Budget of \$17,943,000 and 4. Issuance of Notice To Proceed, including authorizing the County Administrator to approve change orders or other project related documents within the overall project budget and processing miscellaneous third party payments and authorize the Chair to execute the amendment document as approved by the County Attorney.

ATTACHMENTS:

1. EXHIBIT J, GMP Amendment to Construction Management Services Agreement between Flagler County (Owner) and Allstate Construction, Inc. (Construction Contractor).
2. Owner's Project Budget Summary



Faith Alkhatib, P.E.
County Engineer

1-30-2015
Date



Craig M. Coffey
County Administrator

1-30-15
Date

Deputy County Admin.
Financial Services
Legal

Initials Date
SCB 1-30-15

ATTACHMENT NO. 1

EXHIBIT J, GMP AMENDMENT



EXPANSION OF THE FLAGLER COUNTY INMATE FACILITY

RSQ-Q005-0-2014

GMP Amendment
January 29, 2015





GMP AMENDMENT

Expansion of the Flagler County Inmate Facility

January 29, 2015

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EXHIBIT J	GMP Amendment to Agreement Between Owner & Construction Contractor
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SECTION 5	<i>Advertisement</i>
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ATTACHMENT 3	Construction Schedule
ATTACHMENT 4	Project Funding Schedule

EXHIBIT J
GMP AMENDMENT TO AGREEMENT BETWEEN
OWNER AND CONSTRUCTION CONTRACTOR
PROJECT NO. RSQ-Q005-0-2014

WHEREAS, the Owner and the Construction Contractor acknowledge and agree that the Agreement entered into and Effective on July 7, 2014, is in full force and effect and that this Amendment merely supplements said Agreement; and

WHEREAS, the parties hereto have negotiated a Guaranteed Maximum Price, including the Construction Contractor's Fee for construction and warranty services and other services as set forth herein and in the Agreement; and

WHEREAS, the Construction Contractor represents that the Construction Contractor, Subcontractors, material and equipment suppliers have compared phasing, demolition, architectural, structural, mechanical, electrical, plumbing, civil and site drawings and specifications and have compared and reviewed all general and specific details on the drawings and specifications and that all conflicts, discrepancies, errors and omissions, which are within the commonly accepted knowledge base of a licensed general contractor, subcontractor, trades person, manufacturer, or other parties required to carry out the Work involved in this Amendment, have been corrected or clarified prior to execution of this GMP Amendment and, therefore, Construction Contractor warrants that the GMP includes the cost of correcting all conflicts, discrepancies, errors, or omissions which the Construction Contractor has identified, or should have identified, through the exercise of reasonable skill and care, during the Design Phase of this Agreement; and

WHEREAS, the Construction Contractor's review and comparison has taken into consideration the total and complete functioning of all systems and, therefore, the Construction Contractor represents that the GMP represents the total cost for complete and functional systems.

NOW THEREFORE, in exchange for the mutual covenants and promises set forth herein and the sums of money agreed to be paid by the Owner to the Construction Contractor, the parties agree as follows:

1. GUARANTEED MAXIMUM PRICE

Pursuant to Section 5(B) and Section 6 of the Agreement between the Owner and the Construction Contractor, the parties have agreed to the establishment of a Guaranteed Maximum Price for the Work in the amount of \$16,442,282, as further set forth herein. This Price is for the performance of the Work in accordance with the Contract

Documents listed and attached to this Amendment and Attachments 1 through 4, as follows:

Contract Document List

- a. Addendum No. 3 prepared by CRA Architects, Inc. received on December 8, 2014
- b. Addendum No. 2 prepared by CRA Architects, Inc. received on December 3, 2014
- c. Addendum No. 1 prepared by CRA Architects, Inc. received on November 24, 2014
- d. Sketches prepared by Allstate Construction, Inc.

No.	Description	Date
Z-C201A	Construction Sequence 2014-10-29	10/29/2014
Z-C301A	Construction Sequence 2014-10-29	10/29/2014
Z-C501A	Construction Sequence 2014-10-29	10/29/2014
Z-C601A	Construction Sequence 2014-10-29	10/29/2014
Z-E43A	Smoke Control System	11/19/2014
Z-S03A-9	Foundation Five-Sided Precast Module 2014-11-12	11/12/2014
Z-ES11	Electronic Security Rough-in	11/25/2014
Z-ES12	Electronic Security Rough-in	11/25/2014
	Cell-Foyer Front Frames R01	12/02/2014
	Security Gypsum Board Ceilings	12/04/2014
	Fencing Sketches – (5) 8.5x11 pages	01/05/2015

- e. Sketches prepared by CRA Architects, Inc.

No.	Description	Received Date
N/A	Sketch ADD1 A1.1	11/24/2014
N/A	Sketch ADD1 A1.3	11/24/2014
N/A	Sketch E1.2A	11/24/2014
N/A	Sketch E2.1A	11/24/2014
N/A	Sketch E5.1A	11/24/2014

- f. Project Drawings prepared by CRA Architects, Inc.

No.	Description	Received Date
T1.1	Cover Sheet & Index of Drawings	11/07/2014
C001	Civil Cover Page/Vicinity Map	11/07/2014
C002	Index Page	11/07/2014
C101	Existing Conditions Plan	11/07/2014
C201	Demolition and Phase One Erosion Control Plan	11/07/2014
C202	Phase II Erosion Control Plan	11/07/2014
C203	Erosion Control Details	11/07/2014

C204	Erosion Control Notes	11/07/2014
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C401	Grading Plan	11/07/2014
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C601	Utility Plan	12/03/2014
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LS1.1	Housing Pod First Floor Life Safety Plan	11/04/2014
LS1.2	Housing Pod Second Floor Life Safety Plan	11/04/2014
D1.1	Support Services Building First Floor Demolition	11/07/2014
D1.2	Operations Center Demolition Plan	11/07/2014
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A1.2	Support Services Building Mezzanine Floor Plan	11/07/2014
A1.3	Housing Pod First Floor Composite Plan	11/07/2014
A1.3A	Housing Pod First Floor North	11/07/2014
A1.3B	Housing Pod First Floor South	11/07/2014
A1.4	Housing Pod Mezzanine Composite Plan	11/07/2014
A1.4A	Housing Pod Mezzanine Level North	11/07/2014
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A5.1	Enlarged Toilet Plans	11/04/2014
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g. Project Specifications prepared by CRA Architects, Inc.

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233423	HVAC Pwer Ventilators	11/07/2014
233500	Roof Accessories	11/07/2014
233713	Diffusers, Registers, And Grilles	11/07/2014
233723	HVAC Gravity Ventilators	11/07/2014
233900	Louvers And Vents	11/07/2014
234100	Particulate Air Filtration	11/07/2014
235533	Fuel-Fired Unit Heaters	11/07/2014
237413	Packages, Outdoor, Central-Station Air-Handling Units	11/07/2014
237433	Packaged, High Percentage Outdoor-Air Units	11/07/2014
238113	Packaged Terminal Air-Conditioners, Outdoor, Wall mounted Units	11/07/2014
238239	Unit Heaters	11/07/2014
260100	General Provisions For Electrical	11/07/2014
260105	Substitution Procedures	11/07/2014
260120	Submittal Procedures	11/07/2014
260140	Temporary Facilities And Controls	11/07/2014
260160	Execution	1/07/2014
260170	Operation And Maintenance Data	11/07/2014
260180	Project Record Documents	11/07/2014
260190	Demonstration And Training	11/07/2014
260519	Low-Voltage Electrical Power Conductors And Cables	11/07/2014
260523	Control-Voltage Electrical Power Cables	11/07/2014
260526	Grounding And Bonding For Electrical Systems	11/07/2014
260529	Hangers And Supports For Electrical Systems	11/07/2014
260533	Raceways And Boxes For Electrical Systems	11/07/2014
260544	Sleeves And Sleeve Seals For Electrical Raceways And Cabling	11/07/2014
260553	Identification For Electrical Systems	11/07/2014
260573	Overcurrent Protective Device Coordination Study	11/07/2014
260923	Lighting Control Devices	11/07/2014
260943	Network Lighting Controls	11/07/2014
260953	Digital, Addressable Fire-Alarm System	11/07/2014
260954	Modification Of Digital, Addressable Fire-Alarm System	11/07/2014

	(Modification Of Existing Systems)	
262200	Low-Voltage Transformers	11/07/2014
262416	Panelboards	11/07/2014
262726	Wiring Devices	11/07/2014
262813	Fuses	11/07/2014
262816	Enclosed Switches And Circuit Breakers	11/07/2014
263213	Engine Generators	11/07/2014
263600	Transfer Switches	11/07/2014
264313	Surge Protection For Low-Voltage Electrical Power Circuits	11/07/2014
265100	Interior Lighting	11/07/2014
265600	Exterior Lighting	11/07/2014
271100	Communications Equipment Room Fittings	11/0/2014
271300	Communications Backbone Cabling	11/07/2014
271500	Communications Horizontal Cabling	11/07/2014
Civil Specifications		
015639	Temporary Tree And Plant Protection	10/24/2014
024116	Structure Demolition	10/24/2014
033053	Miscellaneous Cast-In-Place Concrete	10/24/2014
221113	Facility Water Distribution Piping	10/24/2014
221313	Facility Sanitary Sewers	10/24/2014
311000	Site Clearing	10/24/2014
312000	Earth Moving	10/24/2014
321216	Asphalt Paving	10/24/2014
321713	Parking Bumpers	10/24/2014
323113.53	High-Security Chain Link Fences And Gates	11/17/2014
329200	Turf And Grasses	10/24/2014
334100	Storm Utility Drainage Piping	10/24/2014

2. CONTRACT TIME

Pursuant to Section 8 of the Agreement, Construction Contractor shall substantially complete the Project within 436 calendar days from the Construction Commencement Date set forth in the Notice to Proceed provided by the Owner.

3. ATTACHMENTS

The following attachments are incorporated herein by reference as if fully set forth herein:

1. GMP Amendment Proposal
2. Schedule of Values.
3. Construction Schedule.
4. Project Funding Schedule.

IN WITNESS WHEREOF, the parties have made and executed this Amendment, to be effective on the last date and year set forth below.

OWNER

CONSTRUCTION CONTRACTOR

By: _____

Its: _____

Date: _____

Attest: _____

BCC Approval Date:

By:

Its:

Date: _____

Attest: _____



SECTION 1 – SUMMARY OF WORK

January 29, 2015

The project consists of the following:

- New Housing Pod
- Booking Area
- Sally Port
- Kitchen
- Connecting Corridor
- Site Work
- Renovation / Limited Remodeling of Existing Jail Building
- Installation of Video Visitation in Existing Operations Building

Approximate Building Areas (drawing T1.1):

- Existing Administration (1st Floor): 23,582 sf
- New Booking Addition: 2,429 sf
- New Sallyport Addition: 1,800 sf
- New Freezer Addition: 958 sf
- Housing Pod (1st Floor): 39,425 sf
- Housing Pod (2nd Floor): 14,017 sf

The New Housing Pod includes:

- 124 beds (two-person cells)
- 96 beds (four-person cells)
- 50 beds (dormitories)

Construction consists of:

- Site Work
- Masonry
- Structural Steel
- Windows, Doors, Hardware, Finishes & Equipment
- Detention Securities
- Mechanical, Plumbing, Electrical

SECTION 2 - PRICING SUMMARY

January 29, 2015

BASE GMP	Price
Base Price (Per 9-page Detailed Estimate dated 1/29/15 & GMP Clarifications & Assumptions per 6-page Dated 1/29/15)	\$15,956,425
METAL ROOFING	
R-30 banded insulation system (e.g. A4.3, A4.4):	\$109,210
FLOORING	
Quarry tile (FS1.1) in lieu of exposed floor panels in Freezer S105C and Cooler S105B (A11.1)	\$5,810
PLUMBING	
Route new sanitary sewer lines at Operations Center through existing Corridors 0103 and 0104 (P1.5).	\$17,056
HVAC	
Exhaust fan EF-12 and related work (MD1.1, /MD1.2, /M1.2).	\$9,341
TELECOMMUNICATIONS	
Data cabling (T1.0, T1.1, & T1.2) and Owner requested additional Housing cabling (E2.2 & E2.3 with annotations transmitted 12/03/14)	\$48,899
ELECTRONIC SECURITY	
New controls for existing electronic security devices ("X"/ES1.1, /ES1.2) and new electronic security wiring, devices, and controls (sketches Alternate/Z-ES11, Alternate/Z-ES12) including electrical raceways, conduits and boxes:	\$217,709
SITE WATER & SANITARY SEWER	
New water service to Operations Center (C-601):	\$4,443
Channel-mounted grinder is not included (Alt #2/C-601):	\$73,389
ADDITIONAL SCOPE	
Total GMP	\$16,442,282

Phase	Description	Qty	Cost/Unit	Total
	GENERAL REQUIREMENTS			
01310.000	Construction Services			
	Construction Overhead	1.00 Isum	560,400.00 /Isum	560,400
	Construction Services			560,400
01310.200	Preconstruction Services			
	Design Phase Services	- Isum	0.00 /Isum	0
	Bidding	- Isum	0.00 /Isum	0
	Bid Advertisements	- each	0.00 /each	0
01322.600	Copying & Reproduction			
	Drawings & Specs	23.00 set	160.50 /set	3,692
	Copying & Reproduction			3,692
01410.000	Permits			
	NPDES - NIC	- Isum	0.00 /Isum	0
	Building Permit - Fire - NIC	- sqft	0.00 /sqft	0
	Building Permit Base Fees - NIC	- Isum	0.00 /Isum	0
	Water Tap Fee - NIC	- Isum	0.00 /Isum	0
	Fire Tap Fee - NIC	- Isum	0.00 /Isum	0
	Sewer Tap Fee - NIC	- Isum	0.00 /Isum	0
	FP&L Service - NIC	- Isum	0.00 /Isum	0
01452.000	Testing Laboratory Services			
	Construction Materials Testing	1.00 Isum	31,100.00 /Isum	31,100
	Testing Laboratory Services			31,100
01510.000	Temporary Utilities			
	Temp Electricity Service	14.00 mnth	200.00 /mnth	2,800
	Temp Electricity - HVAC Start-Up	4.00 mnth	5,000.00 /mnth	20,000
	Temp Electricity - HVAC Start-Up	4.00 mnth	2,500.00 /mnth	10,000
	Temp Fire Protection	20.72 each	53.50 /each	1,109
	Temp Water Service	14.00 mnth	50.00 /mnth	700
	Temporary Utilities			34,609
01529.000	Sanitary Facilities			
	Ice, Water, Cups	14.00 mnth	23.54 /mnth	330
	Sanitary Facilities			330
01560.000	Temporary Barriers			
	Temp Partition	7.00 Inft	65.80 /Inft	461
	Temp Safety Rails	727.00 Inft	3.21 /Inft	2,334
	Temp Fence	396.00 Inft	3.75 /Inft	1,485
	Temporary Barriers			4,279
01710.000	Layout & Surveying			
	As-Built Survey	1.00 Isum	5,000.00 /Isum	5,000
	Survey	9.00 trip	800.00 /trip	7,200
	Layout & Surveying			12,200
01740.000	Cleaning			
	Clean Up & Safety	Isum	/Isum	
	Dumpster Pull Fee	79.78 each	294.25 /each	23,475
	Progress Cleaning	32.00 crhr	50.00 /crhr	1,600
	Final Cleaning - General Trades	- Isum	0.00 /Isum	0

Phase	Description	Qty	Cost/Unit	Total
	Cleaning			25,075
01780.000	Closeout			
	As-Built Documents	2.00 set	160.50 /set	321
	Closeout			321
	GENERAL REQUIREMENTS			672,005
	EXISTING CONDITIONS			
02419.000	Selective Demolition			
	Selective Demolition	1.00 Isum	128,562.00 /Isum	128,562
	Operations Exterior Window Sill	1.00 Isum	300.00 /Isum	300
	Demo SOG at Mechanical S110 (F1.1)	1.00 each	300.00 /each	300
	Patching & Preparation	5,637.00 sqft	1.00 /sqft	5,637
	Selective Demolition			134,799
02800.000	Hazardous Materials			
	Asbestos Abatement - NIC	Isum	/Isum	
	Lead Abatement - NIC	Isum	/Isum	
	Mold Remediation - NIC	Isum	/Isum	
	EXISTING CONDITIONS			134,799
	CONCRETE			
03210.000	Reinforcing Steel			
	Reinforcing Steel - Concrete - Incl	Isum	/Isum	
	Reinforcing Steel - Hollow Core	2.02 ton	1,048.60 /ton	2,118
	Reinforcing Steel - Masonry - Incl	Isum	/Isum	
	Reinforcing Steel			2,118
03220.000	Wire Mesh			
	Wire Mesh - Incl	Isum	/Isum	
03310.000	Concrete			
	Concrete	1.00 Isum	675,800.00 /Isum	675,800
	Concrete	1.00 Isum	222,700.00 /Isum	222,700
	Support Services, Operations - Incl	- Isum	0.00 /Isum	0
	Mezzanine Infill	228.00 sqft	39.47 /sqft	9,000
	Patch SOG at Mechanical S110 (F1.1)	25.00 sqft	10.00 /sqft	250
	Electronic Security Equip Pads	48.00 sqft	10.00 /sqft	480
	Bond - Incl	- Isum	0.00 /Isum	0
	Concrete			908,230
03410.000	Precast Structural Concrete			
	Precast Concrete Detention Modules	1.00 Isum	1,795,000.00 /Isum	1,795,000
	Precast Concrete Detention Modules	1.00 Isum	138,825.00 /Isum	138,825
	Chase for Shower PEX Tubing	24.00 each	500.00 /each	12,000
	Bond - Incl	- Isum	0.00 /Isum	0
	Precast Structural Concrete			1,945,825
03413.000	Hollow Core Concrete			
	Hollow Core Concrete	1.00 Isum	269,000.00 /Isum	269,000
	Support Services	1.00 Isum	13,397.00 /Isum	13,397
	Drill & Anchor - Labor	1.00 Isum	6,500.00 /Isum	6,500
	Drill & Anchor - Material	1,060.00 set	5.03 /set	5,331
	Hangers - Floor Door	1.00 set	800.00 /set	800
	Hangers - Attic Stairs	1.00 set	800.00 /set	800
	Hangers - Fixed Ladders	8.00 set	800.00 /set	6,400

Phase	Description	Qty	Cost/Unit	Total
03413.000	Hollow Core Concrete			
	Openings - Smoke Evacuation	36.00 each	100.00 /each	3,600
	Grout Hollow Core Ends	4,152.00 Inft	10.38 /Inft	43,083
	Bond	1.00 Isum	4,200.00 /Isum	4,200
	Hollow Core Concrete			353,110
03600.000	Grouting			
	Grout Base Plates - General Trades	- Isum	0.00 /Isum	0
03810.000	Concrete Cutting			
	Concrete Cutting	3.00 each	300.00 /each	900
	Concrete Cutting			900
	CONCRETE			3,210,184
	MASONRY			
04200.000	Masonry			
	Masonry	1.00 Isum	995,700.00 /Isum	995,700
	Support Services, Operations	1.00 Isum	244,900.00 /Isum	244,900
	Patch at Electrical - Labor	80.00 crhr	116.52 /crhr	9,321
	Patch at Electrical - Material	72.00 each	100.39 /each	7,228
	Visitation Wing Walls - Inmate Side	785.00 blk	15.00 /blk	11,775
	Visitation Wall Cap - Public Side - NIC	- blk	0.00 /blk	0
	CMU to Hollow Core Joint	4,927.00 Inft	2.49 /Inft	12,261
	Additional Secure Walls	153.48 cuyd	256.26 /cuyd	39,331
	2.50" Insulation instead of 2.00"	10,231.16 sqft	0.50 /sqft	5,145
	Operations Exterior Window Infill	90.00 blk	12.00 /blk	1,080
	Flashing	177.00 Inft	5.00 /Inft	885
	Wall Bracing at 10' oc	181.50 each	50.00 /each	9,075
	Bond - Incl	Isum	/Isum	
	Masonry			1,336,701
	MASONRY			1,336,701
	METALS			
05120.000	Structural Steel Framing			
	Structural & Misc Steel Framing	1.00 Isum	319,480.00 /Isum	319,480
	Support Services	1.00 Isum	88,237.00 /Isum	88,237
	Supplementary Framing - Folding Ladder	0.32 ton	5,000.00 /ton	1,600
	Supplementary Framing - Mezz Barrier - NIC	- Isum	0.00 /Isum	0
	Privacy Screens	1.00 Isum	15,380.00 /Isum	15,380
	Non-Load-Bearing Wall Supports	47.25 set	300.00 /set	14,175
	Roof Opening	1.00 each	500.00 /each	500
	Bond - Incl	- Isum	0.00 /Isum	0
	Structural Steel Framing			439,372
05513.300	Steel Ladders			
	Steel Ladders - General Trades	Isum	/Isum	
05520.000	Steel Railings			
	Steel Railings - Attic	842.00 Inft	57.45 /Inft	48,373
	Steel Railings - Roof - NIC	- Isum	0.00 /Isum	0
	Steel Railings			48,373
05530.000	Steel Gratings			
	Mezzanine Barrier - NIC	Isum	/Isum	

Phase	Description	Qty	Cost/Unit	Total
05580.000	Formed Metal			
	Security Soffits - General Trades	- Isum	0.00 /Isum	0
	METALS			487,745
	WOOD & PLASTICS			
06105.000	General Trades			
	General Trades	1.00 Isum	234,316.00 /Isum	234,316
	Wall Blocking - General Trades	- Isum	0.00 /Isum	0
	Roof Blocking - General Trades	- Isum	0.00 /Isum	0
	General Trades			234,316
06110.000	Lumber - Wall Blocking			
	Lumber - General Trades	- Isum	0.00 /Isum	0
06111.000	Lumber - Roofing			
	Lumber - General Trades	- Isum	0.00 /Isum	0
06410.000	Architectural Cabinets			
	Cabinets - Allowance	78.00 Inft	350.00 /Inft	27,300
	Architectural Cabinets			27,300
06650.000	Simulated Wood Trim			
	HDPE Trim - Install	8.00 crhr	116.52 /crhr	932
	HDPE Trim - Fabrication	24.00 crhr	116.52 /crhr	2,796
	HDPE Trim - Material	8.00 pce	991.78 /pce	7,934
	HDPE Trim - Fasteners	120.00 Inft	0.47 /Inft	56
	Simulated Wood Trim			11,719
	WOOD & PLASTICS			273,335
	THERMAL & MOISTURE			
07110.000	Dampproofing			
	Dampproofing	1.00 Isum	14,000.00 /Isum	14,000
	Dampproofing			14,000
07211.900	Foamed-in-Place Insulation			
	Foamed-in-Place Insulation	1.00 Isum	17,927.00 /Isum	17,927
	Support Services - Incl	- Isum	0.00 /Isum	0
	Sprayed Insulation	1.00 Isum	4,277.00 /Isum	4,277
	Foamed-in-Place Insulation			22,204
07411.300	Metal Roofing			
	Metal Roofing	1.00 Isum	658,579.00 /Isum	658,579
	Support Services	1.00 Isum	88,752.00 /Isum	88,752
	Banded Insulation System	41,109.00 sqft	0.54 /sqft	22,154
	Wood Blocking	1.00 Isum	4,412.00 /Isum	4,412
	Bond - Incl	- Isum	/Isum	
	Metal Roofing			773,897
07520.000	Membrane Roofing			
	Membrane Roofing - Support Services	1.00 Isum	15,000.00 /Isum	15,000
	Roof to Wall Flashing	176.00 Inft	15.00 /Inft	2,640
	Bond - Incl	- Isum	0.00 /Isum	0
	Membrane Roofing			17,640
07810.000	Sprayed Fireproofing			
	Sprayed Fireproofing - NIC	Isum	/Isum	

Phase	Description	Qty	Cost/Unit	Total
07840.000	Firestopping			
	Firestopping - General Trades	- Isum	0.00 /Isum	0
07950.000	Expansion Joint Covers			
	Expansion Joint Covers - NIC	- Isum	0.00 /Isum	0
	THERMAL & MOISTURE			827,741
	OPENINGS			
08110.000	Doors, Frames & Hardware			
	Doors, Frames & Hardware - In Div 11	Isum	/Isum	
08121.300	Hollow Metal Frames			
	HM Frame - Install - Div 04	- Isum	0.00 /Isum	0
	HM Frame - Install in Existing Walls	40.00 crhr	101.32 /crhr	4,053
	HM Frame - Install in Existing Walls	10.00 each	53.50 /each	535
	Stack & Protect HM Frames	80.00 crhr	40.00 /crhr	3,200
	Hollow Metal Frames			7,788
08131.300	Hollow Metal Doors			
	HM Door - Install - In Div 11	Isum	/Isum	
08141.600	Wood Doors			
	Wood Door - Install - In Div 11	Isum	/Isum	
08310.000	Access Panels			
	Floor Hatches - General Trades	- Isum	0.00 /Isum	0
	Access Panels - Div 21, 22, 23, 26	- Isum	0.00 /Isum	0
08330.000	Coiling Doors & Grilles			
	Overhead Coiling Doors	4.00 each	3,595.00 /each	14,380
	Coiling Doors & Grilles			14,380
08710.000	Door Hardware			
	Door Hardware - In Div 11	Isum	/Isum	
08810.000	Glass & Glazing			
	Glass & Glazing - In Div 11	Isum	/Isum	
08910.000	Louvers			
	Louvers - In Div 23	Isum	/Isum	
	OPENINGS			22,168
	FINISHES			
09260.000	Veneer Plaster			
	Texture Hollow Core - NIC	- Isum	/Isum	
09290.000	Gypsum Board			
	Gypsum Board & Acoustical Ceilings	1.00 Isum	14,914.00 /Isum	14,914
	Support Services, Operations	1.00 Isum	115,515.00 /Isum	115,515
	Patch at Electrical	6.00 each	200.00 /each	1,200
	Infill Existing Window	1.00 Isum	400.00 /Isum	400
	Gypsum Board			132,029
09300.000	Tile			
	Tile	1.00 Isum	1,459.00 /Isum	1,459
	Support Services, Operations	1.00 Isum	34,775.00 /Isum	34,775
	Tile			36,234
09510.000	Acoustical Ceilings			
	Acoustical Ceiling - in Gypsum Board	- Isum	0.00 /Isum	0
	Patch Support Services	4,324.00 sqft	2.75 /sqft	11,891

Phase	Description	Qty	Cost/Unit	Total
09510.000	Acoustical Ceilings			
	Patch Operations	969.00 sqft	2.75 /sqft	2,665
	Acoustical Ceilings			14,556
09650.000	Resilient Flooring			
	Floor Waxing - General Trades	- lsum	0.00 /lsum	0
09672.300	Resinous Flooring			
	Resinous Flooring & Base	1.00 lsum	47,470.00 /lsum	47,470
	Court Holding S111 - Allowance	175.38 sqft	15.00 /sqft	2,631
	Grind Existing Floors - Incl	- sqft	/sqft	
	Shower Floors & Base - Allowance	1,459.00 sqft	15.00 /sqft	21,885
	Shower Walls - NIC	- sqft	0.00 /sqft	0
	Resinous Flooring			71,986
09680.000	Carpeting			
	Carpet & Resilient Flooring	1.00 lsum	17,417.00 /lsum	17,417
	Support Services, Operations	1.00 lsum	23,488.00 /lsum	23,488
	VCT instead of LT	-1.00 lsum	26,323.00 /lsum	(26,323)
	Connecting Corridor	960.00 sqft	1.83 /sqft	1,757
	Grind Existing Floors	2,066.00 sqft	3.00 /sqft	6,198
	Carpet Control Room M209 - Allowance	1,179.00 sqft	3.33 /sqft	3,930
	Carpeting			26,467
09840.000	Acoustical Wall Panels			
	Acoustical Wall Panels - NIC	- lsum	/lsum	
09910.000	Painting			
	Painting	1.00 lsum	180,424.00 /lsum	180,424
	Support Services, Operations	1.00 lsum	45,738.00 /lsum	45,738
	Paint Visitation Wing Walls	1,670.00 sqft	1.00 /sqft	1,670
	Paint Mezzanine Barrier - NIC	lsum	/lsum	
	Plumbing Fixture Security Sealants	86.00 each	15.00 /each	1,290
	Painting			229,122
	FINISHES			510,393
	SPECIALTIES			
10140.000	Signage			
	Panel Signs - Allowance	22.00 each	71.24 /each	1,567
	Stencil - Labor - Allowance	40.00 crhr	116.52 /crhr	4,661
	Stencil - Paint - Allowance	228.00 set	1.60 /set	365
	Stencil - Kits - Allowance	5.00 each	335.71 /each	1,679
	Signage			8,271
10211.000	Toilet Compartments			
	Toilet Compartments - General Trades	- lsum	0.00 /lsum	0
10281.313	Toilet Accessories			
	Toilet Accessories - General Trades	- lsum	0.00 /lsum	0
10441.300	Fire Extinguishers & Cabinets			
	Fire Extinguishers - General Trades	- lsum	0.00 /lsum	0
	SPECIALTIES			8,271
	EQUIPMENT			
11190.000	Detention Equipment			
	Detention Equipment	1.00 lsum	1,743,410.00 /lsum	1,743,410

Phase	Description	Qty	Cost/Unit	Total
11190.000	Detention Equipment			
	Detention Equipment	- Isum	0.00 /Isum	0
	Detention Equipment	- Isum	0.00 /Isum	0
	Detention Equipment	- Isum	0.00 /Isum	0
	Omit Support Bldg Upgrades	-1.00 Isum	105,109.00 /Isum	(105,109)
	Cell Benches - Allowance	4.00 each	1,000.00 /each	4,000
	Pistol Lockers - Allowance	1.00 Isum	1,000.00 /Isum	1,000
	Bond - Incl	- Isum	0.00 /Isum	0
	Detention Equipment			1,643,301
11232.600	Laundry Equipment			
	Laundry Equipment	2.00 Isum	24,338.00 /Isum	48,676
	Folding Table	1.00 each	843.65 /each	844
	Shelving	6.00 each	608.25 /each	3,650
	Carts	4.00 each	1,126.13 /each	4,505
	Laundry Equipment			57,674
11330.000	Retractable Stairs			
	Retractable Stairs - General Trades	- Isum	0.00 /Isum	0
11400.000	Food Service Equipment			
	Food Service Equipment	1.00 Isum	365,750.00 /Isum	365,750
	Food Service Equipment			365,750
11520.000	Audio-Visual Equipment			
	TV Brackets - NIC	- Isum	0.00 /Isum	0
	EQUIPMENT			2,066,725
	FIRE PROTECTION			
21130.000	Fire Sprinkler System			
	Fire Sprinkler System	1.00 Isum	306,300.00 /Isum	306,300
	Support Services - Incl	- Isum	0.00 /Isum	0
	Bond - Incl	- Isum	0.00 /Isum	0
	Fire Sprinkler System			306,300
	FIRE PROTECTION			306,300
	PLUMBING			
22010.000	Plumbing			
	Plumbing	1.00 Isum	674,700.00 /Isum	674,700
	Support Services, Operations	1.00 Isum	192,300.00 /Isum	192,300
	LP to Natural Gas Conversion - Allowance	2.00 each	480.25 /each	961
	Insulate & Cover Exterior Piping	1.00 Isum	507.00 /Isum	507
	Bond - Incl	- Isum	0.00 /Isum	0
	Plumbing			868,468
	PLUMBING			868,468
	HVAC			
23010.000	HVAC			
	HVAC	1.00 Isum	1,068,000.00 /Isum	1,068,000
	HVAC	1.00 Isum	166,870.00 /Isum	166,870
	Support Services, Operations	1.00 Isum	238,800.00 /Isum	238,800
	Bond - Incl	- Isum	0.00 /Isum	0
	HVAC			1,473,670
23059.000	Testing, Adjusting & Balancing			

Phase	Description	Qty	Cost/Unit	Total
23059.000	Testing, Adjusting & Balancing			
	Testing, Adjusting & Balancing - Incl	Isum	/Isum	
23080.000	HVAC Commissioning			
	HVAC Commissioning	1.00 Isum	6,740.00 /Isum	6,740
	HVAC Commissioning			6,740
23090.000	HVAC Controls			
	HVAC Controls - Incl	Isum	/Isum	
	HVAC			1,480,410
	ELECTRICAL			
26010.000	Electrical			
	Electrical	- Isum	0.00 /Isum	0
	Electrical	1.00 Isum	797,079.00 /Isum	797,079
	Support Services, Operations	1.00 Isum	316,996.00 /Isum	316,996
	Concrete Cutting	1.00 Isum	5,000.00 /Isum	5,000
	Increase Gate Operator Service - Allowance	3.00 each	5,000.00 /each	15,000
	Bond - Incl	- Isum	0.00 /Isum	0
	Electrical			1,134,075
27100.000	Structured Cabling			
	Structured Cabling System - NIC	- Isum	0.00 /Isum	0
	Fiber Optic Cabling between Buildings	1.00 Isum	30,000.00 /Isum	30,000
	Structured Cabling			30,000
	ELECTRICAL			1,164,075
	SITE			
31050.000	Site			
	Site Construction	1.00 Isum	880,825.00 /Isum	880,825
	Site Water & Sanitary Sewer	1.00 Isum	215,648.00 /Isum	215,648
	Site Construction, Water & Sanitary Sewer	1.00 Isum	53,788.00 /Isum	53,788
	5' Outside to 1' Aff	3.00 each	500.00 /each	1,500
	Bond - Incl	- Isum	0.00 /Isum	0
	Site			1,151,761
31311.600	Termite Treatment			
	Termite Treatment - General Trades	- Isum	0.00 /Isum	0
32172.600	Tactile Warning Surfacing			
	ADA Tiles	2.00 set	261.82 /set	524
	Tactile Warning Surfacing			524
32310.000	Fencing			
	Fencing - Allowance	2,249.00 Inft	100.00 /Inft	224,900
	Razor Wire, Brackets - Allowance	671.00 Inft	37.50 /Inft	25,163
	Sliding Gates & Operators - Allowance	3.00 each	10,000.00 /each	30,000
	Concrete Barrier - Allowance	2,217.00 Inft	21.39 /Inft	47,411
	Fencing			327,473
32900.000	Landscaping			
	Seeding	184,015.00 sqft	0.03 /sqft	5,788
	Sodding	33,368.00 sqft	0.25 /sqft	8,342
	Landscaping			14,130
33310.000	Site Sanitary Sewer System			
	Vertical Auger Monster - NIC	- Isum	/Isum	

Base Price

Phase	Description	Qty	Cost/Unit	Total
33310.000	Site Sanitary Sewer System			
	Horizontal Auger - NIC	- lsum	/lsum	
33510.000	Site Gas Service			
	Site Gas Line - NIC	lsum	/lsum	
33811.600	Antenna Towers			
	Modify Guy Wires - Allowance	1.00 lsum	10,000.00 /lsum	10,000
	Antenna Towers			10,000
	SITE			1,503,888

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1	4,515		
Gen Liability - Subcontracts	20,193		
Gen Liability - Div 2-33	3,268		
Bldrs Risk Insurance	49,465		
P&P Bond	104,671		
Contingency	301,106		
Construction Fee	600,000		
Total (Base Price)		15,956,425	

R-30 VRR Faced Insulation

Phase	Description	Qty	Cost/Unit	Total
	THERMAL & MOISTURE			
07411.300	Metal Roofing			
	Metal Roofing R-19	-1.00 lsum	658,579.00 /lsum	(658,579)
	Metal Roofing R-30 VRR Faced	1.00 lsum	764,264.00 /lsum	764,264
	Metal Roofing			105,685
	THERMAL & MOISTURE			105,685

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1			
Gen Liability - Subcontracts	151		
Gen Liability - Div 2-33			
Bldrs Risk Insurance	339		
P&P Bond	894		
Contingency	2,141		
Construction Fee			
Total		109,210	

Quarry Tile in Freezer-Cooler

Phase	Description	Qty	Cost/Unit	Total
	FINISHES			
09300.000	Tile			
	Tile - Freezer-Cooler	1.00 Isum	5,622.00 /Isum	5,622
	Tile			5,622
	FINISHES			5,622

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1			
Gen Liability - Subcontracts	8		
Gen Liability - Div 2-33			
Bldrs Risk Insurance	18		
P&P Bond	48		
Contingency	114		
Construction Fee			
Total		5,810	

Operations Sanitary Sewer in Existing Corridors

Phase	Description	Qty	Cost/Unit	Total
	GENERAL REQUIREMENTS			
01560.000	Temporary Barriers			
	Temp Partition & Protection	121.00 Inft	30.00 /Inft	3,630
	Temporary Barriers			3,630
	GENERAL REQUIREMENTS			3,630
	CONCRETE			
03310.000	Concrete			
	Patch SOG	1.00 Isum	10,000.00 /Isum	10,000
	Concrete			10,000
	CONCRETE			10,000
	FINISHES			
09680.000	Carpeting			
	Patch Flooring	1.00 Isum	755.00 /Isum	755
	Carpeting			755
	FINISHES			755
	PLUMBING			
22010.000	Plumbing			
	Operations Sanitary as Shown	1.00 Isum	2,100.00 /Isum	2,100
	Plumbing			2,100
	PLUMBING			2,100

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1	26		
Gen Liability - Subcontracts	18		
Gen Liability - Div 2-33			
Bldrs Risk Insurance	53		
P&P Bond	140		
Contingency	334		
Construction Fee			
Total		17,056	

Phase	Description	Qty	Cost/Unit	Total
	METALS			
05520.000	Steel Railings			
	Steel Railings - Roof	14.00 Inft	100.00 /Inft	1,400
	Steel Railings			1,400
	METALS			1,400
	THERMAL & MOISTURE			
07520.000	Membrane Roofing			
	Patch Roofing	1.00 Isum	2,500.00 /Isum	2,500
	Membrane Roofing			2,500
	THERMAL & MOISTURE			2,500
	FINISHES			
09910.000	Painting			
	Paint Railings	14.00 Inft	7.14 /Inft	100
	Painting			100
	FINISHES			100
	HVAC			
23010.000	HVAC			
	EF-12	1.00 Isum	2,040.00 /Isum	2,040
	HVAC			2,040
	HVAC			2,040
	ELECTRICAL			
26010.000	Electrical			
	Electrical	1.00 Isum	3,000.00 /Isum	3,000
	Electrical			3,000
	ELECTRICAL			3,000

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1			
Gen Liability - Subcontracts	13		
Gen Liability - Div 2-33			
Bldrs Risk Insurance	29		
P&P Bond	76		
Contingency	183		
Construction Fee			
Total		9,341	

Data Cabling System

Phase	Description	Qty	Cost/Unit	Total
	ELECTRICAL			
27100.000	Structured Cabling			
	Structured Cabling System	1.00 Isum	77,320.00 /Isum	77,320
	Fiber Optic Cabling between Buildings - Incl	-1.00 Isum	30,000.00 /Isum	(30,000)
	Structured Cabling			47,320
	ELECTRICAL			47,320

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1			
Gen Liability - Subcontracts	68		
Gen Liability - Div 2-33			
Bldrs Risk Insurance	152		
P&P Bond	400		
Contingency	959		
Construction Fee			
Total		48,899	

Electronic Security in Existing Building

Phase	Description	Qty	Cost/Unit	Total
	GENERAL REQUIREMENTS			
01740.000	Cleaning			
	Final Cleaning	5,966.00 sqft	0.25 /sqft	1,492
	Cleaning			1,492
	GENERAL REQUIREMENTS			1,492
	CONCRETE			
03310.000	Concrete			
	Concrete - Patching	1.00 lsum	5,000.00 /lsum	5,000
	Concrete			5,000
	CONCRETE			5,000
	MASONRY			
04200.000	Masonry			
	Patch at Electrical - Labor	160.00 crhr	116.52 /crhr	18,643
	Patch at Electrical - Material	111.00 each	100.39 /each	11,143
	Masonry			29,786
	MASONRY			29,786
	METALS			
05580.000	Formed Metal			
	Security Soffits	612.00 lnft	46.63 /lnft	28,535
	Formed Metal			28,535
	METALS			28,535
	FINISHES			
09510.000	Acoustical Ceilings			
	Acoustical Ceiling - Patch Support Services	1,380.00 sqft	2.75 /sqft	3,795
	Acoustical Ceilings			3,795
09910.000	Painting			
	Painting - Patching	5,966.00 sqft	1.75 /sqft	10,441
	Painting			10,441
	FINISHES			14,236
	EQUIPMENT			
11190.000	Detention Equipment			
	Detention Equipment	1.00 lsum	105,109.00 /lsum	105,109
	Detention Equipment			105,109
	EQUIPMENT			105,109
	ELECTRICAL			
26010.000	Electrical			
	Electrical	1.00 lsum	25,137.00 /lsum	25,137
	Electrical			25,137
	ELECTRICAL			25,137

Electronic Security in Existing Building

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1	11		
Gen Liability - Subcontracts	268		
Gen Liability - Div 2-33	1,410		
Bldrs Risk Insurance	675		
P&P Bond	1,782		
Contingency	4,269		
Construction Fee			
Total		217,709	

Water Service to Existing Operations Center

Phase	Description	Qty	Cost/Unit	Total
	SITE			
32900.000	Landscaping			
	Sodding	300.00 sqft	0.33 /sqft	100
	Landscaping			100
33120.000	Site Water System			
	Site Water Line	1.00 lsum	4,200.00 /lsum	4,200
	Site Water System			4,200
	SITE			4,300

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1			
Gen Liability - Subcontracts	6		
Gen Liability - Div 2-33			
Bldrs Risk Insurance	14		
P&P Bond	36		
Contingency	87		
Construction Fee			
Total		4,443	

Sewage Grinder #2 - Channel Mount

Phase	Description	Qty	Cost/Unit	Total
	ELECTRICAL			
26010.000	Electrical			
	Electrical - Allowance	1.00 lsum	25,000.00 /lsum	25,000
	Electrical			25,000
	ELECTRICAL			25,000
	SITE			
32900.000	Landscaping			
	Sodding	800.00 sqft	0.25 /sqft	200
	Landscaping			200
33310.000	Site Sanitary Sewer System			
	Channel-Mount Grinder	1.00 lsum	45,820.44 /lsum	45,820
	Site Sanitary Sewer System			45,820
	SITE			46,020

Estimate Totals

Description	Amount	Totals	Rate
Building Permit Fees - NIC			
Gen Liability - Div 1			
Gen Liability - Subcontracts	101		
Gen Liability - Div 2-33			
Bldrs Risk Insurance	228		
P&P Bond	601		
Contingency	1,439		
Construction Fee			
Total		73,389	

SECTION 4 – CLARIFICATIONS & ASSUMPTIONS

January 29, 2015

General

1. Construction Manager's Fee (OH & P) (Section 4, B) is included fixed at \$600,000 lump sum.
2. Flagler County's Design Professional has accepted these clarifications and assumptions (CRA letters dated January 6 & 7, 2015).
 - A "conformance" set of drawings and specifications will be issued after GMP approval and construction notice-to-proceed. The "conformance" set will include only these clarifications and assumptions.
3. Preconstruction services \$40,000 (Flagler County PO No. 021821 dated July 25, 2014) is separate from, and not included in, this GMP.
4. LEED compliance is not included (e.g. 1.3, B/033053; 1.6, E/102213).
5. Compliance with project labor agreements are not included (3.07/078400).
6. "Prevailing wages" are not included (1.02, F/011000).
7. The following utilities connection fees are not included.
 - City of Bunnell Utilities water capacity, impact, or, systems fees (General Note-7/F0.1, /P0.1)
 - As confirmed with Mr. Bill Green of the City of Bunnell Utilities Department "no connection fees will apply" when tap connections are performed by qualified site utility contractor. . It is understood there are no Flagler County water connection fees.
 - City of Bunnell Utilities sewer connection fees (General Note-7/ P0.1)
 - As confirmed with Mr. Bill Green of the City of Bunnell Utilities Department "no connection fees will apply" when tap connections are performed by qualified site utility contractor. It is understood there are no Flagler County sewer connection fees.
 - Water meter fee (2.16, A/221113).
 - As confirmed with Mr. Bill Green of the City of Bunnell Utilities Department "No Water meter fees will apply" when required Water meters are provided and installed by qualified site utility contractor. It is understood there are no Flagler County water meter fees.
 - Natural gas connection or services fees.
 - Site Gas services; piping, meters and regulators, are to be provided by Gas service provider to locations as follows:
 - Outside new Sallyport (Rm# S123) as indicated on plan sheet P1.1.
 - Outside existing Mechanical Room (Rm# S110) as indicated on plan sheet P1.1.
 - Outside new Laundry Room (Rm# M107) as indicated on plan sheet P1.1.
 - FP & L electric connection fees (General Note-4/E0.1) (Per Owner, these are paid directly by Flagler County).
8. Flagler County building permit fees are not included (Per Owner, these are paid directly by Flagler County).
 - Planning, zoning, development, growth management fees are not included.
 - SJRWMD permits have been received by Flagler County.
9. The following specifications are not included (not received).
 - 018113 – Sustainable Design Requirements
 - 018153 – LEED Product Submittal Data Form
 - 105050 – Metal Lockers
 - 105310 – Aluminum Walkway Canopy System
 - 260130 – Quality Requirements
10. Owner direct purchase program includes individual purchase orders for greater than \$10,000.
11. Classroom additions are not included.
 - Design is pending. Final price is pending.
 - If one (1) 1,000 sqft classroom is required, budget.....add \$217,500
 - If two (2) 1,000 sqft classrooms are required, budget.....add \$435,000

Selective Demolition

12. Asbestos, lead, mold and other hazardous or toxic material survey, testing or abatement is not included.

Concrete

13. Existing Support Services laundry lint trough remains as-is (C/P5.2).

Precast Concrete Detention Modules

14. Detention cell and shower modules are not able to achieve the fire-rating certifications or labeling (1.2, E/034100 versus T1.1, LS1.1, LS1.2).
15. Two-man cell dimensions match drawings (11/A5.1).
- The Design Professional will confirm that the dimensions conform to ADA.
16. Lower modules are six-sided, connecting to concrete foundations (9/S0.3) instead of five-sided, connecting to concrete slab-on grade (3/A4.4).

Masonry

17. Infill existing window at Operations Center as shown on Allstate Construction, Inc. 12-05-14 sketch.
18. Cavity wall flashing is rubberized asphalt (3/A4.1, 5/A4.1).

Steel

19. Fabricator's standard primer is included (2.01, H/051200) instead of sole-source Tnemec (Structural Metals Note-7/S0.1).
20. Hoist beam and support framing is not included (2/A4.3).
21. Embedded sill angles at overhead doors are not included (20/A7.1).
22. Dayroom stair railings are four-line plus hand rail (6/A5.0, 12/A5.0) instead of pickets (3/A4.4).
23. Mezzanine guard rails are three-line without hand rail (6/A5.0, 12/A5.0).
24. Attic space guard rail is two-line without hand rail (13/A5.0).
25. Embedded stair nosings are not included (2.01, H/055000).
26. Mezzanine mesh barrier is not included (3/A4.4, 6/A5.0).
- If mezzanine mesh barrier is required.....add \$184,108
 - o 14 gauge security hollow metal made in 4' wide x 13'-0" +/- tall panels with a 2x2x1/8" woven wire mesh inserts.

Rough Carpentry

27. Preservative-treated wood blocking is included at concrete masonry instead of fire-retardant treated (4/A5.2).

Cabinets

28. Cabinet work is included:
- Processing Counter S131 (SK1-1.1).
 - Control Room M209 (A1.4A, F/ES2.0).
 - Reception (A/ES2.0).

Metal Roofing

29. Retrofit framing system is included (1/S2.5 versus metal building framing 2.5/133419).
30. The following panels are included.
- Roof panels: Architectural Metal Systems (2.6/133419).
 - Wall panels: Architectural Metal Systems (2.7/133419).
31. Roof and wall insulation is generic VRR-faced (2.8/133419).
32. Roof insulation is R-30 VRR-faced, long tab, banded instead of either bag-and-sag batts (e.g. A4.3, A4.4), Butler mesh (2.9/133419) or Butler liner panels (2.10/133419).
33. Kynar finished aluminum gutters and downspouts are included instead of stainless steel (076310).

Fireproofing

34. Sprayed fireproofing is not included (078123 versus Project Information/T1.1).

Firestopping

35. Firestopping installation is by manufacturer's approved applicator.
- Third-party certification is not required (1.08, C/078400).
36. Firestopping is not included at exterior walls of connecting corridor (LS1.0, LS1.1).

Expansion Joints

37. Expansion joint assemblies are not shown or included (079500).

Doors, Frames & Hardware

38. Jamb, head and sill details at precast concrete detention modules are shown on Allstate Construction, Inc. 12-02-14 sketch.

Floor Door

39. Floor door is not fire-rated or smoke rated (LS1.2).

Overhead Doors

40. Overhead doors are not insulated (083333 versus A7.0).

Gypsum Board

41. Secure mesh is ASF1.5-9F instead of ASF-1.5-9R (2.3, A/102213).
42. Existing Operations Center classroom wall remains as-is (D1.2, A1.5).
- Existing finishes are protected and neatly modified during renovations.

Ceilings

43. Existing Operations Center ceilings are replaced in Public Video Visitation 0100, Men's 0101 and Women's 0102.
- Other existing Operations Center ceilings are protected during renovation and remain as-is (A11.3).

Resinous Flooring

44. Resinous flooring is Gold Medal Deco-Floor Quartz system (096723).
45. Resinous flooring allowance (labor and materials) is included in Court Holding S111 instead of carpet (A11.0).
46. Resinous flooring (096723) allowance (labor and materials) is included at (Interior Finish Note 1/A11.1, /A11.2):
- Shower only (S133/A1.1).
 - Showers A102, B105, C105, D105, E105, F105 (A1.3A) Showers G105, H105, I105, J105, K105, L102 (A1.3B). Showers C205, F205 (A1.4A).
 - Showers I205 (A1.4B).
47. Fiberglass-mat reinforced epoxy wall coating is not included (099600).

Flooring

48. Floor tile is Dal-Tile Porcelain unpolished Group I (2.06/093000).
49. Wall tile and line is not shown or included (2.04, 2.05/093000).
50. VCT is included instead of Marmoleum (096519).
51. Existing Operations Center flooring is replaced in Public Video Visitation 0100, Men's 0101 and Women's 0102.
- Other existing Operations Center flooring is protected during renovation and remains as-is (A11.3).
52. Carpet is included instead of sealed concrete in Control Room M209 (A11.2).
53. Quarry tile is included in Freezer S105C and Cooler S105B (FS1.1) instead of exposed floor panels (A11.1).

Painting

54. Existing Operations Center walls are re-painted in Public Video Visitation 0100, Men's 0101 and Women's 0102.
 - Other existing Operations Center walls remain as-is (A11.3).
55. Manufacturer's standard, clear, curing-sealing compound (e.g. Euclid Aqua-Cure VOX) is included at exposed concrete floors ("SC"/A11.x) instead of either high-gloss finish (2.04, D/033000) or acrylic floor coating (2.03, B, 5/099100).
56. Hollow core as-cast finish is field-painted.
 - Texturing of planks or caulking of joints is not required.

Signs

57. Neither signage schedule nor sketches are shown or included (2.03/104400)
 - Sign allowance (labor and materials) is included for signs as shown on attached sketches by Allstate Construction, Inc.
58. Sign specifications as follows do not apply:
 - Exterior signs (2.03/104400).
 - Metal Logo (2.04/104400).
 - Evacuation signs (2.05/104400).

Toilet Partitions

59. Column-to-column privacy screens are too long for HDPE (6/A5.1, 7/A5.1).
 - Stainless steel partitions are included.

Visitation Partitions

60. Stainless steel slanted writing shelf (3/A5.2) allowance (materials and labor) is included.
61. Single-piece, vertical brackets are included instead of two-piece (A5.2).
62. Two "typical" partitions are included at ends instead of one single-piece partition (4/A5.2).
63. HDPE is not recommended for inmate-side partitions (A1.1, A1.3A, A1.3B).
 - Painted masonry wing walls are included.

Fire Extinguishers

64. Bracket-mounted fire extinguishers are included at (2.03/104416 versus "LS" drawings):
 - Mechanical M105, M111, M112
 - Electrical M106, M204
 - Kitchen S105
65. Fire extinguisher cabinets are not shown or included (2.05/104416).

Laundry Equipment

66. Washers are Electrolux W5350X and dryers are American Dryer Corporation AD-120i instead of Uni-Mac (109900).
67. LP to natural gas conversion kit allowance (labor and materials) for existing dryers is included pending confirmation by new gas supplier and existing dryer manufacturer (E/P2.2, 109900).

Food Service Equipment

68. Mobile pan racks (item #18) are existing to remain (FS1.1) instead of new (11400).
69. Double convection oven (item #21) is Garland (11400) instead of Blodgett (FS1.1).
70. Three mobile tray units (item #36) are included (FS1.1) instead of four (11400).

Equipment

71. Lapeyre Stair does not produce retractable stairs (055133 versus 3/A4.3).
 - Standard "Precision Ladders" is included.

Detention Furnishings

- 72. Holding cell benches allowance (labor and materials) is included pending design layout (A1.1).
- 73. Pistol locker allowance (labor and materials) is included pending quantities desired (2.01, C/11197).
- 74. TV's and TV brackets are not included (E2.2).

Plumbing

- 75. Embedded PEX tubing is included for the precast concrete showers (E/P2.3).
- 76. Operations Center new 2-1/2" water line extends above ceiling in Women's Lockers and is insulated and covered on the exterior wall (C/P1.5).

HVAC

- 77. \$880 payment to engineer-of-record is not required (1.4, D/230900).
- 78. Smoke dampers or fire dampers are not shown or included at WHP-1, -2 (A1.3A versus LS1.0, LS1.1).
- 79. Existing RTU's-12, -14 remain in place, as-is (Demolition Keynote-22/MD1.1).
- 80. Exhaust fan EF-12 and related work is included (Alt #1/MD1.1, /MD1.2, /M1.2).

Electrical

- 81. \$2,560 payment to engineer-of-record is not required (1.11/260943).
- 82. Existing Operations Center classroom receptacles remain as-is (ED2.2, E2.4).
- 83. Three-phase service to motor-operated gate allowance (labor and materials) pending design (2.5, C, 3/323113.53 versus E1.0).
- 84. Sewage grinder alternate includes electrical service allowance (labor and materials) pending design (E1.0).
- 85. Electrical warranties are included.
 - 12-month's "maintenance service" is not included (3.7/260100, 1.11/263213).
- 86. Videography is by Allstate Construction, Inc. employees instead of "commercial videographer" (3.3, A/260190).
- 87. Building grounding is included (E4.4).
 - Lightning protection system is not shown or included.
 - If lightning protection system for New Housing is required.....add \$39,738
 - If lightning protection system for New Booking, Sallyport, Kitchen additions and the existing Support Services Building is required,.....add \$82,946

Smoke Control System

- 88. The smoke control system is specified across divisions 23 and 26.
 - Separation of HVAC subcontractor and fire alarm subcontractor, as shown on Allstate Construction, Inc. 11-19-14 sketch approved by the engineer of record, is included.

Telecommunications

- 89. Telecommunications conduits, boxes and cabling are included.
- 90. Existing classroom communications rough-in remains as-is instead of new (E2.4).
- 91. Telephone devices and head-end equipment are not included.

Electronic Security

- 92. New controls for existing electronic security devices ("X"/ES1.1, /ES1.2) and new electronic security devices and controls (sketches Alternate/Z-ES11, Alternate/Z-ES12) are included.

Site

- 93. Geotechnical test pits are not included (pages 4 & 12/Universal Engineering Services, 06-19-14).
 - If geotechnical test pits are required, add \$8,267
- 94. Removal and replacement of unsuitable soils is not included (page-5/Universal Engineering Services, 06-19-14).
 - If removal and replacement of unsuitable soils is required, add \$21.41/cuyd
- 95. Tree pruning, tree service and arborist work are not included (015639).
- 96. Additional asphalt parking is not included (Alt #3,C-301).
 - If additional asphalt parking is required, add \$20,107

Site Water & Sanitary Sewer

- 97. New water service to Operations Center is included (C-601).
- 98. Channel-mounted grinder is included (Alt #2/C-601).

Site Gas

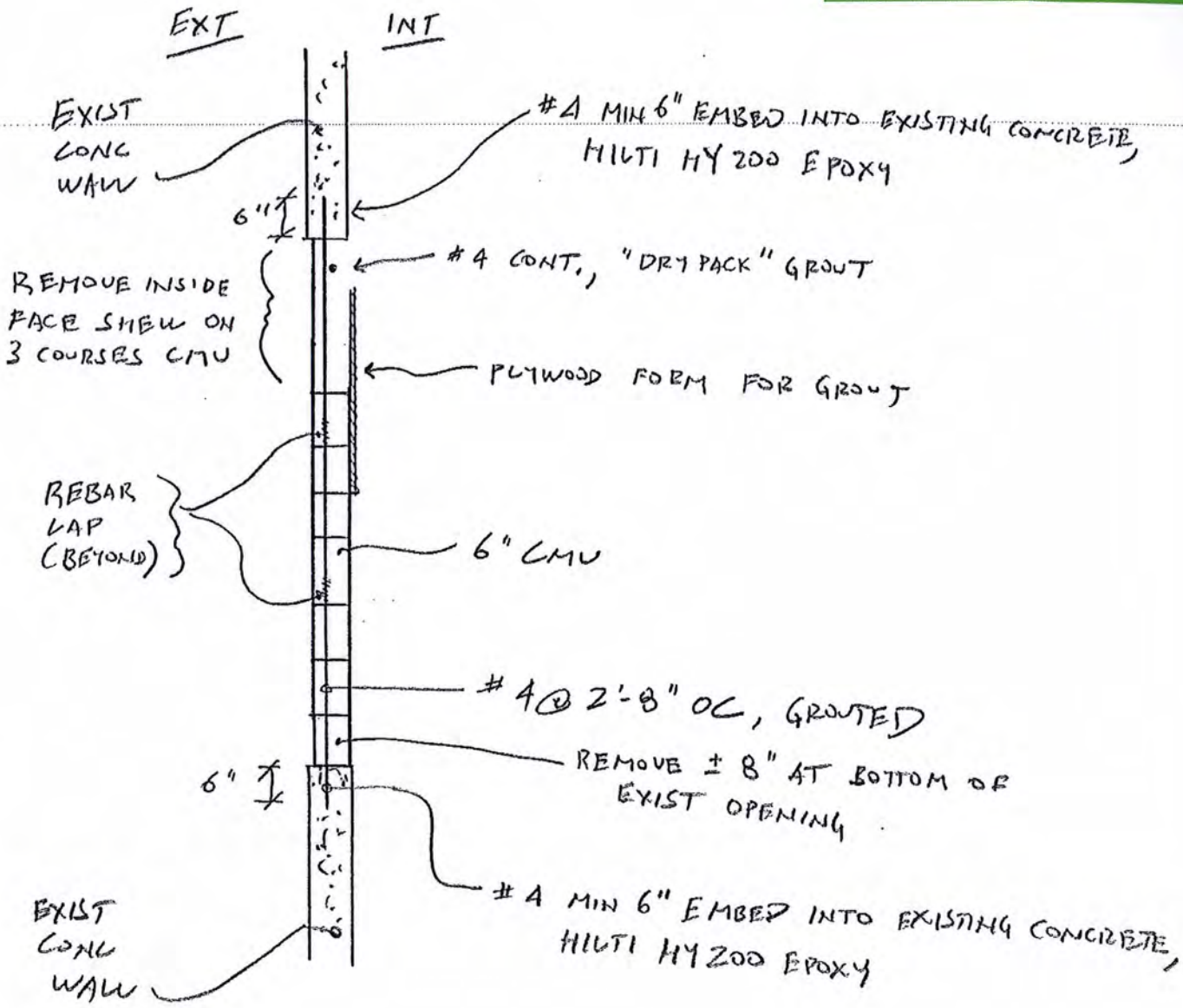
- 99. Natural gas piping from supply to the following are not included:
 - Meter and regulator outside Mechanical S110 (P1.1).
 - Meter and regulator outside Mechanical M105 (P1.3A, P1.3B).

Fencing

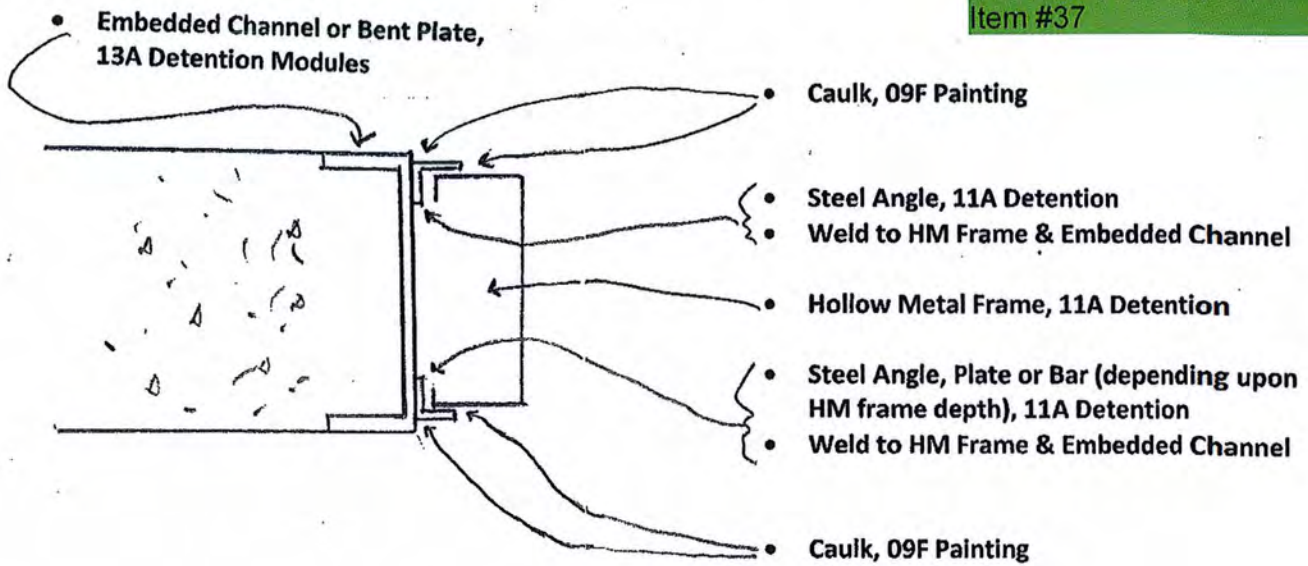
- 100. Fencing, gates, gate operators, razor wire and concrete barrier allowance (labor and materials) is included pending design (323113.53)
 - Allowance includes furnishing barbed tape instead of owner-furnished (2.10/323113.53).

Site Communications

- 101. Existing antenna guy wire modification allowance (labor and materials) is included (Alt #4/C-301).
 - Allstate Construction, Inc. liability and property insurance is not included for work involving, and consequential to, the antenna tower work.
 - Standard liability insurance is to be provided by specialty contractor contracted to perform the noted antenna guy wire modifications and the cost thereof shall be covered by within the defined allowance.



OPERATIONS CENTER
EXTERIOR WINDOW INFILL
ALLSTATE CONSTRUCTION, INC.
DEC 05, 2014



HEAD & JAMB

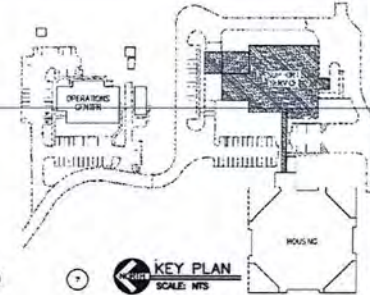


SILL

Allstate Construction, Inc.
December 2, 2014

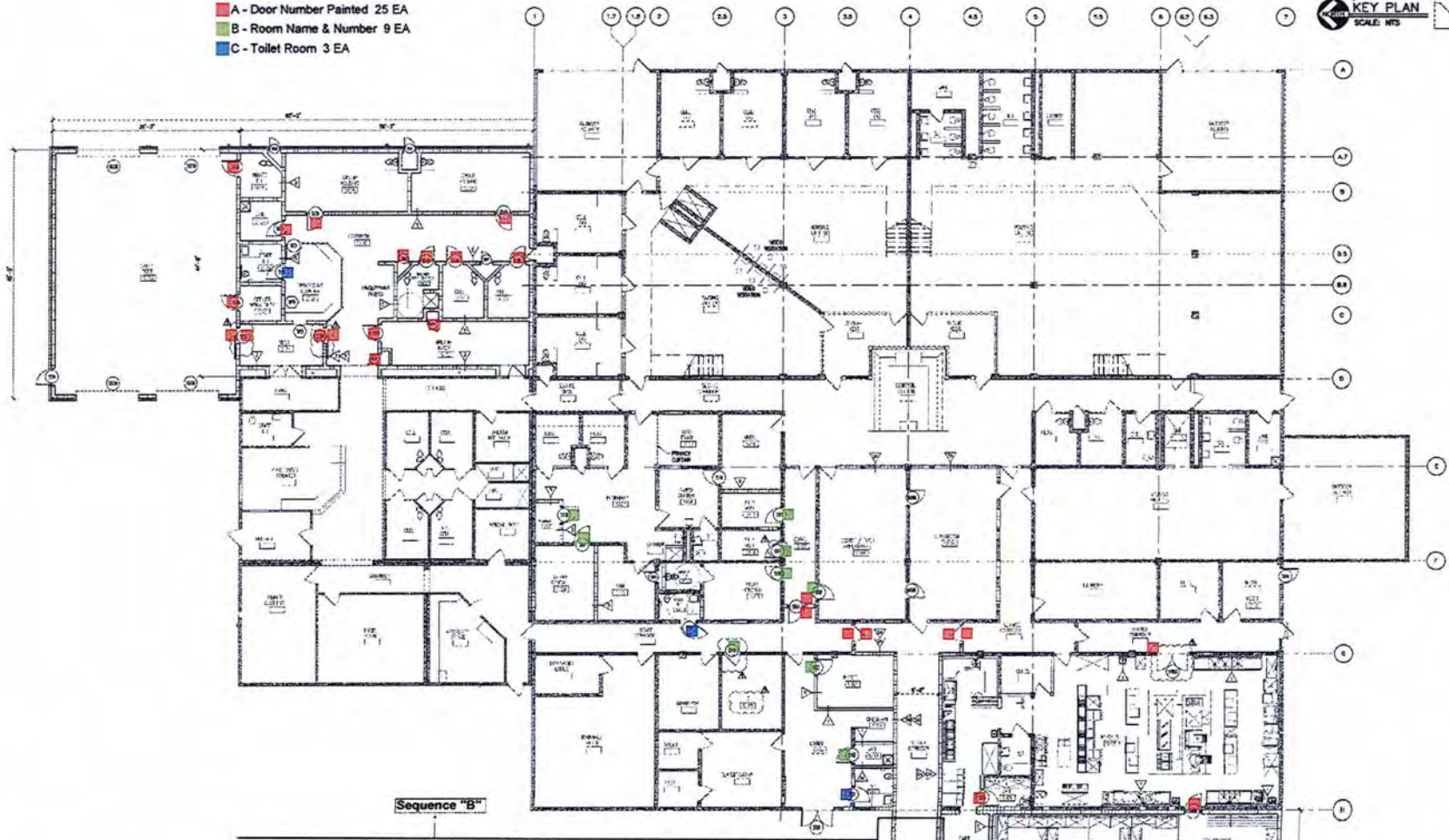
DATE: 08/20/2013
 DWP: Construction & Reinforcement, Sign, Item #17

- A - Door Number Painted 25 EA
- B - Room Name & Number 9 EA
- C - Toilet Room 3 EA



LEGEND

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	1/4\"/>



SUPPORT SERVICES - FIRST FLOOR
 SCALE: 1/8"=1'-0"

FLAGLER COUNTY JAIL
 BUNNELL, FLORIDA

CRA Architects
 Clemons, Rutherford & Associates Inc.
 Architects
 Planners
 Interior Designers
 Construction Managers

3027 Thomasville Road
 Tallahassee, Florida 32309
 (904) 385-6183
 Fax: (904) 385-6420
 www.clemons-rutherford.com

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 ALLSTATE CONSTRUCTION
 8/20/13

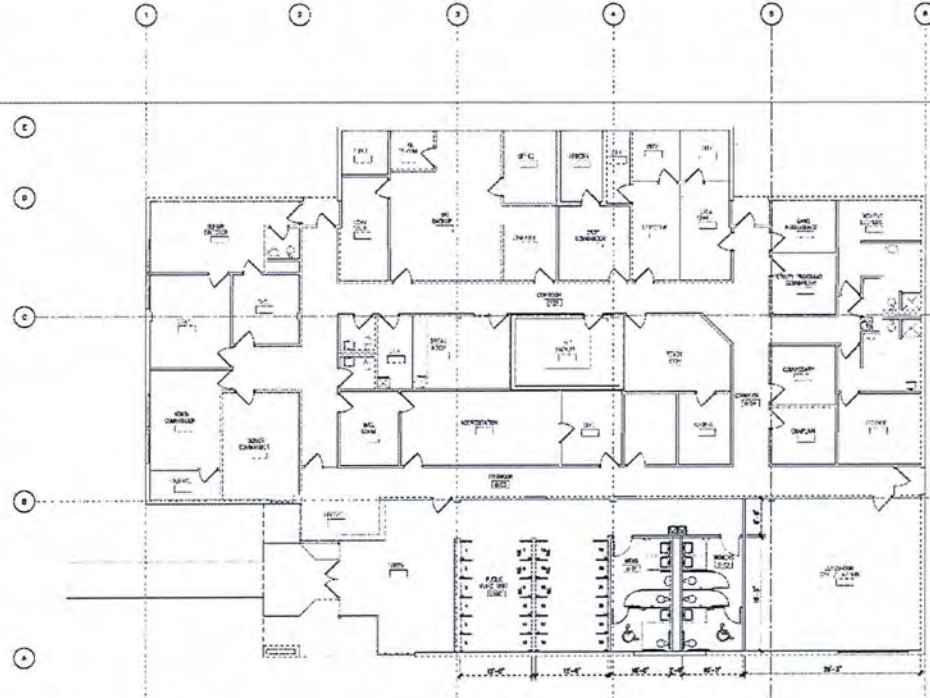
REVISIONS

NO.	DATE	DESCRIPTION

CRA PROJ # 13045
 PHASE: CONSTRUCTION DOCUMENTS
 SUPPORT SERVICES BUILDING
 FIRST FLOOR
A1.1

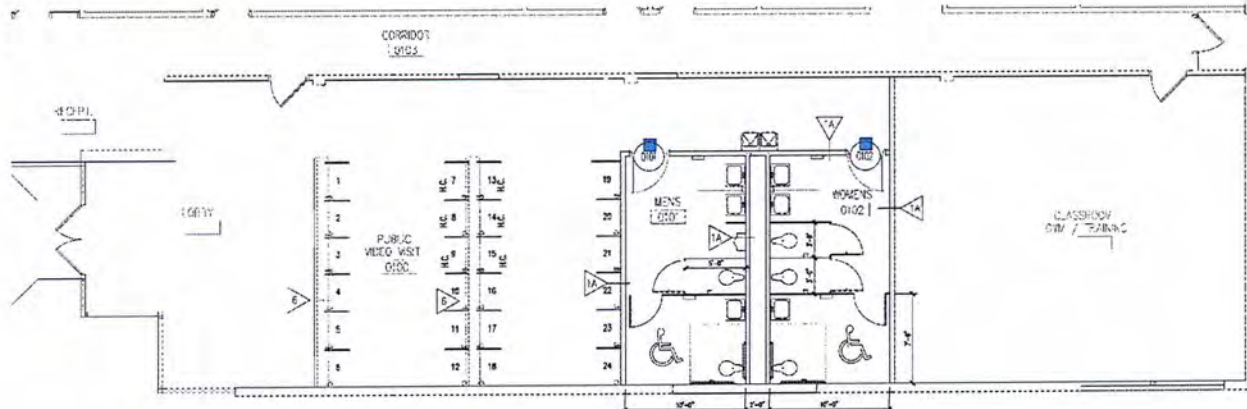
4.1.7 - Support Services (20th of 24th) - Project for Jail (Pages 01 - 02) (2013-01-10) (2013-08-13) (2013-08-13)

DESIGNER'S OFFICE:
CRA ARCHITECTS
1001 N. UNIVERSITY BLVD
SUITE 100
TALLAHASSEE, FLORIDA 32310-5000
PH: (904) 939-8182
FAX: (904) 939-8400
WWW.CRA-ARCHITECTS.COM

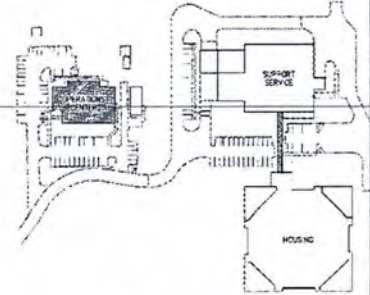


OPERATIONS CENTER - VIDEO VISITATION
SCALE: 1/8"=1'-0" Sequence "B"

■ C - Toilet Room 2 EA



VIDEO VISITATION - ENLARGED PLAN
SCALE: 1/4"=1'-0" Sequence "B"



KEY PLAN
SCALE: NTS

(Symbol)	3/8" R/C
(Symbol)	1/4" R/C BASE
(Symbol)	2 1/4" R/C BASE
(Symbol)	INTERIOR SCHEMATIC FINISH
(Symbol)	INTERIOR SCHEMATIC FINISH
(Symbol)	PAINT GRAB
(Symbol)	PAINT GRAB
(Symbol)	PAINT GRAB
(Symbol)	PAINT GRAB
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(Symbol)	PAINT GRAB

FLAGLER COUNTY JAIL

RUNNELL, FLORIDA

CRA
Architects

Gleason, Rutherford & Associates Inc.
Architects
Planners
Interior Designers
Construction Managers

3827 Thomaston Road
Tallahassee, Florida 32309
(904) 939-8182
Fax (904) 939-8400
www.flaglercra.com

RECEIVED
ALLSTATE CONSTRUCTION
11/29/2014

NO.	DATE	BY	DESC.
1	11/29/2014
2	11/29/2014

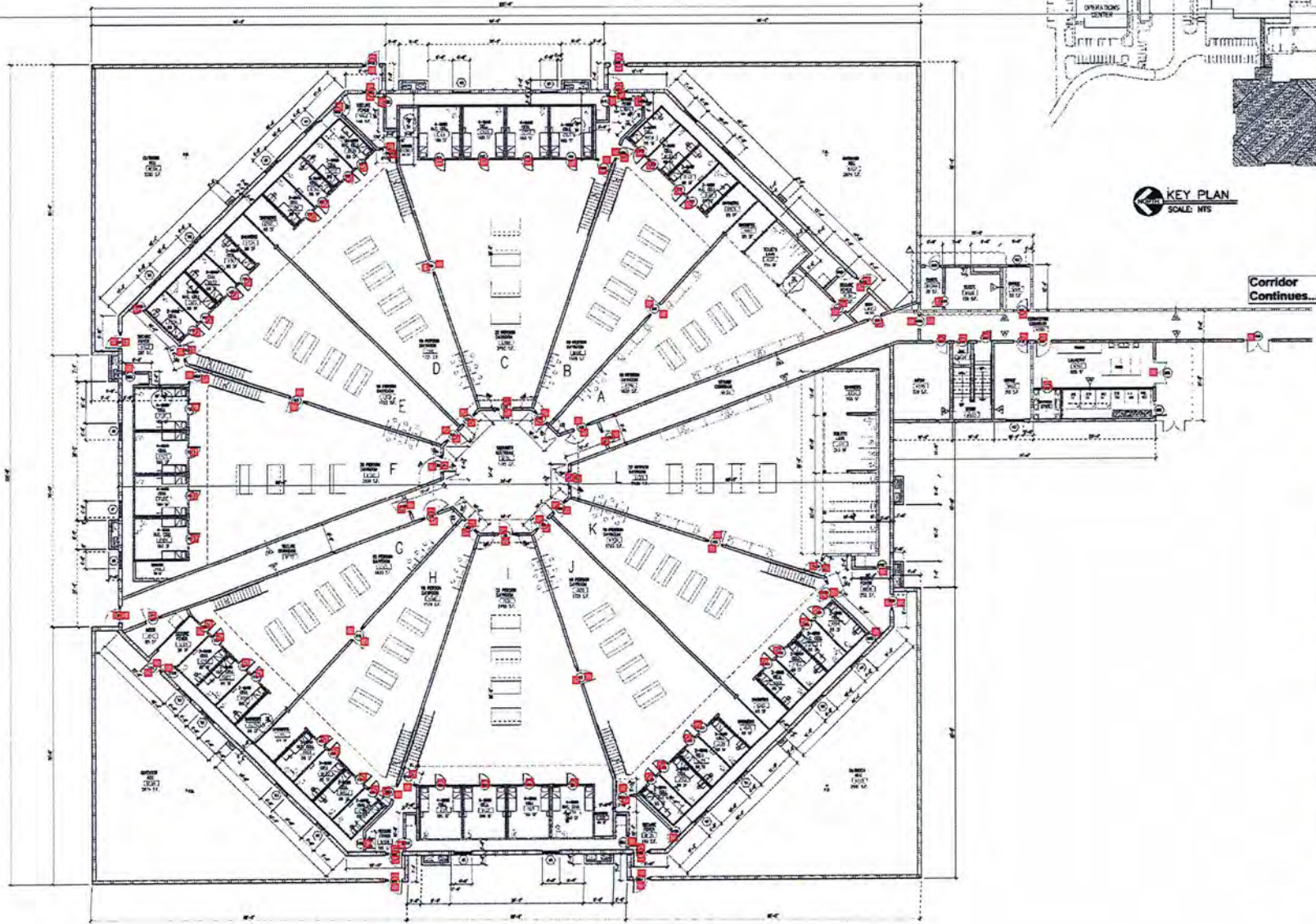
REVISIONS

DATE

CRA PROJ# 23245
PHASE: CONSTRUCTION DOCUMENTS
SHEET NO. OPERATIONS CENTER VISITATION PLAN
A1.5

DATE: 11/12/2014
 DWG: 1111111111
 PROJECT: 1111111111

A - Door Number Painted 156 EA



COMPOSITE PLAN
 NEW HOUSING POD - FIRST FLOOR
 SCALE: 3/32"=1'-0"

LEGEND

- 100 WALL
- 200 WALL
- 300 WALL
- 400 WALL
- 500 WALL
- 600 WALL
- 700 WALL
- 800 WALL
- 900 WALL
- 1000 WALL
- 1100 WALL
- 1200 WALL
- 1300 WALL
- 1400 WALL
- 1500 WALL
- 1600 WALL
- 1700 WALL
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- 20000 WALL

KEY PLAN
 SCALE: NTS

Corridor Continues...

FLAGLER COUNTY JAIL

RUNNELL, FLORIDA

CRA
 Architects

Clemens, Rutherford & Associates Inc.

Architects
 Planners
 Interior Designers
 Construction Managers

1007 Thomerville Road
 Tallahassee, Florida 32301

(850) 395-4199
 Fax: (850) 395-5620
 cra@clermans-rutherford.com

Miss Susan Rutherford
 Architect
 Design Professional Seal
 0022678

RECEIVED
 ALLESTATE CONSTRUCTION
 11/10/2014

REVISIONS

NO.	DATE	BY	REVISION
1	11/10/2014		

PROJECT

DESCRIPTION

DATE

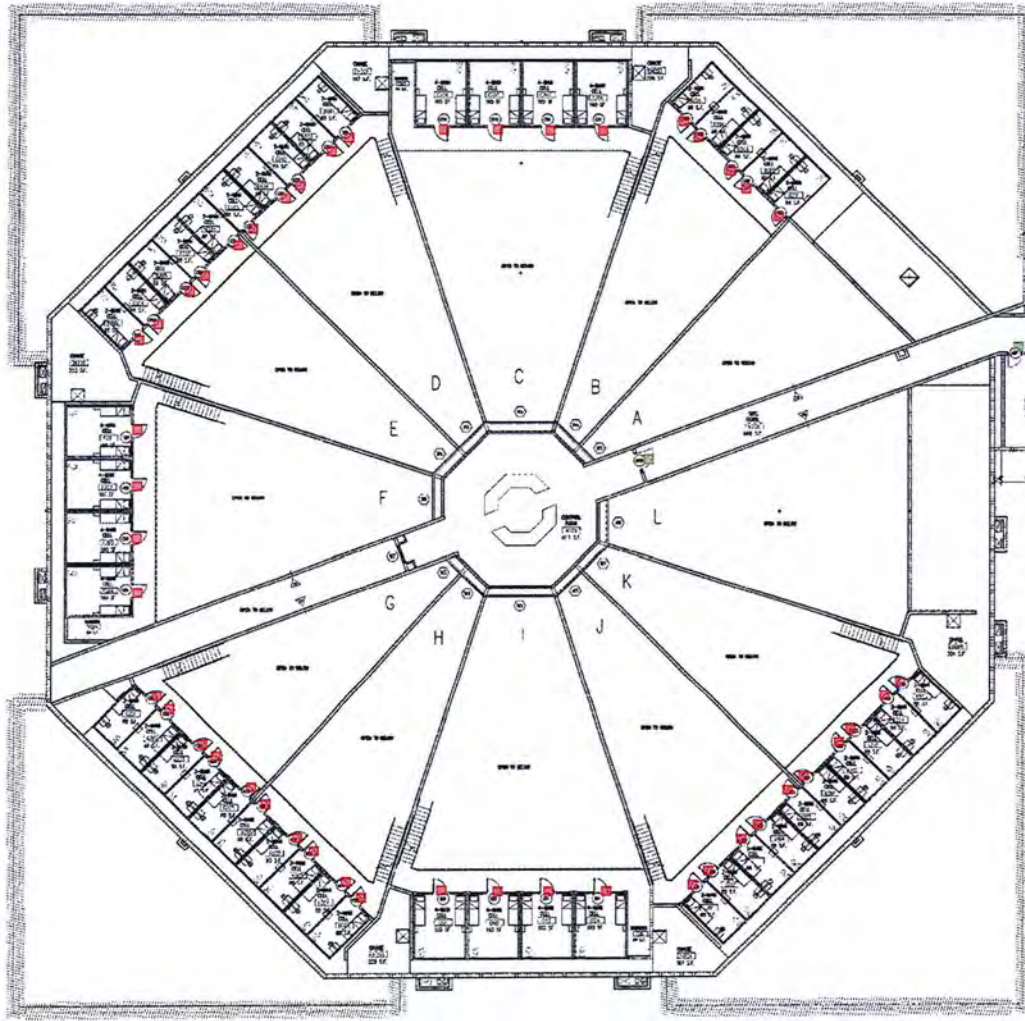
SCALE

A1.3

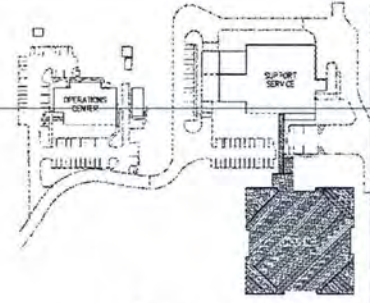
11/2 Housing Pod (2) of 3 (Pods) / Pod 1 - 11/2 / Pod 2 - 11/2 / Pod 3 - 11/2 / 11/2

DATE: 10/20/2020
 DWG: 100100000
 PROJECT: FLAGLER COUNTY JAIL

- A - Door Number Painted 47 EA
- B - Room Name & Number 7 EA
- C - Toilet Room 1 EA



COMPOSITE PLAN
 NEW HOUSING POD - MEZZANINE LEVEL
 SCALE: 3/32"=1'-0"



KEY PLAN
 SCALE: NTS

Corridor Continues...

LEGEND

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FLAGLER COUNTY JAIL

BUNNELL, FLORIDA

CRA Architects
 Clemons, Rutherford & Associates Inc.
 Architects
 Interior Designers
 Construction Managers
 3827 Thomaston Road
 Tallahassee, Florida 32309
 (904) 385-6199
 Fax (904) 385-6420
 cra@clemons-rutherford.com

When Some Synthetic
 RECORDS
 Drugy International Safety
 RECORDS

RECEIVED
 ALLSTATE CONSTRUCTION
 11/07/2014

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

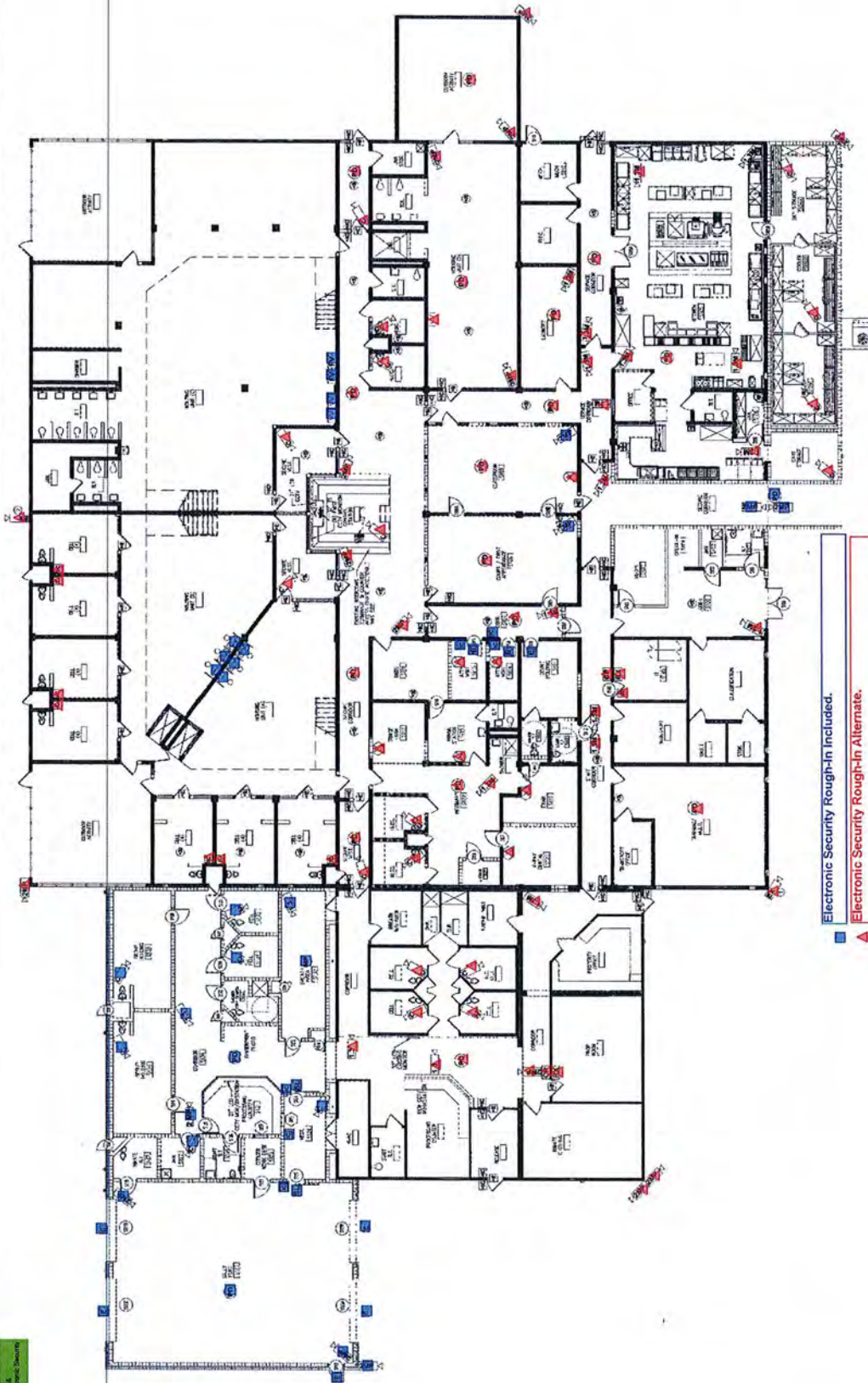
NO.	DATE	DESCRIPTION

CRA PROJ # 13045

PHASE: CONSTRUCTION DOCUMENTS

PROJECT: NEW HOUSING POD MEZZANINE COMPOSITE PLAN

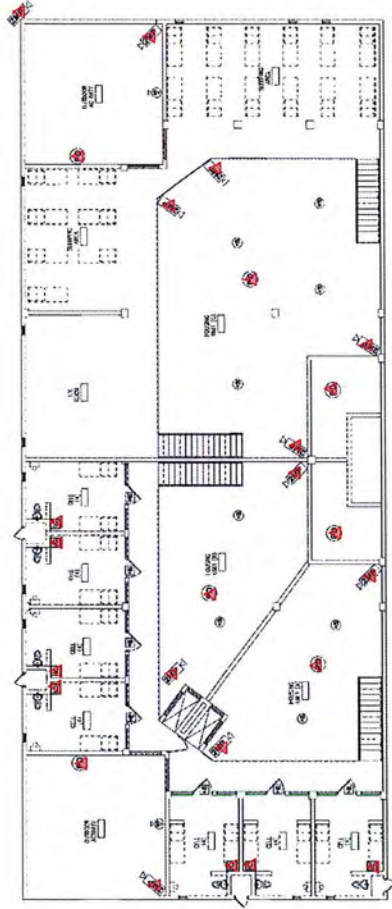
A1.4



■ Electronic Security Rough-in Included.

▲ Electronic Security Rough-in Alternate.

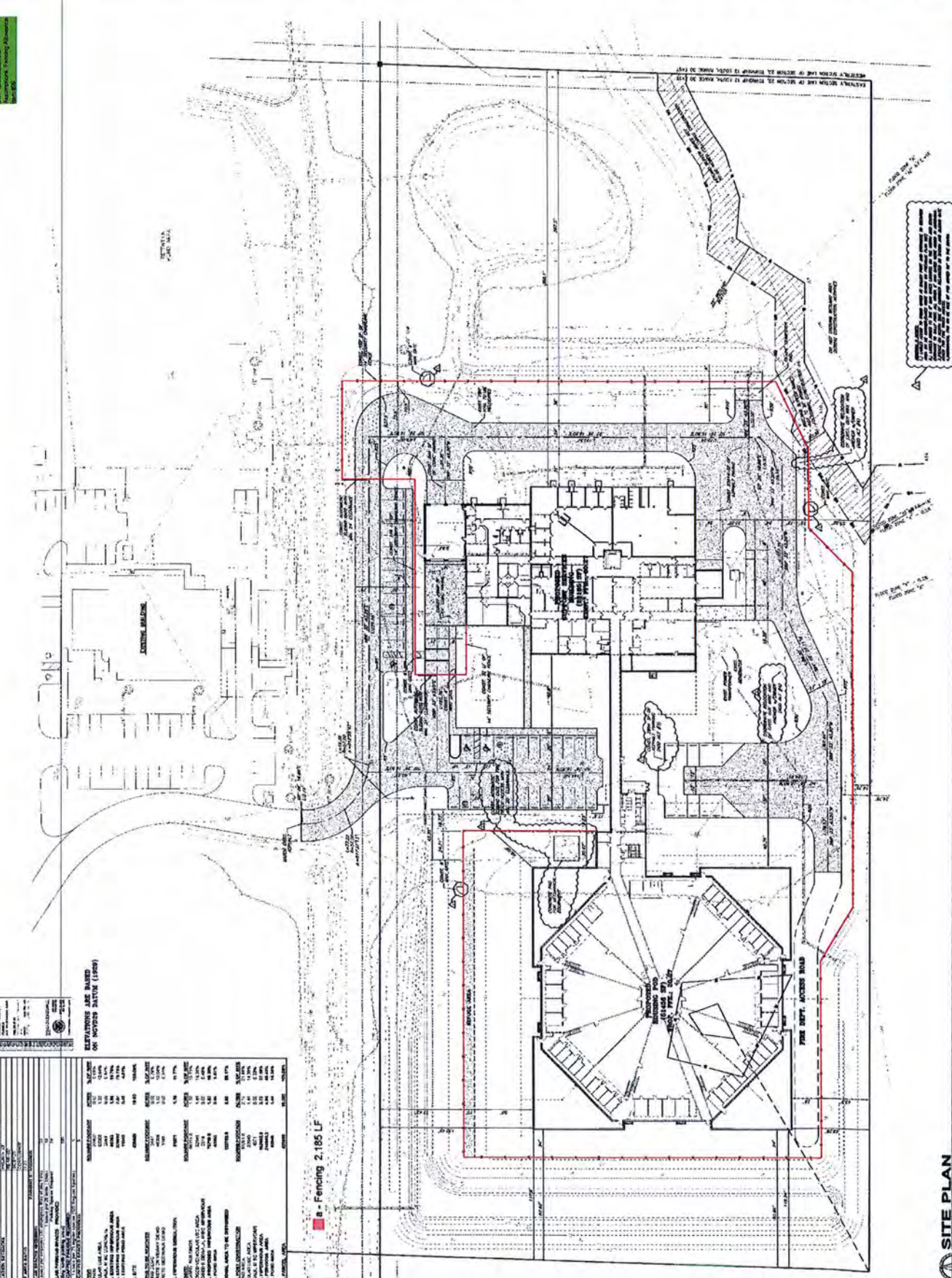
Drawing Z-ES11
 Allstate Construction, Inc.
 November 25, 2015



■ Electronic Security Rough-In Included.

▲ Electronic Security Rough-In Alternate.

Drawing Z-EST12
Allstate Construction, Inc.
November 25, 2015

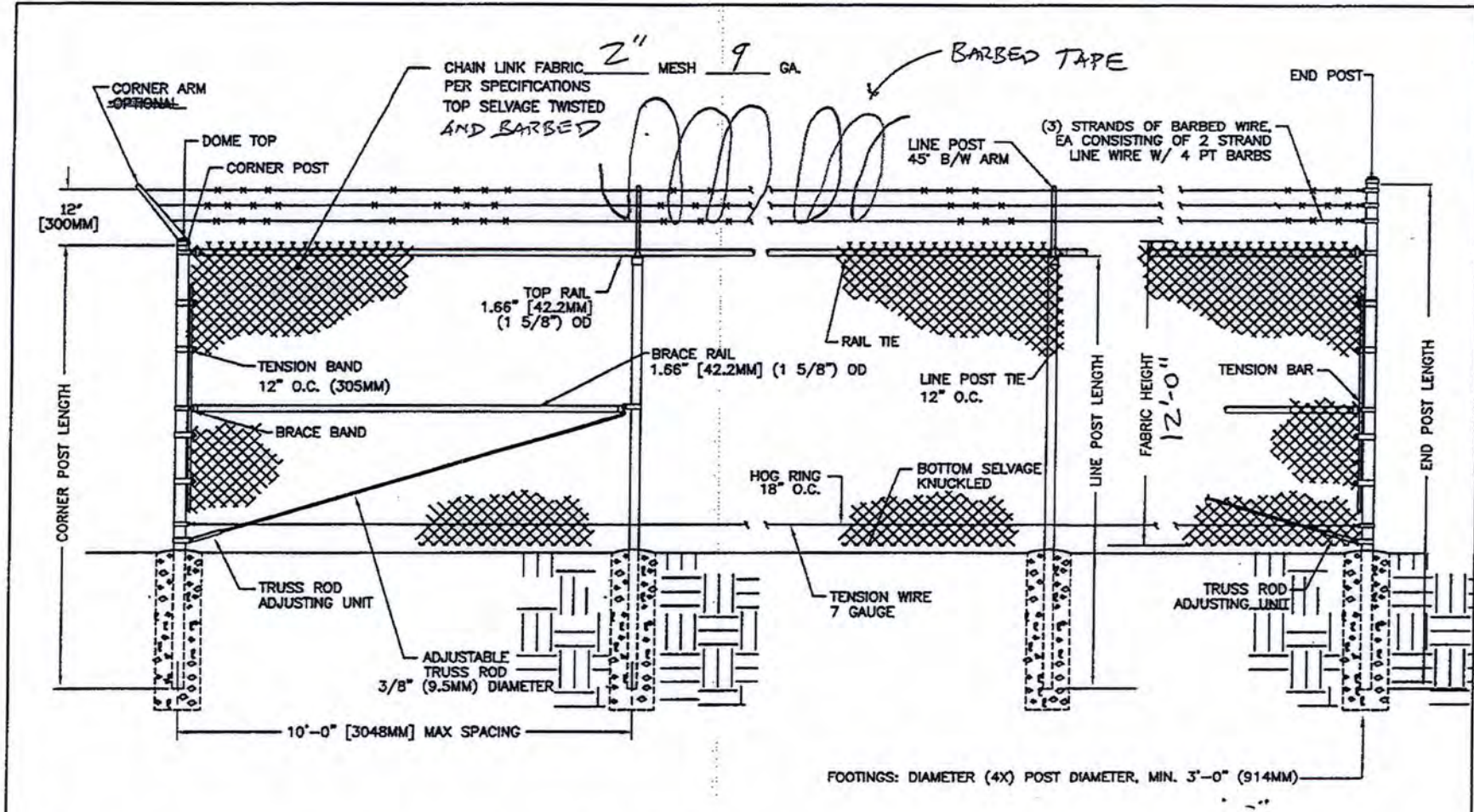


ELEVATIONS ARE BASED ON NGVD DATUM (1989)

NO.	DESCRIPTION	AREA	PERCENT	ACRES
1	TOTAL SITE AREA	100.00	100.00	2.28
2	EXISTING IMPROVEMENTS	10.00	10.00	0.23
3	NEW IMPROVEMENTS	90.00	90.00	2.05
4	TOTAL IMPROVEMENTS	100.00	100.00	2.28

a - Fencing 2,185 LF

Sketch #ACISK009
 GMP Clarifications & Assumptions,
 Fencing Allowance Item #99



13

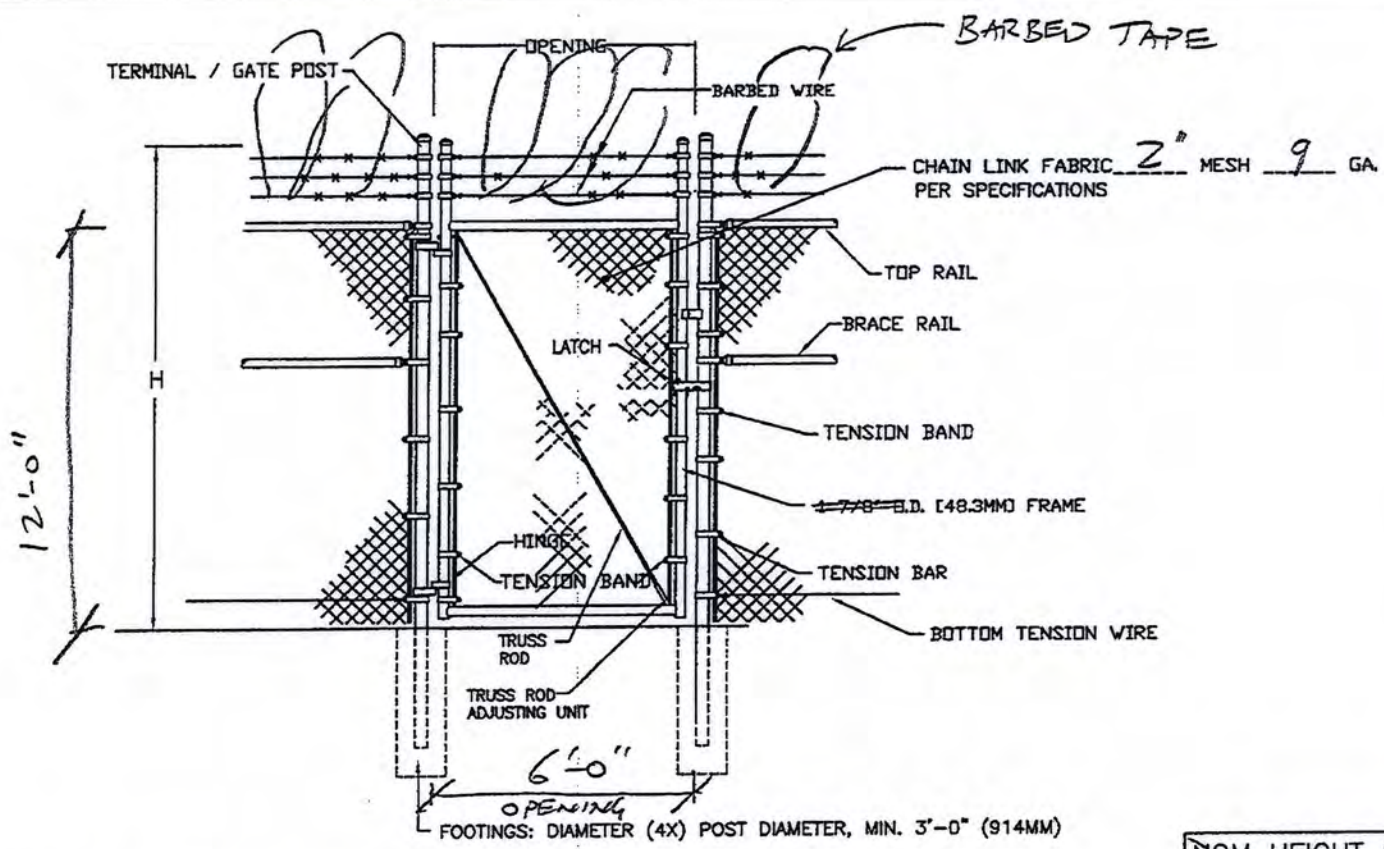
ANUSTATE CONSTRUCTION, INC. 01.05.15



Chain Link Fence Manufacturers Institute
 10015 Old Columbia Rd. Suite B 215
 Columbia, MD. 21046

TYPICAL PERIMETER FENCE SECTION	
TYPICAL FENCE ELEVATION TOP RAIL / TRUSSED BRACE RAIL 3 STRANDS BARBED WIRE WITH BOTTOM TENSION WIRE	BY: ART DATE: 08/10/09

CLFMI
CLTA
SCALE: 1:40



NOTE:
 1. VERTICAL AND HORIZONTAL MEMBERS MAXIMUM 8' O.C.

NOM HEIGHT (ft)
6'-0" OR 6+1=7'
7'-0" OR 7+1=8'
8'-0" OR 8+1=9'

GATE PLAN

ALUSTATE CONSTRUCTION, INC. 01.05.15



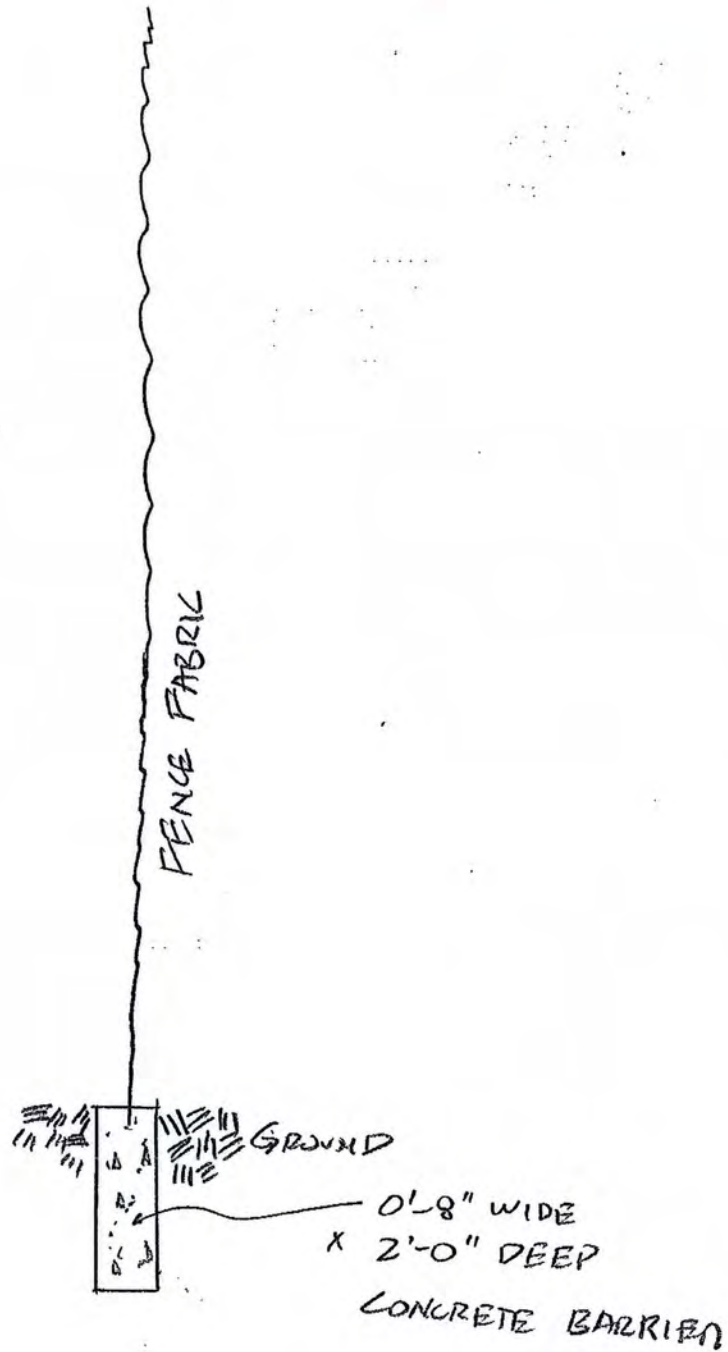
Chain Link Fence Manufacturers Institute
 10015 Old Columbia Rd. Suite B 215
 Columbia, MD. 21046

TYPICAL SINGLE SWING GATE PERIMETER

3 STRANDS BARBED WIRE (OPTIONAL)

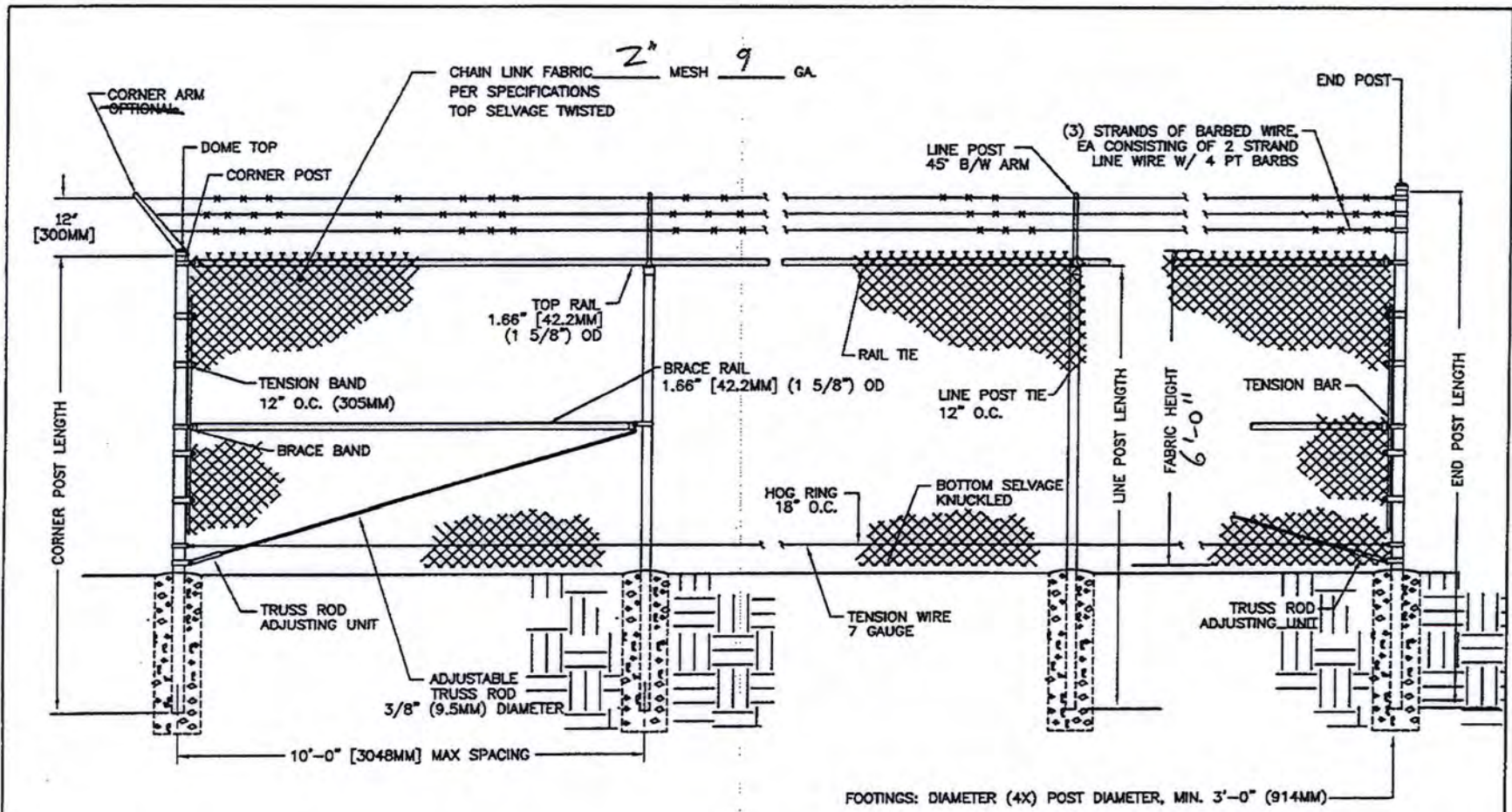
BY: ART
 DATE: 08/17/09

CLFMI
 CLGA-1
 SCALE: 1:40



CONCRETE BARRIER
ALUSTATE CONSTRUCTION, INC.
01-05-15

Sketch #ACISK009
 GMP Clarifications & Assumptions,
 Fencing Allowance Item #99



13

ALUSTATE CONSTRUCTION, INC 01.05.15

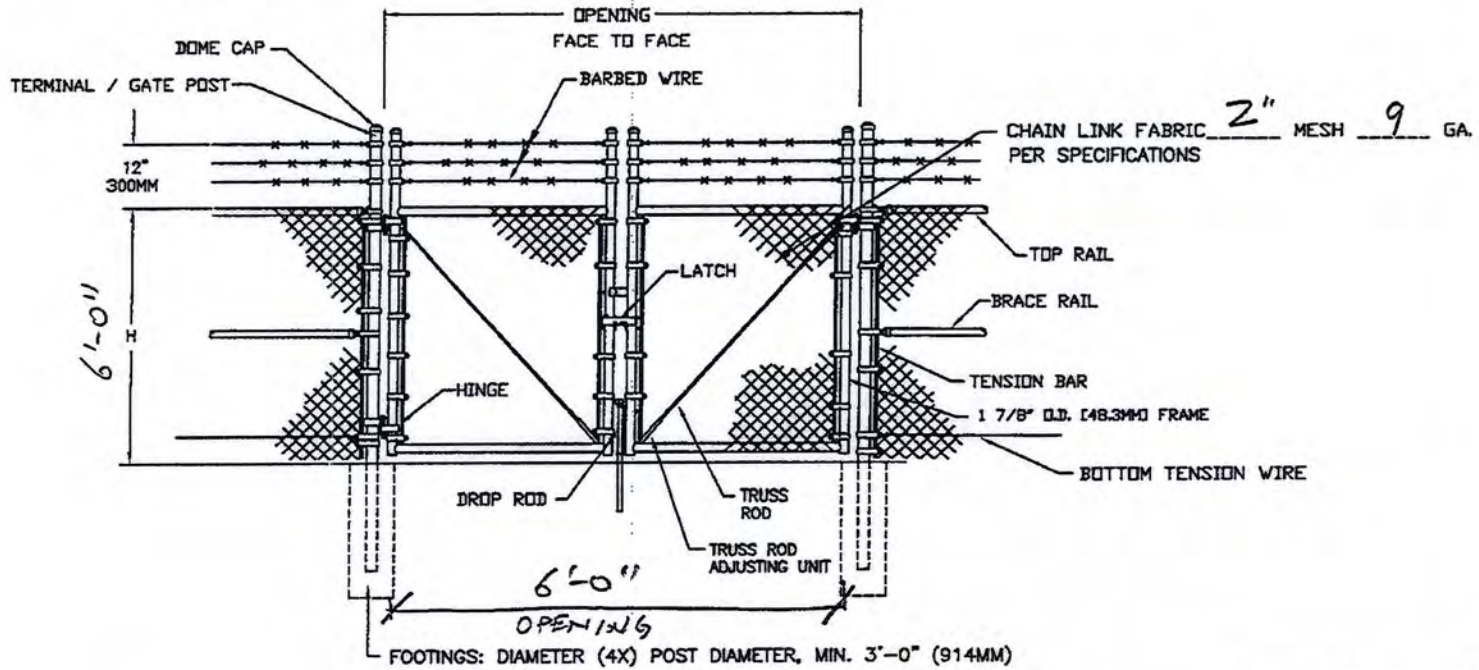


Chain Link Fence Manufacturers Institute
 10015 Old Columbia Rd. Suite B 215
 Columbia, MD. 21046

TYPICAL FENCE SECTION	
<i>LAUNDRY</i>	
TYPICAL FENCE ELEVATION TOP RAIL / TRUSSED BRACE RAIL 3 STRANDS BARBED WIRE WITH BOTTOM TENSION WIRE	BY: ART DATE: 08/10/09

CLFMI
CLTA
SCALE: 1:40

Sketch #ACISK009
 GMP Clarifications & Assumptions,
 Fencing Allowance Item #99



NOTE:
 1. VERTICAL AND HORIZONTAL MEMBERS MAXIMUM 8' O.C.

NOM HEIGHT (H)
6'-0" OR 6+1=7'
7'-0" OR 7+1=8'
8'-0" OR 8+1=9'

GATE PLAN

ALLSTATE CONSTRUCTION, INC 01-05-15



Chain Link Fence Manufacturers Institute
 10015 Old Columbia Rd. Suite B 215
 Columbia, MD. 21046

TYPICAL DOUBLE SWING GATE
 LAUNDRY

3 STRANDS BARBED WIRE
 (OPTIONAL)

BY: ART
 DATE: 08/17/09

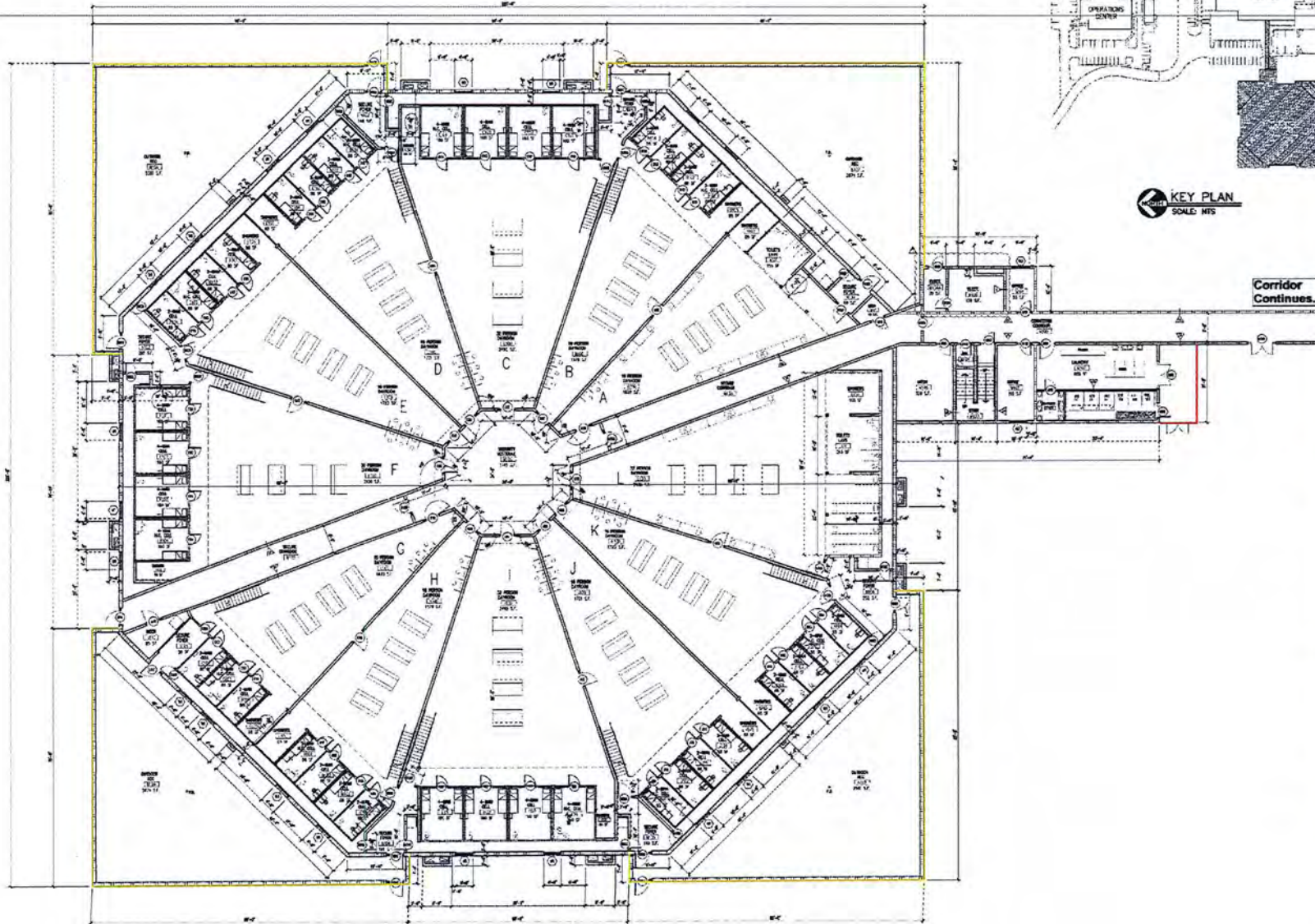
CLFMI

CLGA-2

SCALE: 1:40

- a - Fencing 32 LF
- b - Razor Wire 671 LF

See 10/10/2010
 2010 Clarifications & Additions
 Being Allowed, Not All



KEY PLAN
 SCALE: 1/8" = 1'-0"

Corridor
 Continues...

LEGEND

- 1/8" = 1'-0"
- 1/4" = 1'-0"
- 1/2" = 1'-0"
- 3/4" = 1'-0"
- 1" = 1'-0"
- 1 1/4" = 1'-0"
- 1 1/2" = 1'-0"
- 1 3/4" = 1'-0"
- 2" = 1'-0"
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FLAGLER COUNTY
 JAIL

BUNNELL, FLORIDA



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RECEIVED
 ALLSTATE CONSTRUCTION
 11/17/2014

SUBMITTALS			
DATE	BY	REVISION	DESCRIPTION

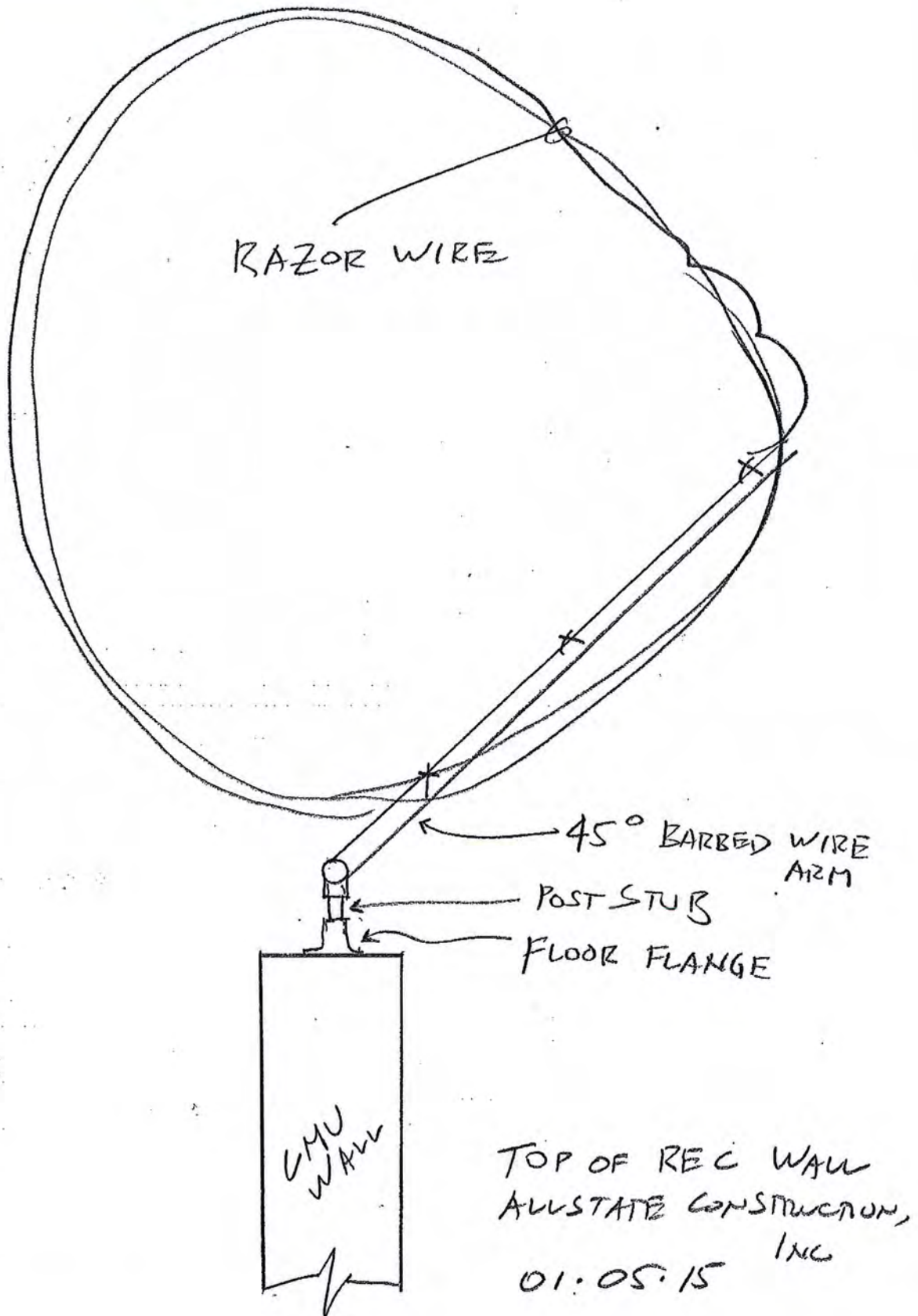
REVISIONS	
NO.	DESCRIPTION

REVISIONS	
NO.	DESCRIPTION

CRA PROJ # 13245
 PHASE: CONSTRUCTION
 DOCUMENTS

NEW JAIL
 HOUSING POD FIRST FLOOR
 COMPOSITE PLAN
 A1.3

COMPOSITE PLAN
 NEW HOUSING POD - FIRST FLOOR
 SCALE: 3/32" = 1'-0"



SECTION 5 – ADVERTISEMENT

January 29, 2015

**Flagler/Palm Coast
NEWS-TRIBUNE**

Published Each Wednesday and Saturday
Flagler County, Florida

**State of Florida,
County of Flagler**

Before the undersigned authority personally appeared

Cynthia Anderson

who, on oath says that she is

LEGAL COORDINATOR

of The Flagler/Palm Coast NEWS-TRIBUNE, a twice weekly newspaper, published in Flagler County, Florida; that the attached copy of advertisement, being a

INVITATION TO BID

NT 2105427

in the Court,
was published in said newspaper in the issues.....

NOVEMBER 15, 19, 2014

Affiant further says that The Flagler/Palm Coast News-Tribune is a newspaper published in said Flagler County, Florida, and that the said newspaper has heretofore been continuously published in said Flagler County, Florida, each Wednesday and Saturday and has been entered as second-class mail matter at the post office in Flagler Beach, in said Flagler County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper

Cynthia Anderson

Sworn to and subscribed before me

This 19TH of NOVEMBER

A.D. 2014

Rachael L. Smith

490



Invitation to Bid
Allstate Construction, Inc. (OCG014015) is the Construction Manager for the Flagler County Jail project, Bunnell, Florida.
Bids Due: Deliver sealed bids to Allstate Construction, Inc. on December 9, 2014, at 2:00pm at Flagler County's Office, 1703 E. Mosley Blvd., Building #2, Suite 309, Bunnell, Florida, 32110.
Bid Packages
02A - Selective Demolition
03A - Cast-in-Place Concrete**
03B - Precast Concrete Hollow Core Slab**
04A - Masonry**
05A - Structural & Miscellaneous Steel**
06A - General Trades**
06B - Cabinets & Trim
07A - Metal Roofing**
07B - Low Slope Roofing**
08A - Overhead Doors
08B - Aluminum-Framed Glass & Glazing**
09A - Operable Board
09B - Tile
09C - Acoustical Ceiling
09D - Resinous Flooring
09E - Carpet & Resilient Flooring
09F - Painting & Finishes
11A - Detection Equipment**
11B - Laundry Equipment
11C - Food Service Equipment
13A - Precast Concrete Modular Cells**
21A - Fire Sprinklers**
22A - Plumbing**
23A - HVAC**
26A - Electrical**
31A - Site**
32A - Fencing
32B - Landscaping
33A - Water & Sanitary Sewer**
**Bid Bond Required: Payment & Performance Bonds required.
Pre-Bid Meeting: A non-mandatory pre-bid meeting will be held on November 15, 2014, at 11:00am at Flagler County Jail, 1001 Justice Lane, Bunnell, FL 32110.
Bid Documents: Bid Documents are available by contacting: Allstate Construction, Inc., 3233 Parkway, Bunnell, FL 32110, FL 32333, bunnell@allstatecon.com, allstatecon.com, telephone 850-614-1004.
Prequalification: Bidders must be prequalified to bid by Allstate Construction, Inc. Prequalification forms are available by contacting Allstate Construction, Inc.
Prequalification to bid is a determination by Allstate Construction, Inc. that the bidder, if awarded the project, has sufficient licensure, experience, labor, equipment, plant, insurance and financial capacity to complete the work. Prequalification to bid does not represent approval of specific products or manufacturers.
Bid Bonds: For bid packages noted, Bid Bonds required; provide a Bid Bond (in checks) with the bid in an amount equal to 5% of the bid, payable to Allstate Construction, Inc. Bid Bonds must be issued by a Corporate Surety authorized to do business in the State of Florida, and guarantee that the bidder will enter into a contract to perform the work should the contract be awarded to the bidder.
Payment & Performance Bonds: For bid packages noted, Payment & Performance Bonds required; the successful bidder shall furnish a bond for the faithful performance of the contract and a bond to secure payment of all claims for materials furnish and labor performed in performance of the contract, both in amounts equal to 100% of the Contract Amount. Both bonds shall be issued by a Corporate Surety authorized to do business in the State of Florida. Allstate Construction, Inc. reserves the right to reject any and all bids received and to waive any and all minor irregularities or formalities in any bid.
NT2105427, Nov. 15, 19, 2014, 2

ATTACHMENT 2 –SCHEDULE OF VALUES

January 29, 2015

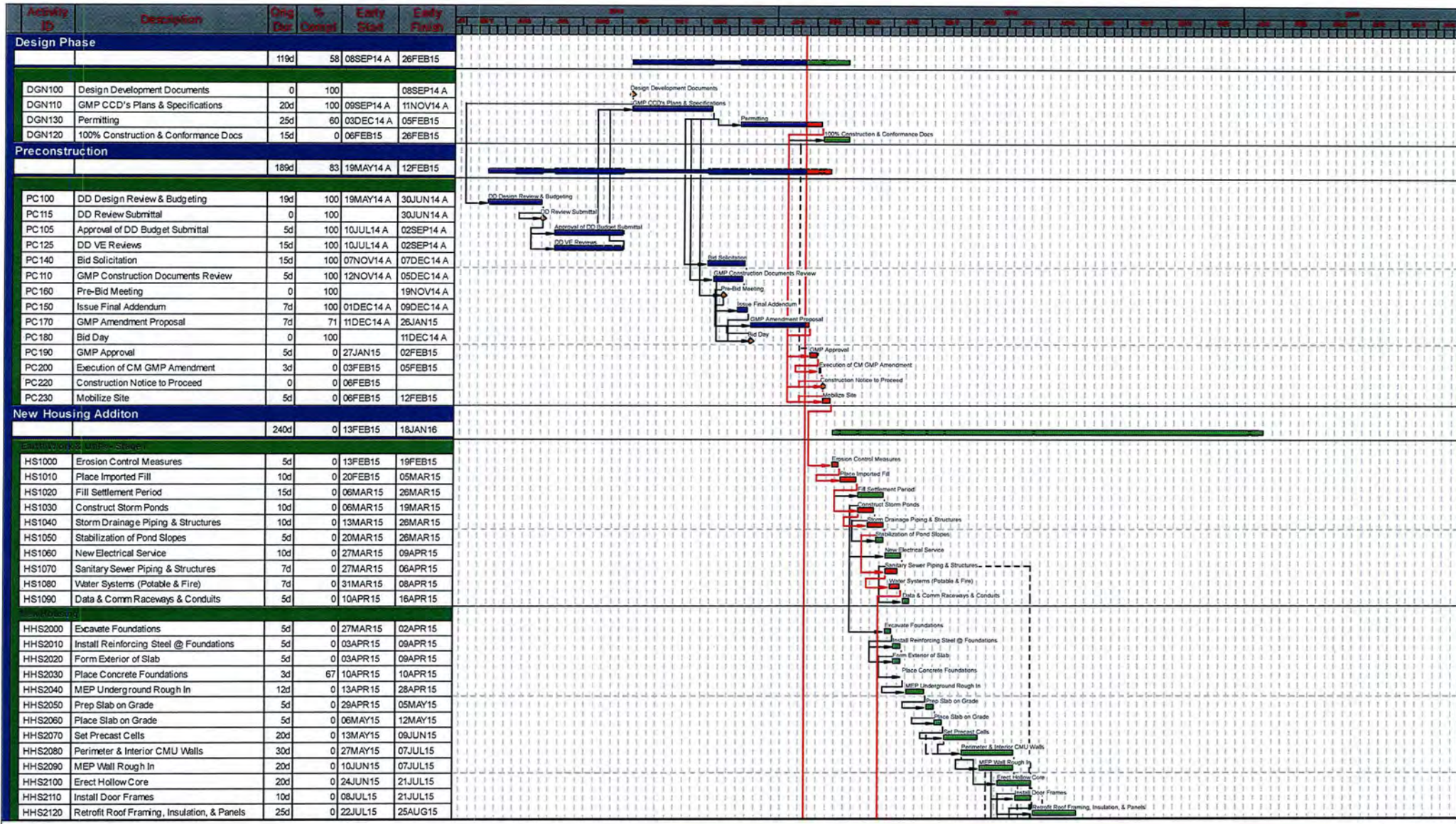
Description	Total
General Requirements	\$677,127
Construction Fee	\$600,000
Bonds & Insurance	\$189,677
Contingency	\$310,632
Selective Demolition	\$134,799
Concrete	\$926,247
Hollow Core Concrete	\$353,110
Precast Structural Concrete	\$1,945,825
Masonry	\$1,366,486
Steel	\$517,680
General Trades	\$246,035
Cabinets	\$27,300
Thermal & Moisture Protection	\$36,204
Roofing	\$899,722
Doors, Frames, & Hardware	\$7,788
Overhead Coiling Doors	\$14,380
Gypsum Board	\$132,029
Tile	\$41,856
Acoustical Ceilings	\$18,351
Resinous Flooring	\$71,986
Carpeting	\$27,222
Painting	\$239,663
Specialties	\$8,271
Detention Equipment	\$1,748,410
Laundry Equipment	\$57,674
Food Service Equipment	\$365,750
Fire Protection	\$306,300
Plumbing	\$870,568
HVAC	\$1,475,710
Testing, Adjusting, & Balancing	\$6,740
Electrical	\$1,264,532
Site	\$1,212,305
Fencing	\$327,473
Landscaping	\$14,430
Total	\$16,442,282

ATTACHMENT 3 – CONSTRUCTION SCHEDULE

January 29, 2015

Construction duration from receipt of Notice to Proceed and required permits to Substantial Completion:
436 Calendar Days, plus 40 Calendar Days for punch list and project closeout.

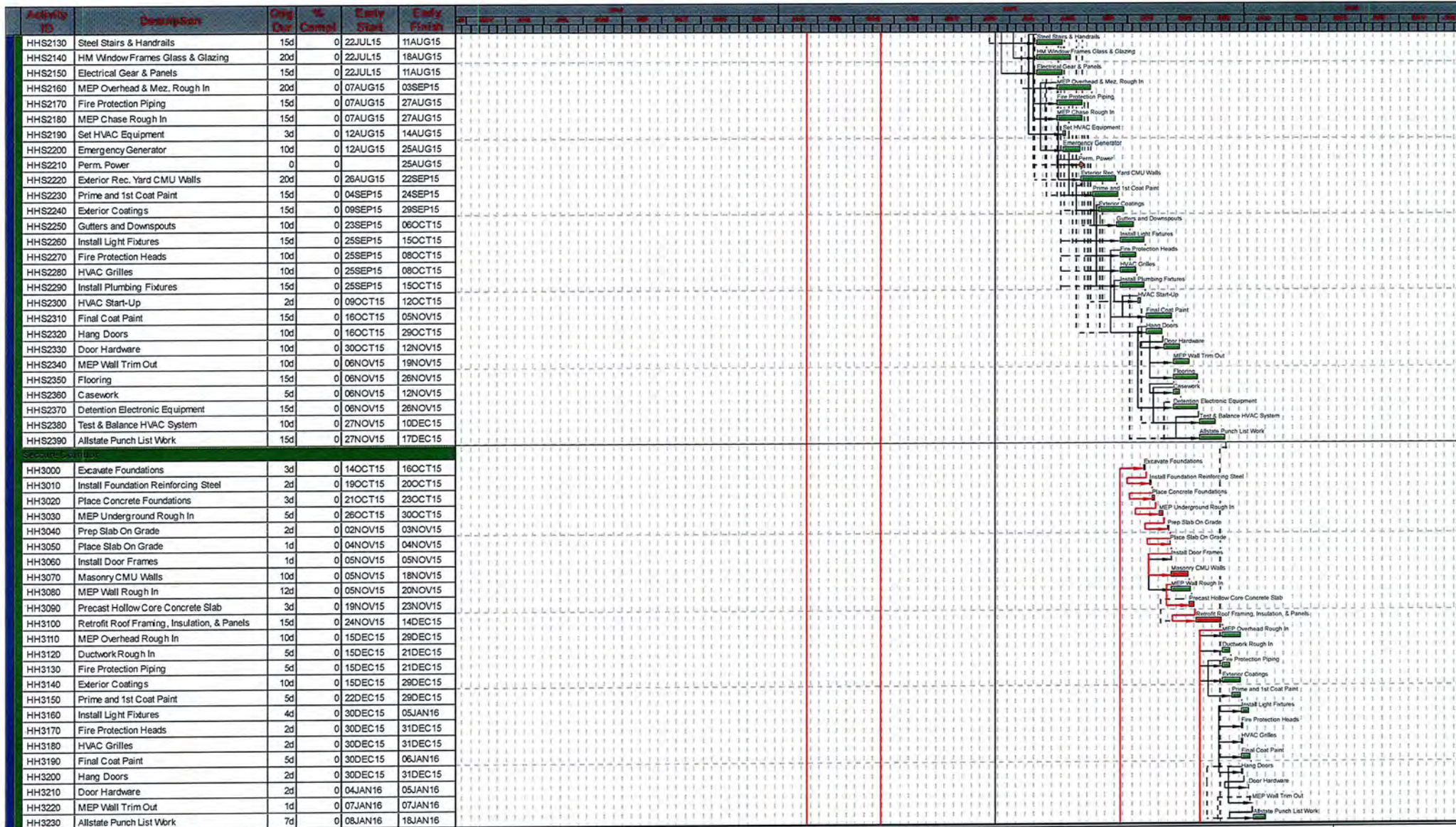
See attached construction schedule.



Start date	30APR14
Finish date	14JUN16
Data date	23JAN15
Run date	29JAN15
Page number	1A
© Primavera Systems, Inc.	

Flagler County Florida
Expansion of the Inmate Facility
Master Project Schedule
January 29, 2015

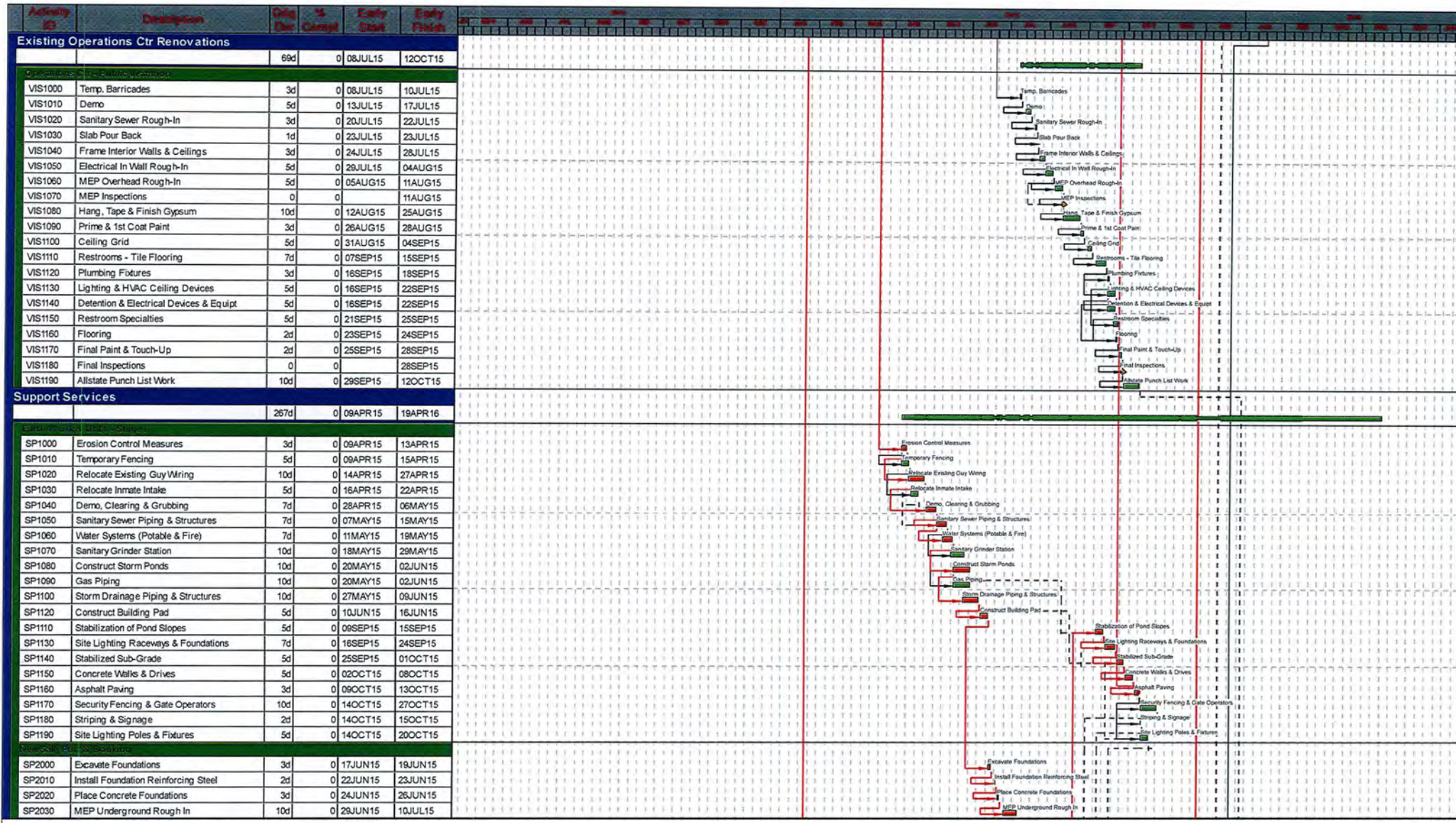
█ Early bar
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◆ Start milestone point
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Start date 30APR14
 Finish date 14JUN16
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 Page number 2A
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Flagler County Florida
 Expansion of the Inmate Facility
 Master Project Schedule
 January 29, 2015

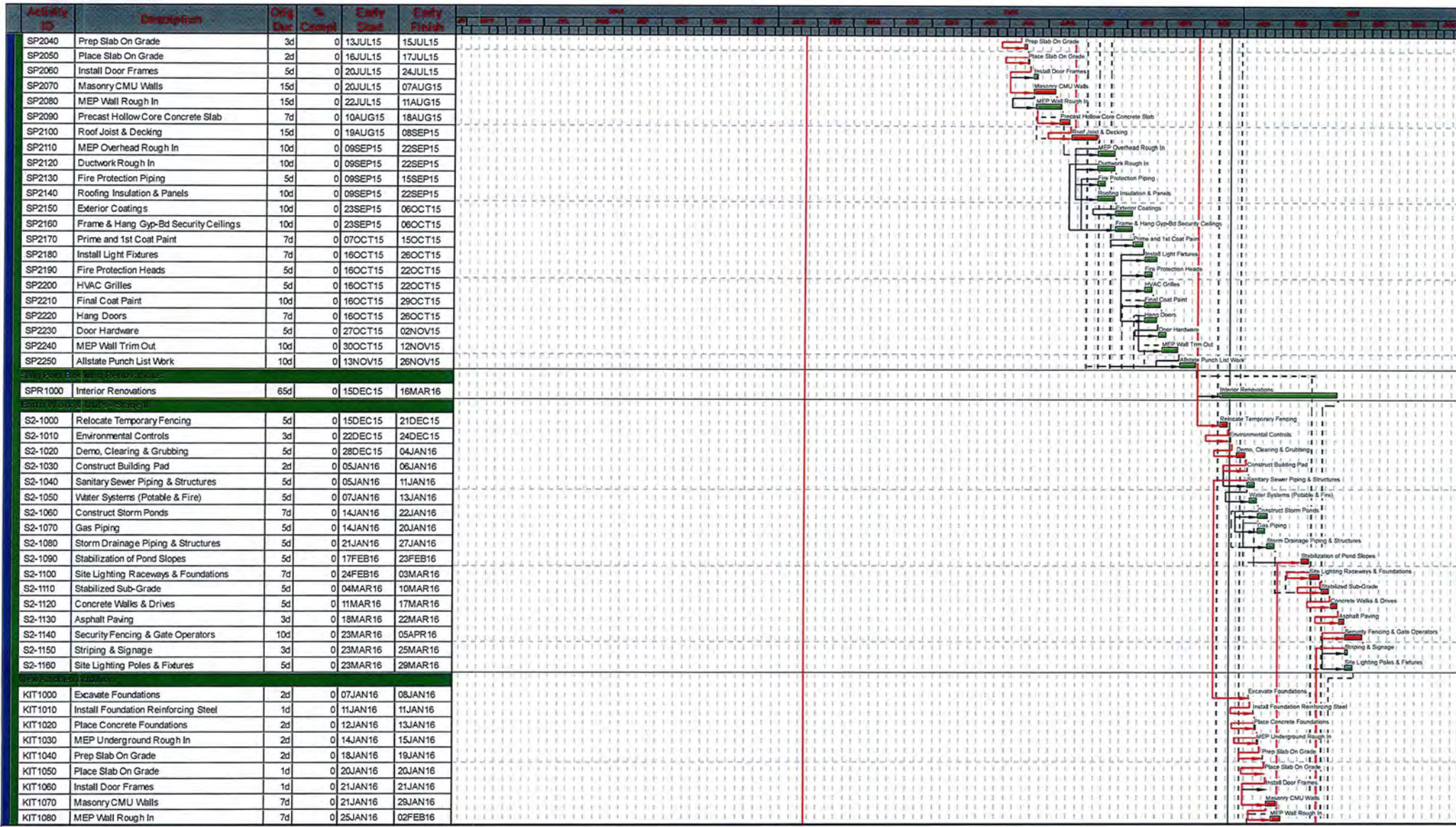
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Start date	30APR14
Finish date	14JUN16
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**Flagler County Florida
Expansion of the Inmate Facility
Master Project Schedule
January 29, 2015**

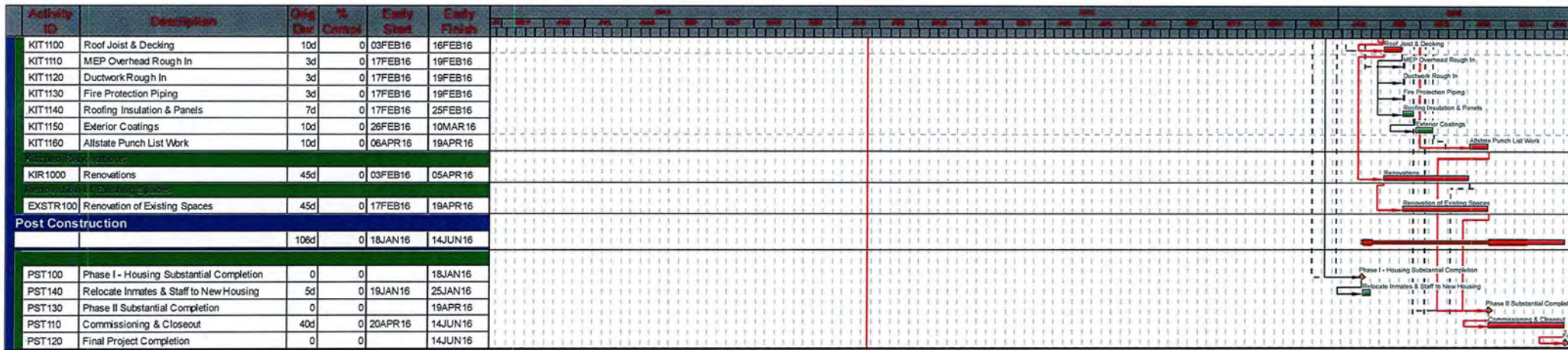
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 Page number 4A
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**Flagler County Florida
 Expansion of the Inmate Facility
 Master Project Schedule
 January 29, 2015**

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**Flagler County Florida
 Expansion of the Inmate Facility
 Master Project Schedule
 January 29, 2015**

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ATTACHMENT 4 – PROJECT FUNDING SCHEDULE

January 29, 2015

Project funding schedule is pending issuance of formal subcontract agreements upon Owner's approval of this GMP.

Month	Payment Application Due Date (By)	Payment Due Date	Projected Value
2015			
Feb-15	2/28/2015	3/10/2015	Pending
Mar-15	3/30/2015	4/10/2015	Pending
Apr-15	4/30/2015	5/10/2015	Pending
May-15	5/30/2015	6/9/2015	Pending
Jun-15	6/30/2015	7/10/2015	Pending
Jul-15	7/30/2015	8/10/2015	Pending
Aug-15	8/30/2015	9/10/2015	Pending
Sep-15	9/30/2015	10/10/2015	Pending
Oct-15	10/30/2015	11/10/2015	Pending
Nov-15	11/30/2015	12/10/2015	Pending
Dec-15	12/30/2015	1/10/2016	Pending
2016			
Jan-16	1/30/2016	2/10/2016	Pending
Feb-16	2/28/2016	3/10/2016	Pending
Mar-16	3/30/2016	4/10/2016	Pending
Apr-16	4/30/2016	5/10/2016	Pending
May-16	5/30/2016	6/10/2016	Pending
Jun-16	6/30/2016	7/10/2016	Pending
Jul-16	7/30/2016	8/10/2016	Pending
Aug-16	8/30/2016	9/10/2016	Pending

ATTACHMENT NO. 2

OWNER'S PROJECT BUDGET SUMMARY

January 30, 2015

EXPANSION OF FLAGLER COUNTY INMATE FACILITY OWNER PROJECT BUDGET BREAKDOWN SUMMARY

A. Permits Allowance	\$80,000.00
B. Utility Fee Allowance – FP&L and City of Bunnell	\$300,000.00
C. Furniture, Fixture & Equipment Allowance (FFE)	\$170,000.00
D. Pending Additional Project Scope Alternates (Allowances)	
1. Mezzanine Fencing System	\$185,000.00
2. Classroom/Storage Room Addition(s)-Design/Build	\$435,000.00
3. Inmate Facility Signage Program	\$50,000.00
4. Lightning Protection System(s)	<u>\$130,000.00</u>
	\$800,000.00
E. Owner Contingency (1% Initial Construction Cost)	\$150,000.00

TOTAL: \$1,500,000.00

IMATE FACILITY EXPANSION FFE SUMMARY

ITEM	COST	MOVE IN	AT CAPACITY*
Restraint Chair	\$2,100.00	\$2,100.00	\$0.00
Self Contained Breathing Apparatus	\$2,669.00	\$13,345.00	\$0.00
Mattress with Pillow	\$90.00	\$15,750.00	\$10,800.00
Mattress Cover (per dozen)	\$90.00	\$180.00	\$1,170.00
Sheets (per dozen)	\$45.00	\$900.00	\$990.00
Blankets (per dozen)	\$96.00	\$1,920.00	\$2,112.00
Towels (per bundle)	\$20.00	\$400.00	\$440.00
Washcloths (per dozen)	\$4.00	\$80.00	\$88.00
Shower Curtain	\$19.00	\$380.00	\$0.00
Laundry Carts	\$305.00	\$1,830.00	\$0.00
Gloves	Various	\$3,000.00	\$2,000.00
Chairs	\$400.00	\$1,600.00	\$0.00
Garbage Carts	\$500.00	\$3,000.00	\$0.00
Mop Buckets	\$80.00	\$1,200.00	\$0.00
Garbage Cans/Lids	Various	\$1,420.00	\$0.00
Inmate Uniforms	\$20.00	\$25,000.00	\$8,950.00
Handcuffs	\$25.00	\$3,125.00	\$1,875.00
Leg Irons	\$50.00	\$7,500.00	\$2,500.00
Waist Chains	\$80.00	\$12,000.00	\$4,000.00
Laundry Detergent	\$275.00	\$2,000.00	\$1,485.00
Bleach	\$100.00	\$3,000.00	\$7,000.00
Disinfectant	\$93.00	\$465.00	\$465.00
Glass Cleaner	\$48.00	\$48.00	\$48.00
Exam Table	\$5,000.00	\$5,000.00	\$0.00
Lab Chair	\$800.00	\$800.00	\$0.00
Dental Chair	\$3,500.00	\$0.00	\$3,500.00
Medical Cart	\$3,800.00	\$0.00	\$3,800.00
Medical Refrigerator	\$200.00	\$200.00	\$0.00
Desk (under control room)	\$1,000.00	\$1,000.00	\$0.00
Secure Medical Cabinet	\$500.00	\$500.00	\$0.00
Automated External Defibrillator	\$999.00	\$1,998.00	\$0.00
Telephone Equipment	\$56,700.00	\$56,700.00	\$0.00
Contingency		\$3,559.00	\$3,777.00
TOTAL		\$170,000.00	\$55,000.00*

***WILL PURCHASE ADDITIONAL FFE LATER IF FUNDING EXISTS**